



Case # BZA-06-25-00875

Charleston County BZA Meeting of August 4, 2025

Applicant/Property Owner: Edward Kronsberg of Tall Oak HQ LLC

Representative: Jessica Myers, PE of C Baker Engineering, LLC

Property Location: 2 Tall Oak Avenue – St. Andrews Area

TMS#: 418-13-00-129

Zoning District: Urban Residential (UR) Zoning District

Request: Special Exception request to establish Hair, Nail, and Skin Care Service use with two (2) chairs in the Urban Residential (UR) Zoning District.

Requirement:

The Charleston County Zoning and Land Development Regulations Ordinance (ZLDR), Chapter 6 Use Regulations, Article 6.1 Use Types and Use Table, Sec. 6.1.2 Uses Subject to Conditions states, "A 'C' indicates that a use type is allowed in the respective Zoning District only if it complies with use-specific conditions and all other applicable regulations of this Ordinance." Sec. 6.1.6 Table 6.1-1 Use Table indicates that Hair, Nail, and Skin Care Service use in the UR Zoning District is a use subject to conditions of Sec. 6.4.3.

Article 6.4 Use Conditions, Sec. 6.4.3.A. Hair, Nail or Skin Care Services states, "Hair, Nail or Skin Care Services shall be limited to a maximum of one chair in those Zoning Districts in which they are allowed as a use subject to conditions, otherwise this use shall comply with the Special Exception procedures of this Ordinance."



CHAPTER 6 | USE REGULATIONS

ARTICLE 6.1 USE TYPES AND USE TABLE

This Article explains how to interpret Table 6.1-1, *Use Table*. The top of Table 6.1-1, *Use Table*, contains the Zoning Districts and left side of the table contains the use types. Under the hierarchy established by this Ordinance, the NR district is the least intensive base Zoning District, while the IN Zoning District is the most intensive base Zoning District. The uses listed in Table 6.1-1, *Use Table*, are permitted or not permitted in each Zoning District according to the letter coding described in Sections 6.1.1 through 6.1.5 below.

Sec. 6.1.2 C Uses Subject to Conditions

A "C" indicates that a use type is allowed in the respective Zoning District only if it complies with use-specific conditions and all other applicable regulations of this Ordinance. A cross-reference to the applicable conditions can be found in the "Condition" column of Table 6.1-1, *Use Table*. The number provides a cross-reference to the use-specific conditions contained in this Chapter.



CHAPTER 6 | USE REGULATIONS

ARTICLE 6.1 USE TYPES AND USE TABLE

This Article explains how to interpret Table 6.1-1, *Use Table*. The top of Table 6.1-1, *Use Table*, contains the Zoning Districts and left side of the table contains the use types. Under the hierarchy established by this Ordinance, the NR district is the least intensive base Zoning District, while the IN Zoning District is the most intensive base Zoning District. The uses listed in Table 6.1-1, *Use Table*, are permitted or not permitted in each Zoning District according to the letter coding described in Sections 6.1.1 through 6.1.5 below.

Sec. 6.1.6 Table 6.1-1, *Use Table*

Principal uses shall be allowed within the Zoning Districts of this Ordinance in accordance with Table 6.1-1, *Use Table*. See Chapter 5, Overlay and Special Purpose Zoning Districts, as applicable.

Table 6.1-1 Use Table																						
A=Use Allowed By Right; C=Use Subject to Conditions; S=Special Exception Use (must also comply with applicable conditions); Blank cells indicated prohibited land uses																						
Land Uses	ZONING DISTRICTS																			Condition		
	NR	OS	RM	AG -15	AG -10	AG -8	AGR	RR	S- 3	R -4	UR	MHS	MHP	CI	RO	GO	NC	RC	CC	RI	IN	
AGRICULTURAL																						
AGRICULTURAL AND ANIMAL PRODUCTION, PROCESSING, AND SUPPORT																						
Aquaculture			A	A	A	A	C	C														Sec. 6.4.1
Mariculture			C	C	C	C	C	C														Sec. 6.4.1
Apiculture (Bee Keeping)			A	A	A	A	A	A														
Animal and Insect Production			A	A	A	A	C	C	C													Sec. 6.4.1
Concentrated Animal Feeding Operation			S	S	S	S																
Horticultural Production			A	A	A	A	A	A	A	C				A			C	A	A	A	A	Sec. 6.4.1
Hemp Crop Production and/or Processing			S	S	S	S	S															Sec. 6.4.1
Winery			C	C	C	C	C	C										C	A	C	A	Sec. 6.4.21
Agricultural Processing			C	C	C	C	C	C	S									A	A	A	A	Sec. 6.4.1
Agricultural Sales or Service			A	A	A	A	C											A	A	A	A	Sec. 6.4.44
Roadside Stand; Sweetgrass Basket Stand		C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	Sec. 6.4.8
Community Garden		A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A	
Farmers Market			A	A	A	A	A	C	C	C	C	C		A	A	A	A	A	A	A	A	Sec. 6.4.47
FORESTRY AND LOGGING																						
Bona Fide Forestry Operation		C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	Sec. 6.4.23
Lumber Mill, Planing, or Saw Mill			A	A	A	A	S													A	A	
RESIDENTIAL																						
ASSISTED LIVING																						



Table 6.1-1 Use Table

A=Use Allowed By Right; C=Use Subject to Conditions; S=Special Exception Use (must also comply with applicable conditions); Blank cells indicated prohibited land uses

Land Uses		ZONING DISTRICTS																				Condition	
		NR	OS	RM	AG -15	AG -10	AG -8	AGR	RR	S- 3	R -4	UR	MHS	MHP	CI	RO	GO	NC	RC	CC	RI	IN	
	Vehicle and Boat Repair or Service																	C	S	A	A	A	Sec. 6.4.22
RETAIL SALES																							
	Nonstore Retailer																			A		A	
	Fuel Heating Oil Dealer; Liquefied Petroleum Gas (Bottled Gas) Dealer																		C	C	C	C	Sec. 6.4.41
	Home Improvement Center																			A		A	
	Food Sales																	C	C	A		A	Sec. 6.4.26
	Food Truck																A	A	A	A	A	A	
	Liquor, Beer, or Wine Sales																	S	S	S		S	
	Retail Sales or Services, General; Building Materials or Garden Equipment and Supplies Retailer																	C	C	A	S	A	Sec. 6.4.26
	Convenience Store																	S	S	A	A	A	
	Duplicating or Quick Printing Service; Private Postal or Mailing Service																C	C	C	A	A	A	Sec. 6.4.26
	Pawn Shop																			A		A	
	Warehouse Club or Superstore																			C		C	Sec. 6.4.31
	Service Station, Gasoline																	C	C	A	S	A	Sec. 6.4.45
	Truck Stop																			A	A	A	
	Vehicle Sales																			A		A	
	Heavy Duty Truck or Commercial Vehicle Dealer; Manufactured Home Dealer																		S	A	S	A	
	Vehicle Parts, Accessories, or Tire Store																		S	A	A	A	
RETAIL OR PERSONAL SERVICES																							
	Consumer Convenience Services																	C	C	A		A	Sec. 6.4.26
	Hair, Nail, or Skin Care Services			C	C	C	C	C	C	C	C	C	C	C	A	A	A	A	A	A	A	A	Sec. 6.4.3
	Job Training or Placement Services														A	A	A	A	A	A	A	A	
	Personal Improvement Services															C	C	C	C	A		A	Sec. 6.4.26
	Physical Fitness or Health Club																A	A	A	A		A	



CHAPTER 6 | USE REGULATIONS

ARTICLE 6.4 USE CONDITIONS

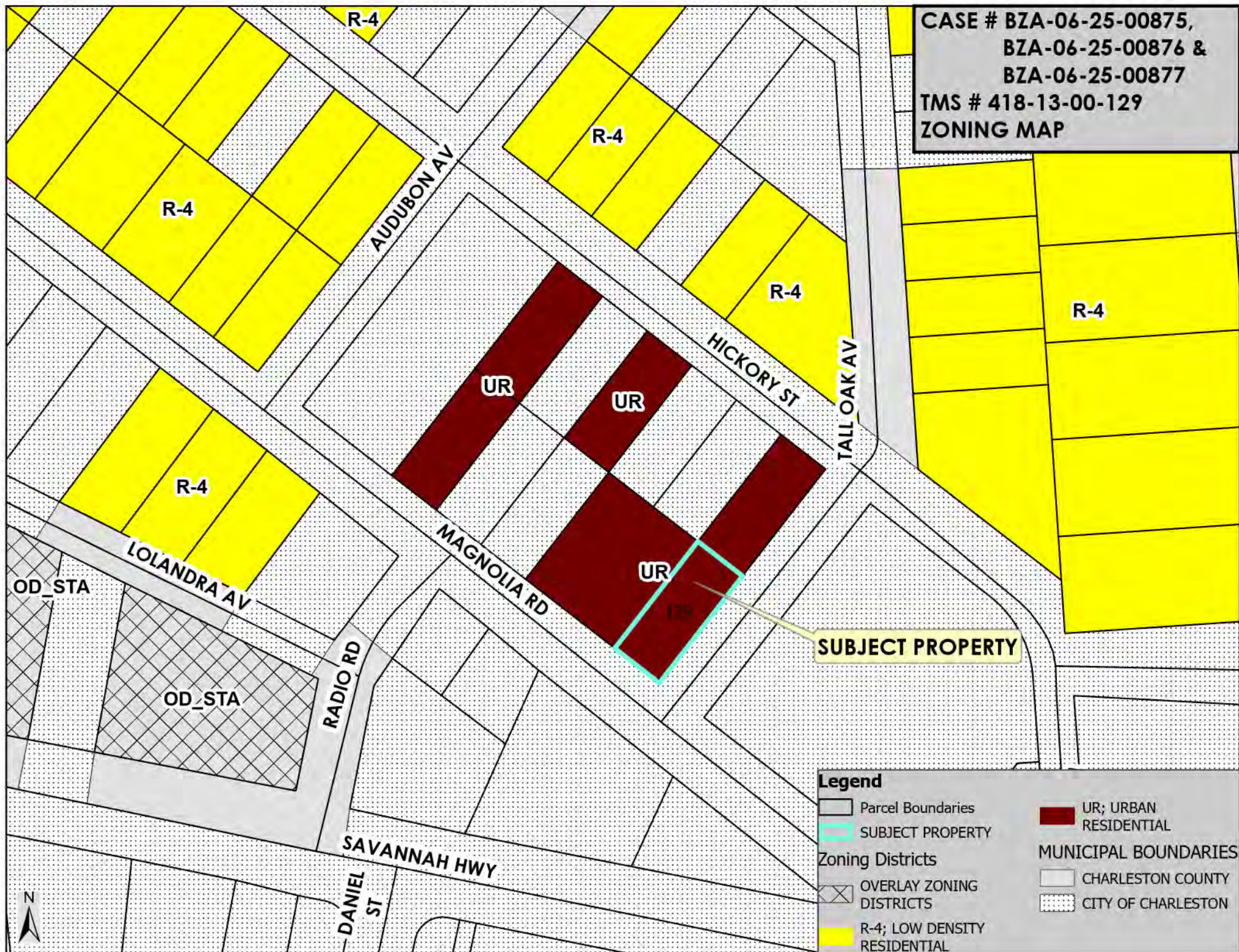
The following use conditions shall apply to Principal Uses in any Zoning District where these uses are allowed as "Conditional Uses" or "Special Exceptions" as shown in Table 6.1-1, *Use Table*.

Sec. 6.4.3 Hair, Nail or Skin Care Services

Hair, Nail or Skin Care Services shall be subject to the following standards:

- A. Hair, Nail or Skin Care Services shall be limited to a maximum of one chair in those Zoning Districts in which they are allowed as a use subject to conditions, otherwise this use shall comply with the Special Exception procedures of this Ordinance.
- B. Where Hair, Nail, or Skin Care Services are allowed as a use subject to conditions, this use shall have a maximum Floor Area of 5,000 square feet, otherwise this use shall comply with the Special Exception procedures of this Ordinance.
- C. Hair, Nail, or Skin Care Services are allowed as Home Occupations in all residential and agricultural Zoning Districts with a maximum of one chair.

CASE # BZA-06-25-00875,
BZA-06-25-00876 &
BZA-06-25-00877
TMS # 418-13-00-129
ZONING MAP



Legend

- Parcel Boundaries
- SUBJECT PROPERTY

Zoning Districts

- OVERLAY ZONING DISTRICTS
- R-4; LOW DENSITY RESIDENTIAL

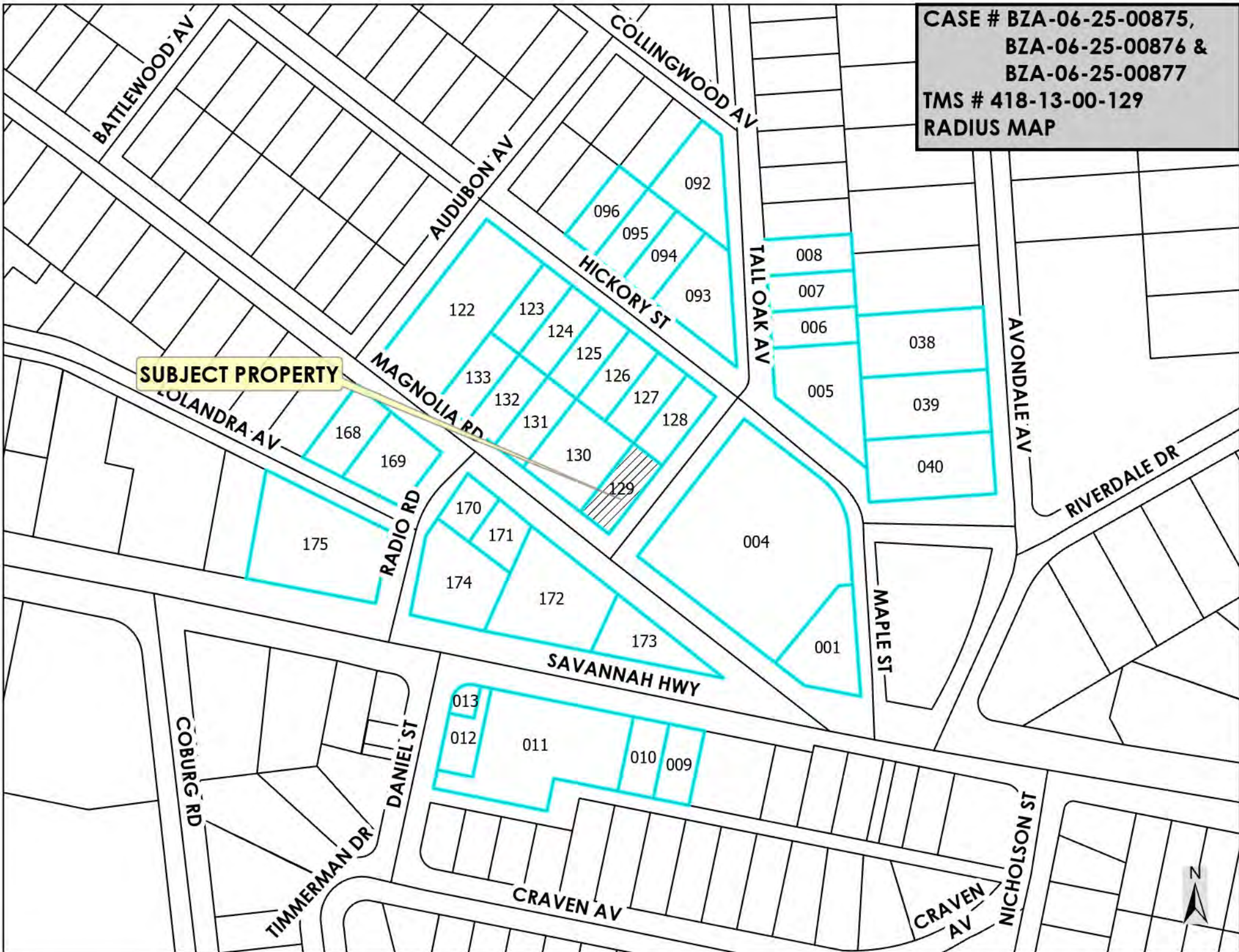
UR; URBAN RESIDENTIAL

MUNICIPAL BOUNDARIES

- CHARLESTON COUNTY
- CITY OF CHARLESTON

CASE # BZA-06-25-00875,
BZA-06-25-00876 &
BZA-06-25-00877
TMS # 418-13-00-129
RADIUS MAP

SUBJECT PROPERTY



CASE # BZA-06-25-00875,
BZA-06-25-00876 &
BZA-06-25-00877
TMS # 418-13-00-129
AERIAL MAP

SUBJECT PROPERTY

TAL OAK AV

MAGNOLIA RD

129



CASE # BZA-06-25-00875,
BZA-06-25-00876 &
BZA-06-25-00877
TMS # 418-13-00-129
AERIAL MAP



SUBJECT PROPERTY

129

Case # BZA-06-25-00875

BZA Meeting of August 4, 2025

Subject Property: 2 Tall Oak Avenue – St. Andrews Area

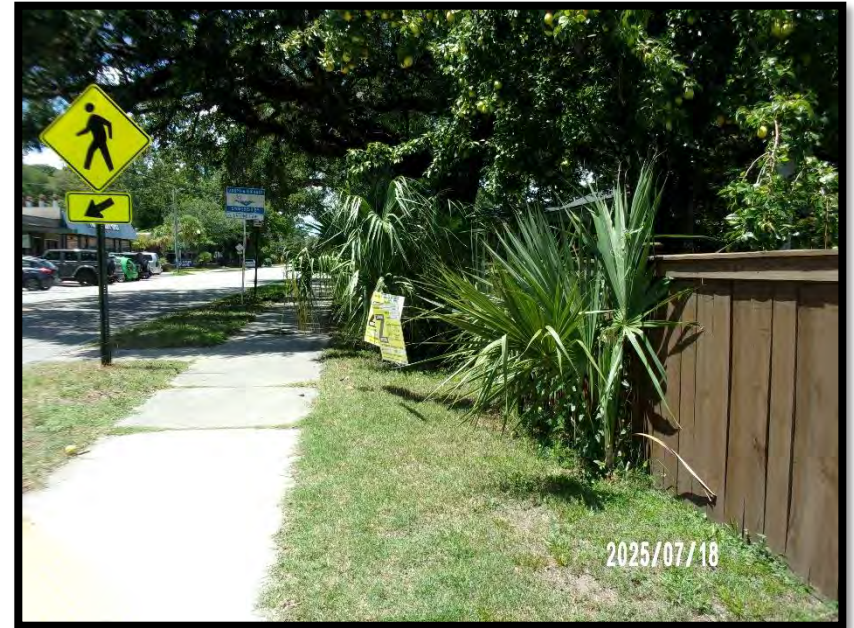
Proposal: Special Exception request to establish Hair, Nail, and Skin Care Service use with two (2) chairs in the Urban Residential (UR) Zoning District.



Subject Property



Subject Property



Adjacent Properties



Magnolia Road & Tall Oak Avenue



Staff Review:

The applicant and property owner, Edward Kronsberg of Tall Oak HQ LLC, represented by Jessica Myers of C Baker Engineering, LLC, are requesting a Special Exception to establish Hair, Nail, and Skin Care Service use with two (2) chairs in the Urban Residential (UR) Zoning District at 2 Tall Oak Avenue (TMS # 418-13-00-129) in the St. Andrews Area of Charleston County. The subject property and adjacent properties to the northeast and west are located in the Urban Residential (UR) Zoning District. Surrounding properties to the northwest, east, and south are in the City of Charleston's jurisdiction.

The subject property is 5,698 sq. ft. or 0.13-acres (50' wide x 113' long) and contains a 1,163 sq. ft. single-family dwelling that was constructed in 1945 per Charleston County records. The proposed project is currently in the Site Plan Review process (ZSPR-04-25-01138) to convert the single-family dwelling use to a commercial use. The applicant's letter of intent explains, *"This project proposes modifications to an existing residential building located on 0.13 acres in Charleston County, SC. The project scope proposes landscaping and parking along with a modified driveway to serve the existing building being converted from residential to commercial use. The property site is identified as Charleston County TMS No. 418-13-00-129. The current zoning is Urban Residential (UR). The proposed commercial use for the project is the new location for the Anne Bonny's Lash & Skin Boutique which is classified as a 'hair, nail, and skin care service' and is considered a 'conditional use' under the ZLDR. Section 6.4.3.a. of the ZLDR specifies that the above use shall be limited to a max. of one chair in those zoning districts in which they are allowed as a conditional use. As such, we are requesting a Special Exception to request two (2) chairs."*

In addition to this Special Exception request, the applicant is requesting two Zoning Variances:

1. Case # BZA-06-25-00876: Variance request from the parking lot design and layout requirements and to reduce the number of required parking spaces for proposed Hair, Nail, and Skin Care Service use; and
2. Case # BZA-06-25-00877: Variance request to eliminate the required land use buffers along the side property lines and to reduce the required 15' right-of-way landscape buffers by 5' to 10' along Tall Oak Avenue and Magnolia Road for proposed Hair, Nail, and Skin Care Service use.

Applicable ZLDR requirements:

The Charleston County Zoning and Land Development Regulations Ordinance (ZLDR), Chapter 6 Use Regulations, Article 6.1 Use Types and Use Table, Sec. 6.1.2 Uses Subject to Conditions states, *"A 'C' indicates that a use type is allowed in the respective Zoning District only if it complies with use-specific conditions and all other applicable regulations of this Ordinance."* Sec. 6.1.6 Table 6.1-1 Use Table indicates that Hair, Nail,

and Skin Care Service use in the UR Zoning District is a use subject to conditions of Sec. 6.4.3.

Article 6.4 Use Conditions, Sec. 6.4.3.A. Hair, Nail or Skin Care Services states, "Hair, Nail or Skin Care Services shall be limited to a maximum of one chair in those Zoning Districts in which they are allowed as a use subject to conditions, otherwise this use shall comply with the Special Exception procedures of this Ordinance."

Please review the attachments for further details regarding this request. Staff conducted a site visit on July 17, 2025.

Planning Director Review and Report regarding Approval Criteria of §3.6.5:

§3.6.5(1): *Is consistent with the recommendations contained in the Charleston County Comprehensive Plan and the character of the underlying zoning district, as indicated in the zoning district "Description";*

Response: The subject property is located in the Urban Residential Zoning District which implements the Urban/Suburban Mixed-Use policies of the *Comprehensive Plan*. The proposed Hair, Nail, and Skin Care Service use with two (2) chairs is consistent with the Urban/Suburban Mixed-Use Future Land Use category recommendations of the *Comprehensive Plan* which states, *"This designation encourages compatible mixed-use development and a general land use pattern that includes a variety of housing types, retail, service, employment, civic and compatible industrial uses, as well as public and open spaces and linkages to public transit in a walkable environment. Appropriate public services and facilities that are consistent with the goals and strategies of this Plan should be permitted to ensure sufficient provision of services. This category is intended to allow for growth to occur within the UGB by allowing urban and suburban mixed uses and affordable/workforce housing in the Urban/Suburban Area, where appropriate, while preserving and protecting the Rural Area for future generations."* In addition, **the applicant's letter of intent states**, *"The purpose and intent of the UR Zone as listed in Section 4.14.1 of the ZLDR states: 'Urban Residential Zoning District implements the Urban/Suburban Mixed-Use policies of the Comprehensive Plan.' The proposed 'hair, nail, and skin care service' classification of 'personal service' is consistent with the character and intent of the UR zoning district and fits with the existing Avondale neighborhood."* Therefore, the request meets this criterion.

§3.6.5(2): *Is compatible with existing uses in the vicinity and will not adversely affect the general welfare or character of the immediate community;*

Response: The proposed use is compatible with existing uses in the vicinity and may not adversely affect the general character of the immediate community. The applicant has provided a letter of support from the owner of the

adjacent residential property (105 Magnolia Road). In addition, a letter of support was provided from the property owner of the surrounding commercial businesses. **The applicant's letter of intent states,** "The proposed 'hair, nail, and skin care service' use is consistent with other 'personal service' uses located in the Avondale neighborhood such as The Strength Club, Strawberry Blonde Salon, etc. The proposed use is a Conditionally allowed use within the UR district; however, requesting more than one chair is what is prompting the need for a Special Exception as outlined in section 6.4.3.a." Therefore, the request may meet this criterion.

§3.6.5(3): Adequate provision is made for such items as: setbacks, buffering (including fences and/or landscaping) to protect adjacent properties from the possible adverse influence of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion and similar factors;

Response: **The applicant's letter of intent states,** "As part of the redevelopment requirements, we are proposing additional landscaping within the R/W buffers along Tall Oak Avenue and Magnolia Road. There are existing fences are present separating the proposed site from its residential neighbors at Parcel -130 and -128. These fences are not proposed for removal and will remain. Traffic is not anticipated to be an issue as the salon only serves 1-2 guests at a time." Therefore, the request may meet this criterion.

§3.6.5(4): Where applicable, will be developed in a way that will preserve and incorporate any important natural features;

Response: **The applicant's letter of intent states,** "The site is already developed with a residential structure and associated yard & driveway. The exterior of the building will remain the same with the addition of a small parking area and ADA facilities. The majority of the site will be preserved green space with enhanced R/W buffers. We are preserving most of the existing vegetation onsite." Therefore, the request may meet this criterion.

§3.6.5(5): Complies with all applicable rules, regulations, laws and standards of this Ordinance, including but not limited to any use conditions, zoning district standards, or Site Plan Review requirements of this Ordinance; and

Response: The applicant is requesting two variances. The first variance request is from the parking lot design and layout requirements and to reduce the number of required parking spaces from 4 spaces to 3 spaces (BZA-06-25-00876). The second variance request is to eliminate the required land use buffers along the side property lines, and to reduce the required right-of-way landscape buffers (BZA-06-25-00876). Therefore, the proposed use may meet this criterion if the variances are granted. **The applicant's letter of intent states,** "The proposed use is a Conditionally allowed use within the UR district; however, requesting more than one chair is what is prompting

the need for a Special Exception as outlined in section 6.4.3.a. We meet all other use conditions as the proposed floor area is under the maximum 5,000 SF."

§3.6.5(6): *Vehicular traffic and pedestrian movement on adjacent roads shall not be hindered or endangered.*

Response: The proposed two (2) chair salon at 2 Tall Oak Avenue should not hinder or endanger vehicular traffic and pedestrian movement on adjacent roads. **The applicant's letter of intent states, "The proposed use is not anticipated to hinder or endanger vehicular traffic and pedestrian movement on adjacent roads. Pedestrian access to Magnolia Road R/W is available currently and will be maintained as part of the proposed redevelopment. The proposed use is low-generator of traffic as the salon only serves 1-2 guests at a time. The proposed parking area is in the same location as the existing driveway and does not propose a new traffic pattern. Additionally, Tall Oak Drive is a City of Charleston maintained R/W. The City has already approved our proposed driveway encroachment within their R/W."** Therefore, the request may meet this criterion.

Board of Zoning Appeals' Action:

According to Article 3.6 Special Exceptions, Section §3.6.5 Approval Criteria of the Charleston County Zoning and Land Development Regulations Ordinance (ZLDR), (adopted July 18, 2006), Special Exceptions may be approved only if the Board of Zoning Appeals finds that the proposed use meets all of the Approval Criteria of §3.6.5A.

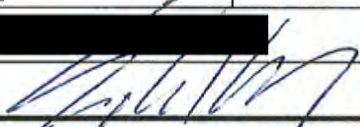
In granting a Special Exception, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building or structure as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare (§3.6.5B).

The Board of Zoning Appeals may approve, approve with conditions or deny Case # BZA-06-25-00875, [Special Exception to establish Hair, Nail, and Skin Care Service use with two (2) chairs in the Urban Residential (UR) Zoning District at 2 Tall Oak Avenue (TMS # 418-13-00-129) in the St. Andrews Area of Charleston County], based on the BZA's "Findings of Fact", unless additional information is deemed necessary to make an informed decision. In the event the Board decides to approve the application, the Board should consider the following condition recommended by Staff:

1. Prior to zoning permit approval, the applicant shall complete the Site Plan Review process.



SPECIAL EXCEPTION APPLICATION
Charleston County Board of Zoning Appeals (BZA)

Property Information			
Subject Property Address: 2 Tall Oak Ave, Charleston, SC 29407			
Tax Map Number(s): 418-13-00-129			
Current Use of Property: Developed - Residential			
Special Exception Description: Commercial			
Applicant Information (Required)			
Applicant Name (please print): Edward Kronsberg			
Name of Company (if applicable): Tall Oak HQ LLC			
Mailing Address: [REDACTED]			
City: [REDACTED]	State: [REDACTED]		Zip Code: [REDACTED]
Email Address: [REDACTED]		Phone #: [REDACTED]	
Applicant Signature: 			Date: 06/20/2025
Representative Information (Complete only if applicable. Attorney, Builder, Engineer, Surveyor etc.)			
Print Representative Name and Name of Company: Jessica Myers, PE (C Baker Engineering, LLC)			
Mailing Address: [REDACTED]			
City: [REDACTED]	State: [REDACTED]		Zip Code: [REDACTED]
Email Address: [REDACTED]		Phone #: [REDACTED]	
Designation of Agent (Complete only if the Applicant listed above is not the Property Owner.)			
I hereby appoint the person named as Applicant and/or Representative as my (our) agent to represent me (us) in this application.			
Property Owner(s) Name(s) (please print):			
Name of Company (if applicable, LLC etc.):			
Property Owner(s) Mailing Address:			
City:	State:	Zip Code:	Phone #:
Property Owner(s) Email Address:			
Property Owner(s) Signature:			Date:
FOR OFFICE USE ONLY:			
Zoning District: <u>UR</u>	Flood Zone: <u>shaded X (S1K)</u>	Date Filed: <u>6/24/25</u>	Fee Paid: <u>\$250</u>
Application #: <u>BZA-06-25-085</u>	TMS #: <u>418-13-00-129</u>		Staff Initials: <u>jjc</u>

Description of Request

Please describe your proposal in detail. You may attach a separate sheet if necessary. Additionally, you may provide any supporting materials that are applicable to your request (photographs, letter of support, etc.)

This project proposes modifications to an existing residential building located on 0.13 acres in Charleston County, SC. The project scope proposes landscaping and parking along with a modified driveway to serve the existing building being converted from residential to commercial use. The property site is identified as Charleston County TMS No. 418-13-00-129. The current zoning is Urban Residential (UR).

The proposed commercial use for the project is the new location for the Anne Bonny's Lash & Skin Boutique which is classified as a "hair, nail, and skin care service" and is considered a "conditional use" under the ZLDR. Section 6.4.3.a. of the ZLDR specifies that the above use shall be limited to a max. of one chair in those zoning districts in which they are allowed as a conditional use. As such, we are requesting a Special Exception to request two (2) chairs.

Applicant's response to Article 3.6 Special Exception, §3.6.5 Approval Criteria

Special Exceptions may be approved only if the Board of Zoning Appeals finds that the proposed use meets all 6 of the approval criteria. In evaluating your request, the members of the board will review the answers below as a part of the case record. You may attach a separate sheet if necessary.

1. Is the proposed use consistent with the recommendations contained in the Charleston County Comprehensive Plan and the character of the underlying zoning district "Purpose and Intent"? Explain:

The purpose and intent of the UR Zone as listed in Section 4.14.1 of the ZLDR states: "Urban Residential Zoning District implements the Urban/Suburban Mixed Use policies of the Comprehensive Plan." The proposed "hair, nail, and skin care service" classification of "personal service" is consistent with the character and intent of the UR zoning district and fits with the existing Avondale neighborhood.

2. Describe how the proposed use is compatible with existing uses in the vicinity and will not adversely affect the general welfare or character of the immediate community.

The proposed "hair, nail, and skin care service" use is consistent with other "personal service" uses located in the Avondale neighborhood such as The Strength Club, Strawberry Blonde Salon, etc. The proposed use is a Conditionally allowed use within the UR district; however, requesting more than one chair is what is prompting the need for a Special Exception as outlined in section 6.4.3.a.

3. Describe what adequate provisions have been or will be made for such items as: setbacks, buffering (including fences and/or landscaping) to protect adjacent properties from the possible adverse influence of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion and similar factors.

As part of the redevelopment requirements, we are proposing additional landscaping within the R/W buffers along Tall Oak Avenue and Magnolia Road. There are existing fences are present separating the proposed site from its residential neighbors at Parcel -130 and -128. These fences are not proposed for removal and will remain.

Traffic is not anticipated to be an issue as the salon only serves 1-2 guests at a time.

4. If applicable, will the property be developed in a way that will preserve and incorporate any important natural features? Explain:

The site is already developed with a residential structure and associated yard & driveway. The exterior of the building will remain the same with the addition of a small parking area and ADA facilities. The majority of the site will be preserved green space with enhanced R/W buffers. We are preserving most of the existing vegetation onsite.

5. Explain how the proposed use complies with all applicable rules, regulations, laws and standards of this Ordinance, including but not limited to any use conditions, zoning district standards, or Site Plan Review requirements of this Ordinance.

The proposed use is a Conditionally allowed use within the UR district; however, requesting more than one chair is what is prompting the need for a Special Exception as outlined in section 6.4.3.a. We meet all other use conditions as the proposed floor area is under the maximum 5,000 SF.

6. Will the proposed use hinder or endanger vehicular traffic and pedestrian movement on adjacent roads? Explain:

The proposed use is not anticipated to hinder or endanger vehicular traffic and pedestrian movement on adjacent roads. Pedestrian access to Magnolia Road R/W is available currently and will be maintained as part of the proposed redevelopment. The proposed use is low-generator of traffic as the salon only serves 1-2 guests at a time. The proposed parking area is in the same location as the existing driveway and does not propose a new traffic pattern. Additionally, Tall Oak Drive is a City of Charleston maintained R/W. The City has already approved our proposed driveway encroachment within their R/W.

In granting a special exception, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building or structure as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.

C:\Tall Oak HQ\LO25-001-2 Tall Oak Avenue Commercial\Drawings\001 - Cover.dwg

CONSTRUCTION PLANS FOR: 2 TALL OAK AVENUE COMMERCIAL TALL OAK HQ, LLC CHARLESTON COUNTY, SC TMS NO. 418-13-00-129

PROJECT INFORMATION:

- PROJECT NAME: 2 TALL OAK AVENUE COMMERCIAL
- PROJECT ADDRESS: 2 TALL OAK AVENUE
CHARLESTON, SC 29407
TMS NO. 418-13-00-129
- PARCEL ID: 0.13 ACRES
- PARCEL ACREAGE: 0.13 ACRES
- JURISDICTION: CHARLESTON COUNTY
- ZONING: URBAN RESIDENTIAL (UR)
- PROPOSED USE: HAIR, NAIL, & SKIN CARE SERVICES
- DISTURBED AREA: 0.2 ACRES

PROJECT CONTACT INFORMATION:

- DEVELOPER: TALL OAK HQ, LLC
CONTACT: EDWARD KRONSBERG
PO BOX 31607
CHARLESTON, SC 29417
843.830.5756
- ENGINEER: C BAKER ENGINEERING, LLC
CONTACT: CAMERON BAKER, PE
PO BOX 81082
CHARLESTON, SC 29416
843.270.3185

REGULATORY CONTACT INFORMATION:

- PLANNING/ZONING: CHARLESTON COUNTY
CONTACT: SALLY BROOKS, PLA, ISA
4045 BRIDGE VIEW DRIVE
NORTH CHARLESTON, SC 29405
843.202.7215
- ENGINEERING/MS4: CHARLESTON COUNTY
CONTACT: CHRIS WANNAMAKER, PE
4045 BRIDGE VIEW DRIVE
NORTH CHARLESTON, SC 29405
843.202.7600
- NPDES: SCDES
CONTACT: SHANNON HICKS, PE
1362 MCMILLAN AVENUE, SUITE 300
CHARLESTON, SC 29405
843.953.0150
- WATER SYSTEM: CHARLESTON WATER SYSTEM
CONTACT: LYDIA OWENS
103 ST. PHILIP STREET
CHARLESTON, SC 29403
843.727.6869
- SEWER SYSTEM: CHARLESTON WATER SYSTEM
CONTACT: LYDIA OWENS
103 ST. PHILIP STREET
CHARLESTON, SC 29403
843.727.6869
- ELECTRIC PROVIDER: DOMINION ENERGY
- GAS PROVIDER: DOMINION ENERGY

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET
C100	EXISTING CONDITIONS
C101	SURVEY (BY OTHERS)
C102	DEMO & TREE REMOVAL PLAN
C200	SWPPP PLAN
C210	SWPPP DETAILS
C300	SITE LAYOUT PLAN
C400	GRADING & DRAINAGE PLAN
C900	SITE DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE NOTES

OCRM STANDARD NOTES:

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK WITH NO MORE THAN 9 DAYS IN BETWEEN INSPECTIONS AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT EXISTING BENCHMARKS, MONUMENTS, ROADWAYS, AND FACILITIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MINIMIZE, TO THE MAXIMUM EXTENT POSSIBLE, THE AMOUNT OF DISTURBANCE IN AREAS THAT REQUIRE INSTALLATION OF THIS DESIGN.
- LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE.
- AT CONCLUSION OF THE CONSTRUCTION PROJECT, ALL COMPONENTS OF THIS DESIGN PACKAGE SHALL BE IN OPERABLE CONDITION, MEETING ITS REQUIREMENTS.
- CONTRACTOR SHALL RESTORE ALL GROUND SURFACE CONDITIONS AFTER CONSTRUCTION TO MATCH EXISTING CONDITIONS AND GRADE ELEVATIONS SURROUNDING THE SITE.
- SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD, HE SHALL NOTIFY THE OWNER PRIOR TO BEGINNING WORK.
- CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ANY CONFLICTS TO THE ENGINEER.
- A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
- CONTRACTOR SHALL VERIFY THAT ALL NECESSARY CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
- THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- TRANSFER OF SITE BENCHMARKS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL ONLY BE DONE BY A S.C. LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL DISCIPLINES TO AVOID CONFLICTS.
- IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO MAKING FIELD ADJUSTMENTS.
- ALL BACK FILL OF ALL TRENCHES SHALL BE COMPACTED TO A DENSITY OF 95% OF THE THEORETICAL MAXIMUM DENSITY (STANDARD PROCTOR), UNLESS NOTED OTHERWISE. BACK FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE CONTENT.
- CONTRACTOR SHALL REMOVE ALL STRIPPING DEBRIS AND EXCESS EXCAVATED MATERIAL FROM THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATIONS AND GRADING INCLUDING FURNISHING OFF-SITE BORROW AS REQUIRED TO MEET PLAN GRADES.
- IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT (FROM OFF-SITE BORROW MATERIALS) OF ALL UNSUITABLE MATERIAL TO MEET COMPACTION REQUIREMENTS UNDER PAVED SURFACES. THE OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
- GRADE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE TO EXISTING OR NEW DRAINAGE FACILITIES.
- ALL FINISHED SURFACES SHALL BE FREE FROM SURFACE IRREGULARITIES.
- LOCATIONS AND TOP ELEVATIONS OF INLETS AND STRUCTURES WILL BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NECESSARY TO MEET REQUIRED EXCAVATIONS AND GRADES. DEWATERING OPERATIONS SHALL NOT DISCHARGE DIRECTLY INTO WETLANDS AREAS. SETTLING BASINS AND SILT FENCING SHALL BE UTILIZED TO PREVENT DISCHARGE OF SILTS INTO THESE AREAS.
- INVERTS SHOWN ON PLAN DRAWING ARE PIPE INVERTS.
- TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS SHALL BE PLACED AT ALL INLETS AND PIPES UNTIL SOIL STABILIZATION IS COMPLETE.
- CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS TO PREVENT SEDIMENTATION OF ADJOINING WETLANDS OR PROPERTIES.
- ANY SUBSTITUTION FOR MATERIALS OR PROCEDURES MUST HAVE PRIOR WRITTEN APPROVAL OF OWNER.
- PIPE LENGTHS SHOWN ARE 20' LENGTH FROM CENTER TO CENTER OF STRUCTURE.
- THE PUBLIC RIGHT-OF-WAY MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED.

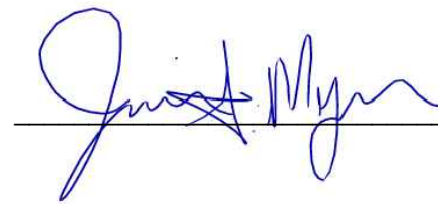
PROJECT DESCRIPTION:

THE PROJECT PROPOSES COMMERCIAL REDEVELOPMENT TO AN EXISTING RESIDENTIAL BUILDING LOCATED ON 0.13 ACRES IN CHARLESTON COUNTY, SC. THE PROJECT SCOPE PROPOSES LANDSCAPING AND PARKING ALONG WITH A DRIVEWAY FOR THE EXISTING RESIDENTIAL BUILDING.

THE PROPERTY SITE IS KNOWN AS CHARLESTON COUNTY TMS NO. 418-13-00-129. THE CURRENT ZONING IS URBAN RESIDENTIAL (UR). THE DISTURBED AREA FOR THE PROJECT IS 0.2 AC. THERE ARE NO WETLANDS OR CRITICAL AREA PRESENT ONSITE.


















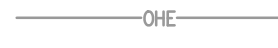
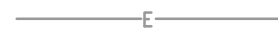

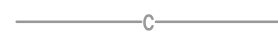
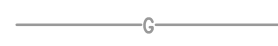















SCDES CERTIFICATION STATEMENT:

I HEREBY CERTIFY THAT THIS PROJECT QUALIFIES FOR AUTOMATIC PERMIT COVERAGE OR EXEMPTION BASED UPON ACREAGE, VICINITY TO A COASTAL RECEIVING WATER BODY, AND THE PROJECT NOT BEING PART OF A LARGER COMMON PLAN (LCP).

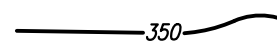
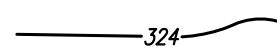
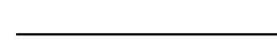

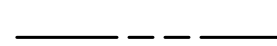




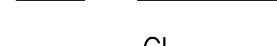
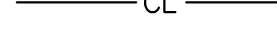
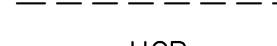
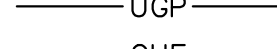
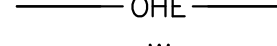
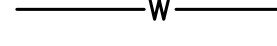
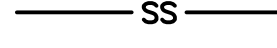
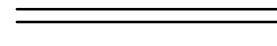




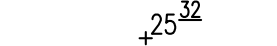
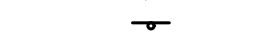



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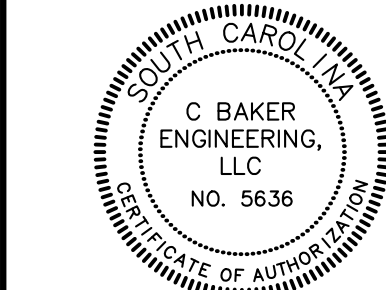
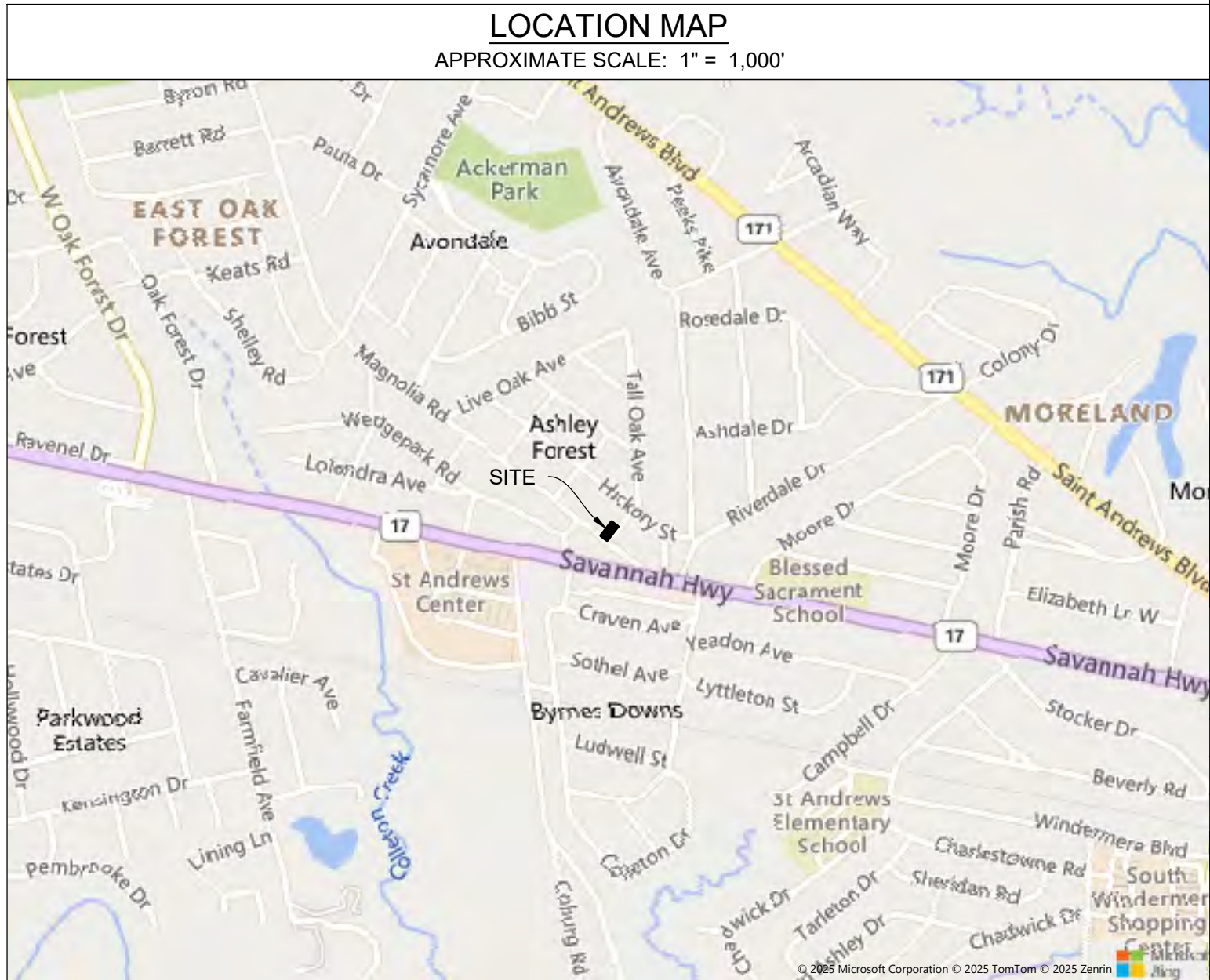
BOARDS/COMMISSION APPROVALS	
BOARD COMMISSION	APPROVAL DATE
BOARD OF ZONING APPEALS	PENDING

EXISTING LEGEND

	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	EDGE OF PAVEMENT
	CURB AND GUTTER
	PROPERTY LINE
	DEPARTING PROPERTY LINE
	LOT LINE
	RIGHT-OF-WAY
	CENTERLINE
	TREE/CANOPY LINE
	STREAM
	FENCE LINE
	EASEMENT
	WATER LINE
	SANITARY SEWER
	STORM SEWER
	OVERHEAD ELECTRIC
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	CABLE
	GAS LINE
	SPOT ELEVATION
	BENCHMARK
	UTILITY POLE
	SIGN
	ELECTRIC BOX
	CURB DRAIN INLET (CDI)/DRAIN INLET (DI)
	STORM DRAIN MANHOLE (SDMH)
	SANITARY SEWER MANHOLE (SMH)
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	STREET LIGHT/LAMP
	JUNCTION BOX
	TREE TRUNK
	CONCRETE
	END SECTIONS

PROPOSED LEGEND

	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	EDGE OF PAVEMENT
	CURB AND GUTTER
	PROPERTY LINE
	RIGHT-OF-WAY
	CENTERLINE
	FENCE LINE
	TREE PROTECTION
	CLEARING LIMITS
	POWER EASEMENT
	POWER LINE
	OVERHEAD POWER LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAINAGE LINE
	SILT FENCE
	LIMITS OF DISTURBANCE
	ACCESSIBLE ROUTE (REPRESENTATION ONLY)
	SPOT ELEVATION
	SIGN
	CURB INLET (CI)/JUNCTION BOX (JB) /DROP INLET (DI)
	LIGHT DUTY ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING
	HEAVY DUTY CONCRETE
	SIDEWALK

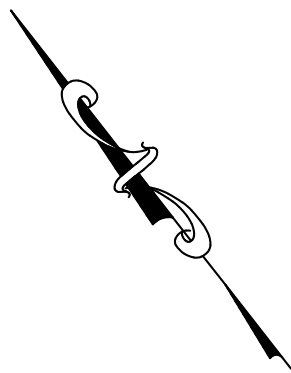
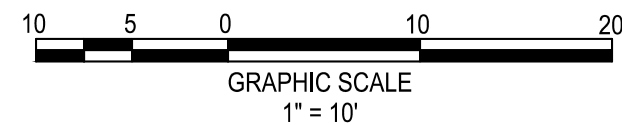


COVER SHEET
2 TALL OAK AVENUE
COMMERCIAL
TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

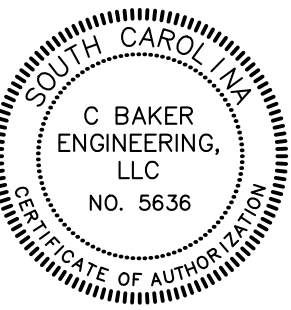
DESCRIPTION		DATE	REV	PROJECT NO.: 25.001									
ISSUED FOR INITIAL PERMIT REVIEW		04/17/25	A	PROJECT DATE: 02/13/2025									
REVISED FOR BZA SUBMITTAL		08/20/25	B	DRAWN BY: JSM									
				CHECKED BY: CBB									
				SCALE:									
				SHEET: C001									



1. EXISTING CONDITIONS FOR PROPERTY ESTABLISHED BY SURVEY PREPARED BY PEABODY & ASSOCIATES, INC. TITLED "TOPOGRAPHIC PLAT OF LOT 1, BLOCK B, ASHLEY FOREST" DATED SEPTEMBER 13, 2024, LAST REVISED APRIL 1, 2025. SEE SHEET C101.
2. ALL LOCATIONS REFER TO NAD 1983, 2011 SHIFT
3. ALL ELEVATIONS REFER TO NAVD 88.



PO BOX 81082
CHARLESTON, SC 29416
843.270.3185
CBAKERENGINEERING.COM



EXISTING CONDITIONS
2 TALL OAK AVENUE
COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

[illegible]

PROJECT NO.: 25.001
PROJECT DATE: 02/13/2025
DRAWN BY: JSM
CHECKED BY: CBB
SCALE: 1" = 10'

SHEET:

C100

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND HUD FLOOD HAZARD BOUNDARY MAPS.

- NOTES:
1. PROPERTY APPEARS IN FLOOD ZONE SHADDED "X" ON FIRM COMMUNITY PANEL NUMBER 450102011K. MAP REVISED JANUARY 29, 2021.
 2. THE BEARINGS SHOWN ARE GRID NORTH NAD83 (2011).
 3. ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
 4. THIS SURVEY IS BASED ON THE REFERENCES SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.
 5. THE FIVE FOOT STRIP RESERVED FOR A SIDEWALK ALONG MAGNOLIA ROAD APPEARS ON PLAT BOOK "E" PAGE 137 AS WELL AS DEED BOOK "1280" PAGE 630. THIS AGREEMENT APPEARS TO BE PART OF THE SIX (6) FEET TAKEN BY SCOTT AND NOW IS NOT APPLICABLE.
 6. APPROXIMATELY SIX (6) FEET WAS TAKEN BY THE S.C. HIGHWAY DEPARTMENT FOR WIDENING S.C. HIGHWAY 61 (MAGNOLIA ROAD). THIS RIGHT-OF-WAY ACQUISITION IS LISTED IN DEED BOOK "1284", PG. 630.

- LEGEND:
- PF11FT - 1" PINCHED TOP PIPE FOUND, OLD.
 - PF12FT - 1" OPEN TOP PIPE FOUND, OLD.
 - REB98 - 3/8" REBAR SET, NEW.
 - WM - WATER METER.
 - SSMH - SANITARY SEWER MANHOLE.
 - SS - SANITARY SEWER SERVICE.
 - SDG - STORM DRAIN GRATE, INLET.
 - SDP - REINFORCED CONCRETE PIPE.
 - EL - INVERT ELEVATION.
 - FTE - FINISHED FLOOR ELEVATION.
 - FLO - 47" LIME OAK DIAMETER AT BREAST HEIGHT.
 - WCOK - 15" OAK DIAMETER AT BREAST HEIGHT.
 - 19SJM - 15" SUNK DIAMETER AT BREAST HEIGHT.
 - 12PJM - 12" PAUL DIAMETER AT BREAST HEIGHT.
 - 67PBP - 67" DOUBLE BRADFORD PEAR DIAMETER AT BREAST HEIGHT.
 - CNC - CREEP MYTIC CLUSTER DIAMETER AT BREAST HEIGHT.
 - EL 10.8 - SPOT ELEVATION 10.8 M.S.L., NAVD83.

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- FENCE LINE
- OVERHEAD POWER LINE
- BUILDING LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND WATER LINE

- REFERENCES:
1. PLAT BOOK "E" PAGE 137 BY RICHARD C. RHETT, RECORDED OCTOBER 8, 1931.
 2. DEED BOOK "1244" PAGE 630 RECORDED JULY 10, 2013.
 3. DEED BOOK "1280" PAGE 760 RECORDED NOVEMBER 22, 2024.

TOPOGRAPHIC PLAT

OF LOT 1, BLOCK B, ASHLEY FOREST, ST. ANDREWS PARISH, CHARLESTON COUNTY, SOUTH CAROLINA. PRESENTLY OWNED BY TALL OAK HQ LLC.

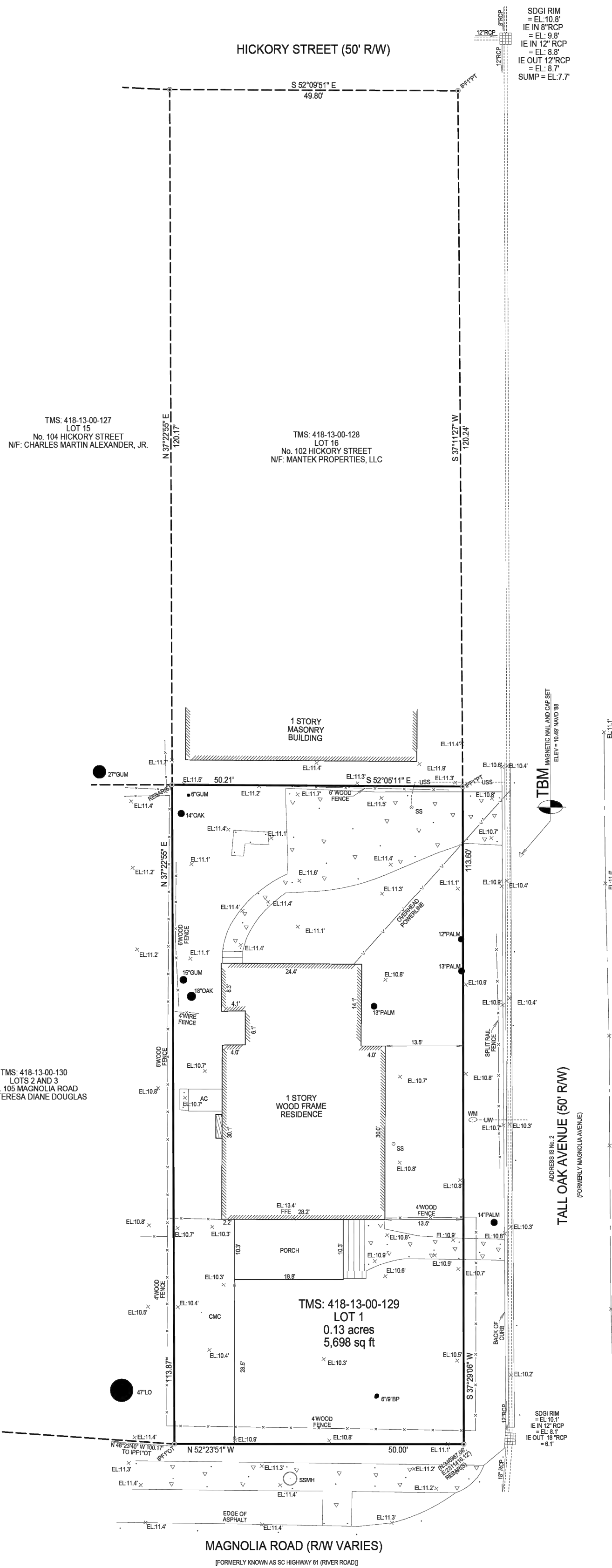
SCALE: 1" = 10'

DATE: SEPTEMBER 13, 2024
REV: APRIL 1, 2025

REF: AS SHOWN

TMS: 418-13-00-129

ALEXANDER C. PEABODY, PLS
PEABODY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING
P.O. BOX 22846, CHARLESTON, SC 29413
OFFICE 843-723-5225, MOBILE 843-274-4647



CHARLESTON COUNTY
SOUTH CAROLINA

DEMOLITION NOTES:

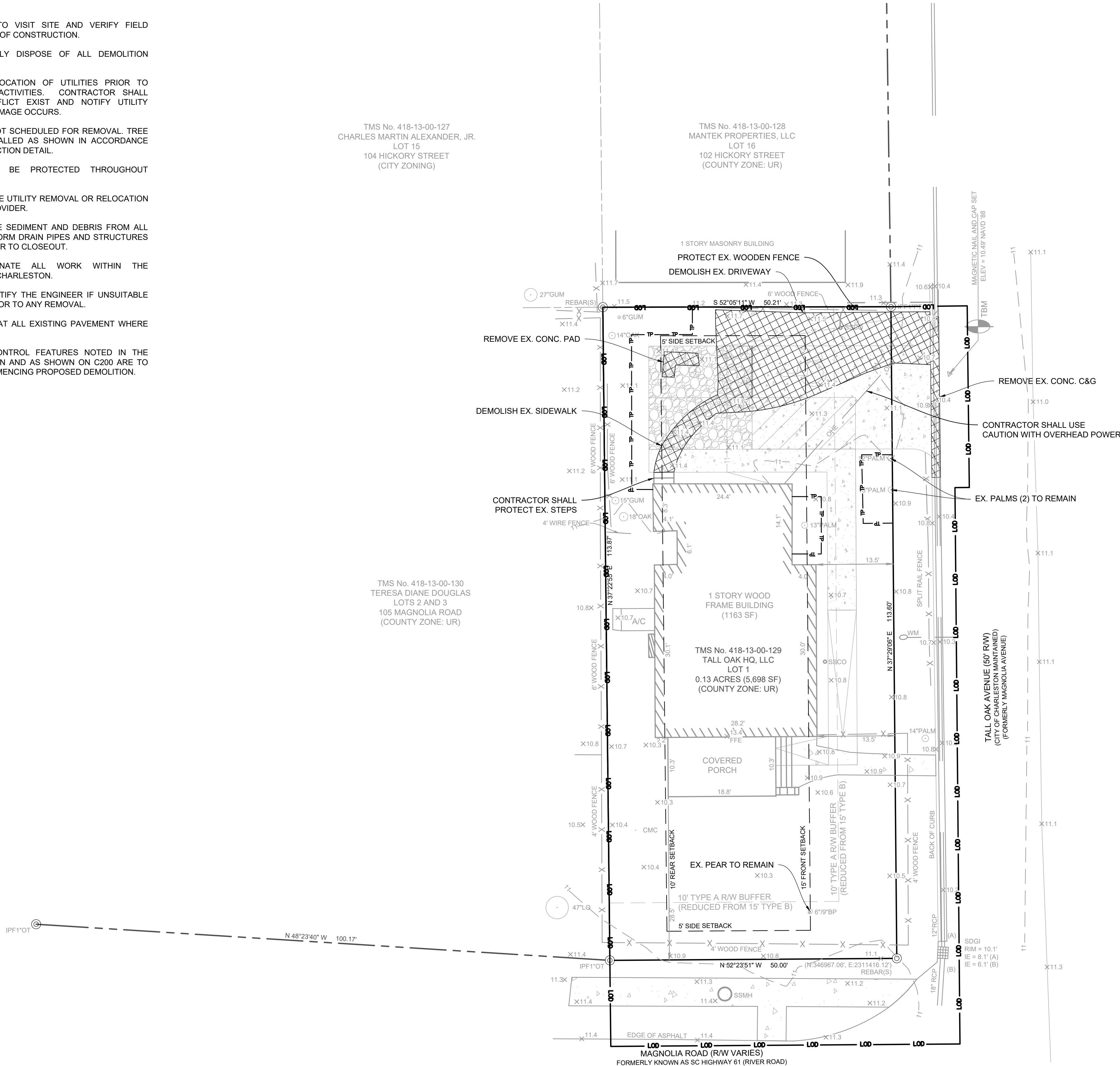
1. CONTRACTOR IS ADVISED TO VISIT SITE AND VERIFY FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF SITE.
3. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO COMMENCING DEMOLITION ACTIVITIES. CONTRACTOR SHALL NOTIFY OWNER IF A CONFLICT EXIST AND NOTIFY UTILITY PROVIDER IMMEDIATELY IF DAMAGE OCCURS.
4. PROTECT EXISTING TREES NOT SCHEDULED FOR REMOVAL. TREE PROTECTION SHALL BE INSTALLED AS SHOWN IN ACCORDANCE WITH PROVIDED TREE PROTECTION DETAIL.
5. EXISTING UTILITIES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
6. CONTRACTOR TO COORDINATE UTILITY REMOVAL OR RELOCATION WITH APPLICABLE UTILITY PROVIDER.
7. CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL EXISTING AND PROPOSED STORM DRAIN PIPES AND STRUCTURES SERVING THE PROPERTY PRIOR TO CLOSEOUT.
8. CONTRACTOR TO COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH CITY OF CHARLESTON.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO ANY REMOVAL.
10. SAWCUTS ARE TO BE MADE AT ALL EXISTING PAVEMENT WHERE SHOWN ON THIS PLAN.
11. SEDIMENT AND EROSION CONTROL FEATURES NOTED IN THE SEQUENCE OF CONSTRUCTION AND AS SHOWN ON C200 ARE TO BE INSTALLED PRIOR TO COMMENCING PROPOSED DEMOLITION.

TMS No. 418-13-00-127
CHARLES MARTIN ALEXANDER, JR.
LOT 15
104 HICKORY STREET
(CITY ZONING)

TMS No. 418-13-00-128
MANTEK PROPERTIES, LLC
LOT 16
102 HICKORY STREET
(COUNTY ZONE: UR)

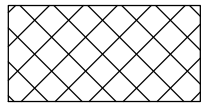
TMS No. 418-13-00-130
TERESA DIANE DOUGLAS
LOTS 2 AND 3
105 MAGNOLIA ROAD
(COUNTY ZONE: UR)

TMS No. 418-13-00-129
TALL OAK HQ, LLC
LOT 1
0.13 ACRES (5,698 SF)
(COUNTY ZONE: UR)

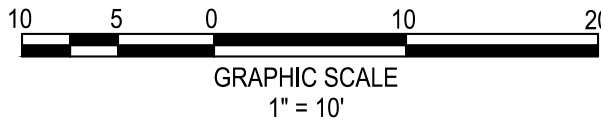
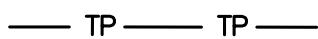


DEMOLITION LEGEND:

DEMOLITION LIMITS



TREE PROTECTION BARRICADE



DEMO & TREE REMOVAL PLAN

2 TALL OAK AVENUE
COMMERCIAL

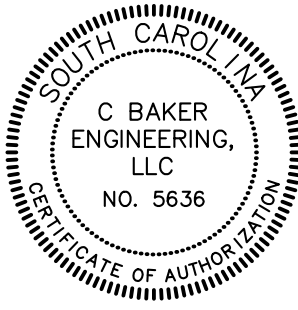
TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

REV	DATE	DESCRIPTION
A	04/17/25	ISSUED FOR INITIAL PERMIT REVIEW
B	06/20/25	REVISED FOR RZA SUBMITTAL

PROJECT NO.: 25.001
PROJECT DATE: 02/13/2025
DRAWN BY: JSM
CHECKED BY: CBB
SCALE: 1" = 10'

C102

SHEET:



SWPPP NOTES:

- CONTRACTOR SHALL INSTALL ALL BMPS IN ACCORDANCE WITH THIS DOCUMENT.
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER RUNOFF DURING CONSTRUCTION IS ROUTED TOWARD APPROVED BMPS SHOWN ON THIS PLAN. GROUND WATER ASSOCIATED WITH DEWATERING ACTIVITIES SHALL ALSO BE DIRECTED TOWARDS INSTALLED BMPS.
- CONTRACTOR SHALL PROVIDE ALL REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL AS IDENTIFIED ON THIS PLAN AND FURTHER SPECIFIED IN THE SC CONSTRUCTION GENERAL PERMIT AND SCDES REQUIREMENTS.
- CONTRACTOR CAN SUBSTITUTE ALTERNATIVE MEANS OF FINAL STABILIZATION (SOD) IF APPROVED BY OWNER, HOWEVER, FINAL STABILIZATION SHALL SATISFIED IN ACCORDANCE WITH LOCAL JURISDICTION.

SWPPP - SEQUENCE OF CONSTRUCTION:

- RECEIVE NPDES COVERAGE FROM SCDES AND FINAL MS4 APPROVAL.
- PRIOR TO ANY LAND DISTURBANCE ACTIVITY, CONDUCT A SWPPP PRE-CONSTRUCTION CONFERENCE. SITE CONTRACTOR SHALL SCHEDULE AND CONDUCT SWPPP PRE-CONFERENCE MEETING WITH THE SWPPP PREPARING ENGINEERING, CHARLESTON COUNTY, SCDES, OWNER, AND ALL LAND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- PRIOR TO ANY LAND DISTURBANCE, TREE PROTECTION FENCE IS TO BE INSTALLED AND INSPECTED/APPROVED BY THE CHARLESTON COUNTY.
- NOTIFY SCDES EQC OFFICE AND CHARLESTON COUNTY PUBLIC WORKS 72 HOURS PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.
- CLEAR, GRUB, AND GRADE FOR PERIMETER BMPS ONLY.
- INSTALL TREE PROTECTION AND SILT FENCE AT THE PERIMETER.
- CLEAR AND GRUB REMAINDER OF THE SITE WITHIN THE LIMITS OF DISTURBANCE.
- SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN THE DEPTH OF SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE BMP.
- ROUGH GRADING, INCLUDING IMPORT OF FILL MATERIAL.
- TEMPORARY SEEDING (AS NECESSARY).
- MAINTAIN BMPS THROUGHOUT CONSTRUCTION
- PERFORM CONSTRUCTION TO INCLUDE PARKING AND LANDSCAPED AREAS.
- FINE GRADING OF SITE FOR PLACEMENT OF STABILIZATION.
- PERMANENT STABILIZATION OF ALL FINISHED GRADING AREAS.
- PAVE ALL AREAS DESIGNATED FOR PERMANENT PAVING.
- PERMANENT SOD (REFER TO LANDSCAPE PLANS FOR FINAL STABILIZATION).
- COMPLETE INSPECTION REPORTS IN ACCORDANCE WITH SCDES AND CONSTRUCTION GENERAL PERMIT AND CHARLESTON COUNTY STORMWATER REGULATION.
- REMOVE TEMPORARY BMPS FROM THE SITE. DISPOSE OF DEBRIS BY APPROVED METHODS. CONVERT APPLICABLE TEMPORARY BMPS TO PERMANENT BMPS.
- COMPLETE AS-BUILT DRAWINGS OF THE INSTALLED STORM WATER SYSTEM AND SUBMIT FOR APPROVAL FROM ENGINEER-OF-RECORD.
- CONTACT CHARLESTON COUNTY PUBLIC WORKS FOR THE FINAL INSPECTION AND CLOSE OUT OF THE PROJECT.

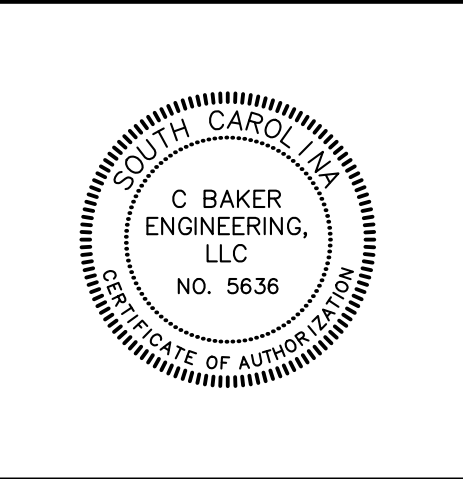
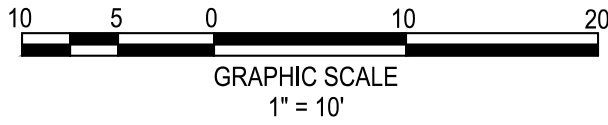
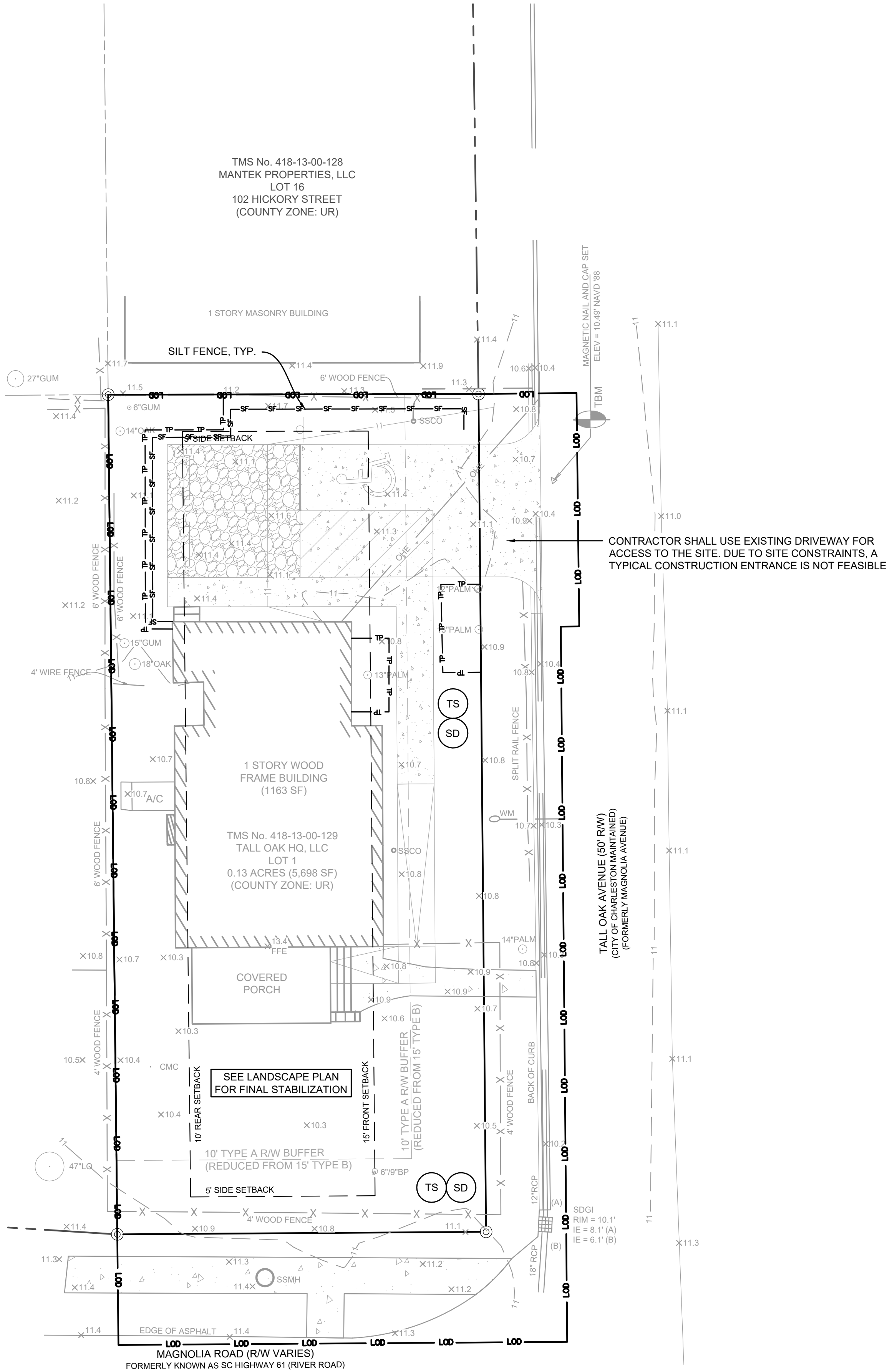
SWPPP LEGEND

- (TS) TEMPORARY SEEDING
- (SD) PERMANENT SODDING (SEE LANDSCAPE PLAN)
- SF — SILT FENCE
- TP — TREE PROTECTION BARRICADE

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SWPPP PLAN

2 TALL OAK AVENUE
COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

REV	DATE	DESCRIPTION
A	04/17/25	ISSUED FOR INITIAL PERMIT REVIEW
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PROJECT NO.: 25.001

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DRAWN BY: JSM

CHECKED BY: CBB

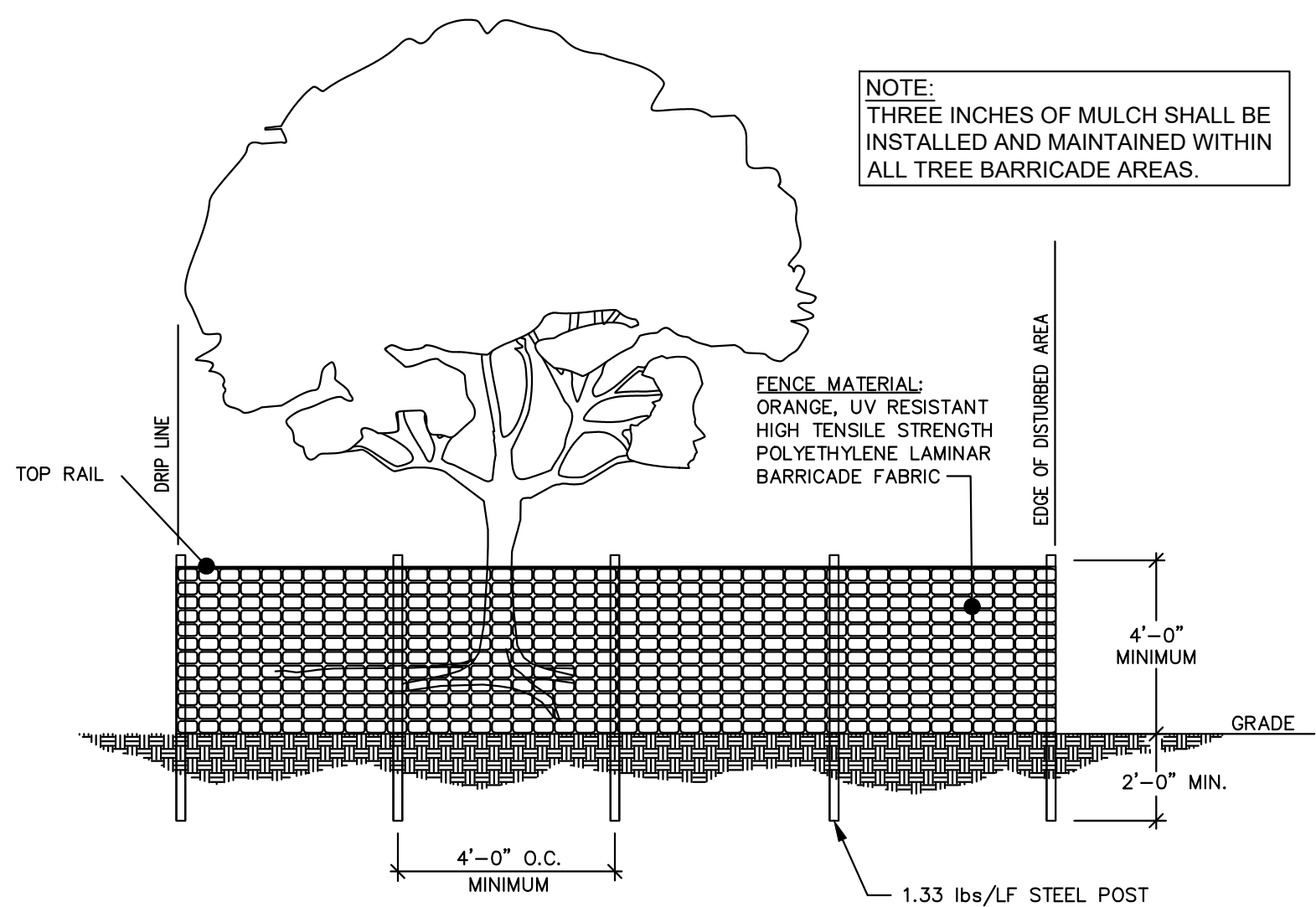
SCALE: 1" = 10'

SHEET: C200

[illegible][illegible]

IN THE ABSENCE OF SOIL TESTS, FERTILIZER AND LIME WILL GENERALLY BE APPLIED AT THE FOLLOWING RATES:	
10-10-10 FERTILIZER	500 LB/ACRE GROUND
AGRICULTURAL LIMESTONE	2000 LB/ACRE

TEMPORARY/PERMANENT SEEDING SCHEDULE DETAIL
N.T.S.



- TREE PROTECTION DETAIL
N.T.S.

Diagram illustrating the cross-section of a trench wall with various components and specifications:

- 1.25 LB./LINEAR FT. STEEL POSTS**: Indicated by arrows pointing to the vertical posts.
- MAXIMUM SPACING = 6 FT.**: Indicated by a dimension line across the top of the wall.
- FILTER FABRIC**: Indicated by an arrow pointing to the fabric layer on the top surface.
- BACKFILL TRENCH WITH COMPACTED EARTH**: Indicated by an arrow pointing to the material behind the wall.
- RUNOFF**: Indicated by an arrow pointing to the sloped bottom of the trench.
- USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH SEE DETAILS**: Indicated by an arrow pointing to the bottom of the trench.
- HEAVY DUTY PLASTIC TIE FOR STEEL POSTS (RESTRICT TO TOP 8-INCHES OF FABRIC)**: Indicated by an arrow pointing to the tie connecting the post to the fabric.
- BURY FABRIC**: Indicated by an arrow pointing to the fabric layer on the bottom surface.

PLAN SYMBOL

—SF —SF —

1. **SILT FENCE GENERAL NOTES:** Silts fences should be installed in areas subject to concentrated flows or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fabric by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach the new silt fence roll with heavy-duty plastic ties;
 - Overlap entire width of each silt fence roll from one support post to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
7. Install Silt Fence Gates (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

1. Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 PSI.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 48-inches.
 - Weigh 1.25 pounds per foot ($\pm 8\%$)
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 1/4-inch steel, at a minimum. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be at a maximum of 6-feet on center.

1. Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Be consisting of linear chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to the unfabricated polymer.
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and
 - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL). Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
4. Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
5. Filter Fabric shall be installed at a minimum of 24-inches above the ground.

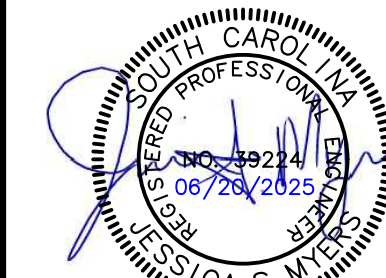
The diagram illustrates a cross-section of a trench drain installation. At the top, a layer of 'FILTER FABRIC' is shown. Below it is a layer of 'COMPACTED EARTH'. A 'HEAVY DUTY PLASTIC TIES' are shown securing the filter fabric to the compacted earth. The distance between the filter fabric and the compacted earth is labeled '18-IN. TO 24-IN.'. The filter fabric is shown with a '6-IN.' width. The compacted earth is shown with a '24-IN. (MINIMUM)' thickness. The diagram also shows 'RUNOFF' entering the trench and a '6-IN.' width for the trench opening.

A cross-sectional diagram of a trench installation for a stormwater filter fabric. The diagram shows a trench with a sloped side and a vertical wall. The top of the trench is labeled 'FILTER FABRIC' and 'HEAVY DUTY PLASTIC TIES'. The vertical wall is labeled '18-IN. TO 24-IN.' and '24-IN. (MINIMUM)'. The sloped side is labeled 'RUNOFF' and '6-IN.'. The bottom of the trench is labeled 'BURY FILTER FABRIC AT LEAST 12-INCHES'. The area above the trench is labeled 'COMPACTED EARTH'.

SILT FENCE	
STANDARD DRAWING NO. SC-03	Page 1 of 2
NOT TO SCALE	FEBRUARY 2014 DATE

1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Check for areas where stormwater runoff has eroded a channel between the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Remove damaged silt fence and reinstall new silt fence immediately.
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

SILT FENCE	
STANDARD DRAWING NO. SC-03	PAGE 2 of 2
GENERAL NOTES	FEBRUARY 2014 DATE



SWPPP DETAILS
2 TALL OAK AVENUE
COMMERCIAL
TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

[illegible]

PROJECT NO.: 25.001
PROJECT DATE: 02/13/2025
DRAWN BY: JSM
CHECKED BY: CBB
SCALE:

SHEET: C210

1. PROPERTY INFORMATION:
 - 1.1. CHARLESTON COUNTY TMS NO. 418-13-00-129
 - 1.2. OWNER: TALL OAK HQ, LLC
 - 1.3. ACREAGE: 0.13 ACRES
 - 1.4. ADDRESS: 2 TALL OAK AVENUE, CHARLESTON, SC 29407
 - 1.5. FLOOD ZONE: "SHADED X" PER FEMA MAP 45019C0511K, DATED 01/29/2021
 - 1.6. JURISDICTION: CHARLESTON COUNTY, SC

2.1. ZONED: URBAN RESIDENTIAL (UR)

2.2.1. CONDITIONAL USE WITHIN UR DISTRICT

2.2.1.1. HAIR, NAIL, & SKIN CARE SERVICES SHALL BE LIMITED TO A MAX. OF ONE CHAIR IN THOSE ZONING DISTRICTS IN WHICH THEY ARE ALLOWED AS A USE SUBJECT TO CONDITIONS, OTHERWISE THIS USE SHALL COMPLY WITH THE SPECIAL EXCEPTION PROCEDURES OF THIS ORDINANCE.

2.2.1.2. WHERE HAIR, NAIL, & SKIN CARE SERVICES ARE ALLOWED AS A USE SUBJECT TO CONDITIONS, THIS USE SHALL HAVE A MAX. FLOOR AREA OF 5,000 SF. OTHERWISE THIS USE SHALL COMPLY WITH THE SPECIAL EXCEPTION PROCEDURES OF THIS ORDINANCE.

2.2.1.3. HAIR, NAIL, & SKIN CARE SERVICES ARE ALLOWED AS HOME OCCUPATIONS IN ALL RESIDENTIAL AND AGRICULTURAL ZONING DISTRICTS WITH A MAX. OF ONE CHAIR.

2.3.1. FRONT: 15'
2.3.2. SIDE: 5'
2.3.3. REAR: 10'

2.4.1. RIGHT-OF-WAY BUFFERS (BUFFERS REQUESTED FOR STAFF LEVEL APPROVAL FOR REDUCTION BY 1/3)
2.4.1.1. MAGNOLIA ROAD: 15' TYPE B R/W BUFFER
2.4.1.2. TALL OAK AVE.: 15' TYPE B R/W BUFFER

RESIDENTIAL 1)

2.4.2.1. ADJACENT TO PARCEL 130: 15' TYPE B BUFFER

2.4.2.2. ADJACENT TO PARCEL 128: 15' TYPE B BUFFER

3.1. MAXIMUM: 50% OF LOT OR AS ALLOWED BY THE CURRENT EDITION OF THE CHARLESTON COUNTY STORMWATER MANUAL

3.2. PROVIDED: 46.2 % (0.06 AC)

4.1. REQUIRED: 4 STORIES OR 50-FT, WHICHEVER IS LESS
4.2. PROVIDED: EXISTING 1-STORY BUILDING

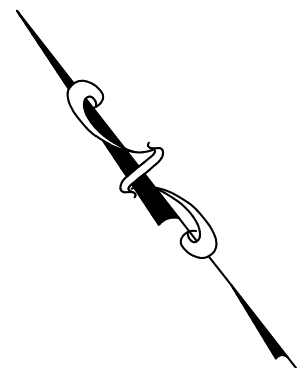
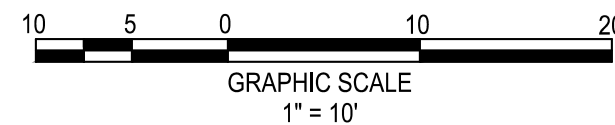
5.1. HAIR, NAIL, & SKIN CARE SERVICE: 2 PER EMPLOYEE OR WORK STATION, WHICHEVER IS GREATER

5.2. TOTAL PARKING REQUIRED = 4 SPACES (1 ADA SPACE MIN.)
(2 CHAIRS x 2 SPACES/CHAIR)

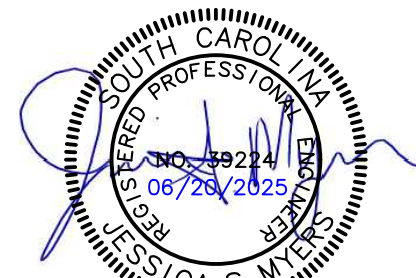
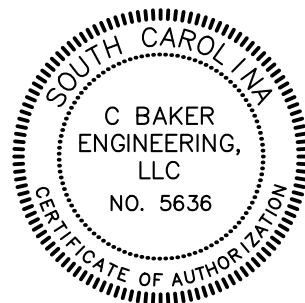
5.3.1. REGULAR = 3 SPACES
5.3.2. HANDICAP = 1 SPACES
5.3.3. TOTAL = 4 SPACES

6. TRASH COLLECTION WILL BE HANDLED VIA ROLL-OFF PICK UP SERVICE AT THE CURB. A TRADITIONAL DUMPSTER IS NOT PROPOSED.

1. REQUEST SPECIAL EXCEPTION FROM SECTION 6.4.3 OF ZLDR TO ALLOW FOR TWO (2) CHAIRS.
2. REQUEST VARIANCE FROM SECTION 9.3.2 OF ZLDR TO REDUCE THE REQUIRED AMOUNT OF PARKING FROM 4 TO 3 SPACES.
3. REQUEST VARIANCE FROM ARTICLE 9.3 OF ZLDR TO ALLOW A NON-TYPICAL "STACKED" PARKING CONFIGURATION.
4. REQUEST VARIANCE FROM SECTION 9.4.4 OF ZLDR TO ELIMINATE THE REQUIRED 15' TYPE B LAND USE BUFFERS, ADJACENT TO RESIDENTIAL PARCELS -128 AND -130.



PO BOX 81082
CHARLESTON, SC 29416
843.270.3185
CBAKERENGINEERING.COM



SITE LAYOUT PLAN
2 TALL OAK AVENUE
COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

[illegible]

PROJECT NO.: 25.001

PROJECT DATE: 02/13/2025

DRAWN BY: JSM

CHECKED BY: CBB

SCALE: 1" = 10'

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100

SHEET-

C300

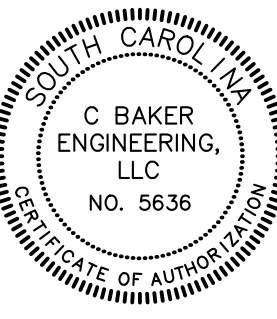
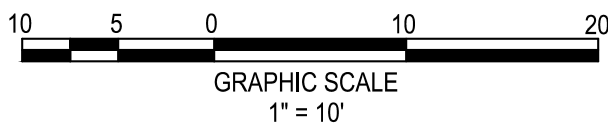
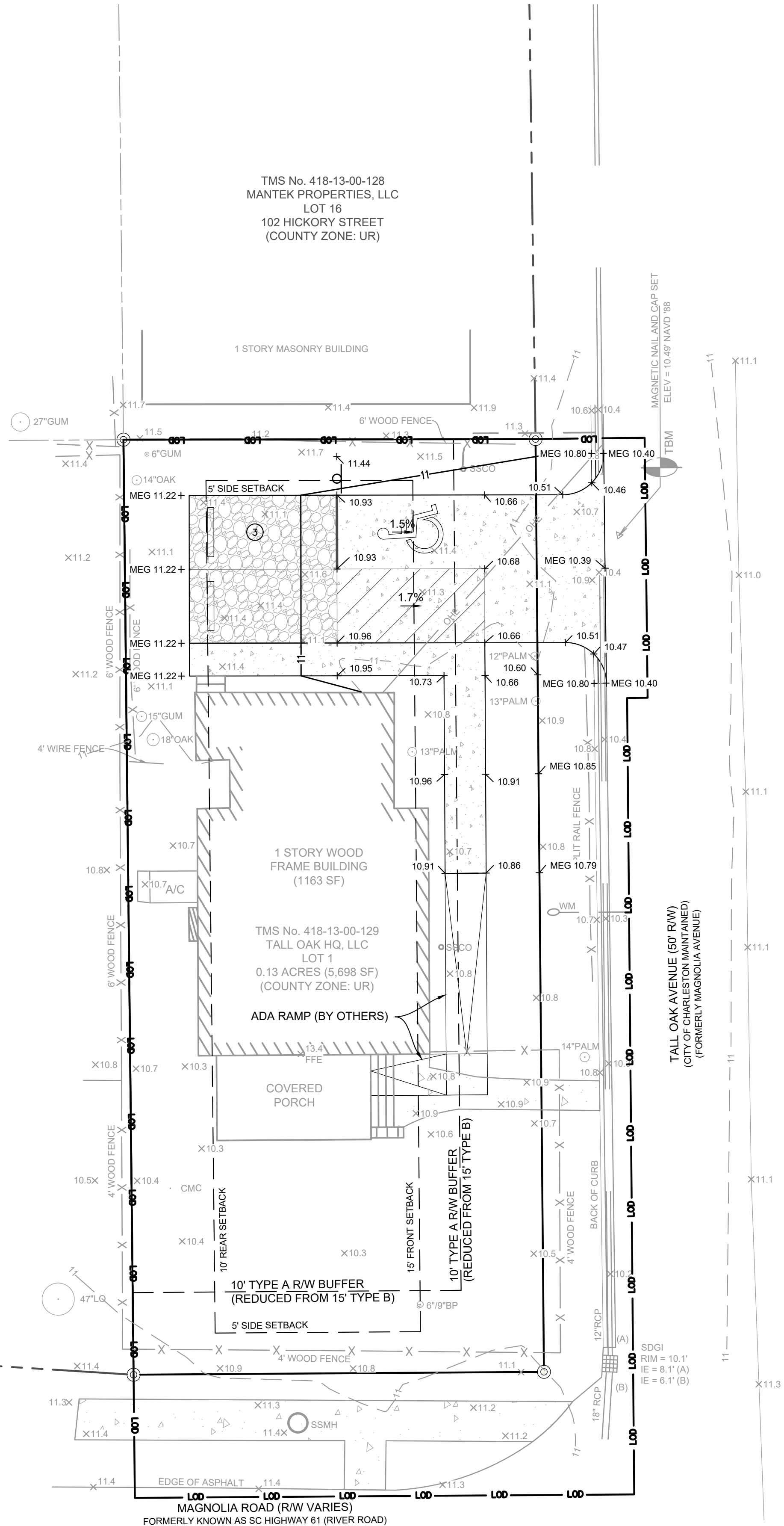
GRADING & DRAINAGE NOTES:

1. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY STRUCTURES TO MATCH PROPOSED GRADES.
2. CONTRACTOR TO CONFIRM WITH OWNER AND SHALL BE RESPONSIBLE FOR GRADE TRANSITION FROM EXTERIOR CONCRETE PAVING AREAS TO FINISHED FLOOR.

TMS No. 418-13-00-127
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GRADING & DRAINAGE PLAN
2 TALL OAK AVENUE
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TMS NO. 418-13-00-129

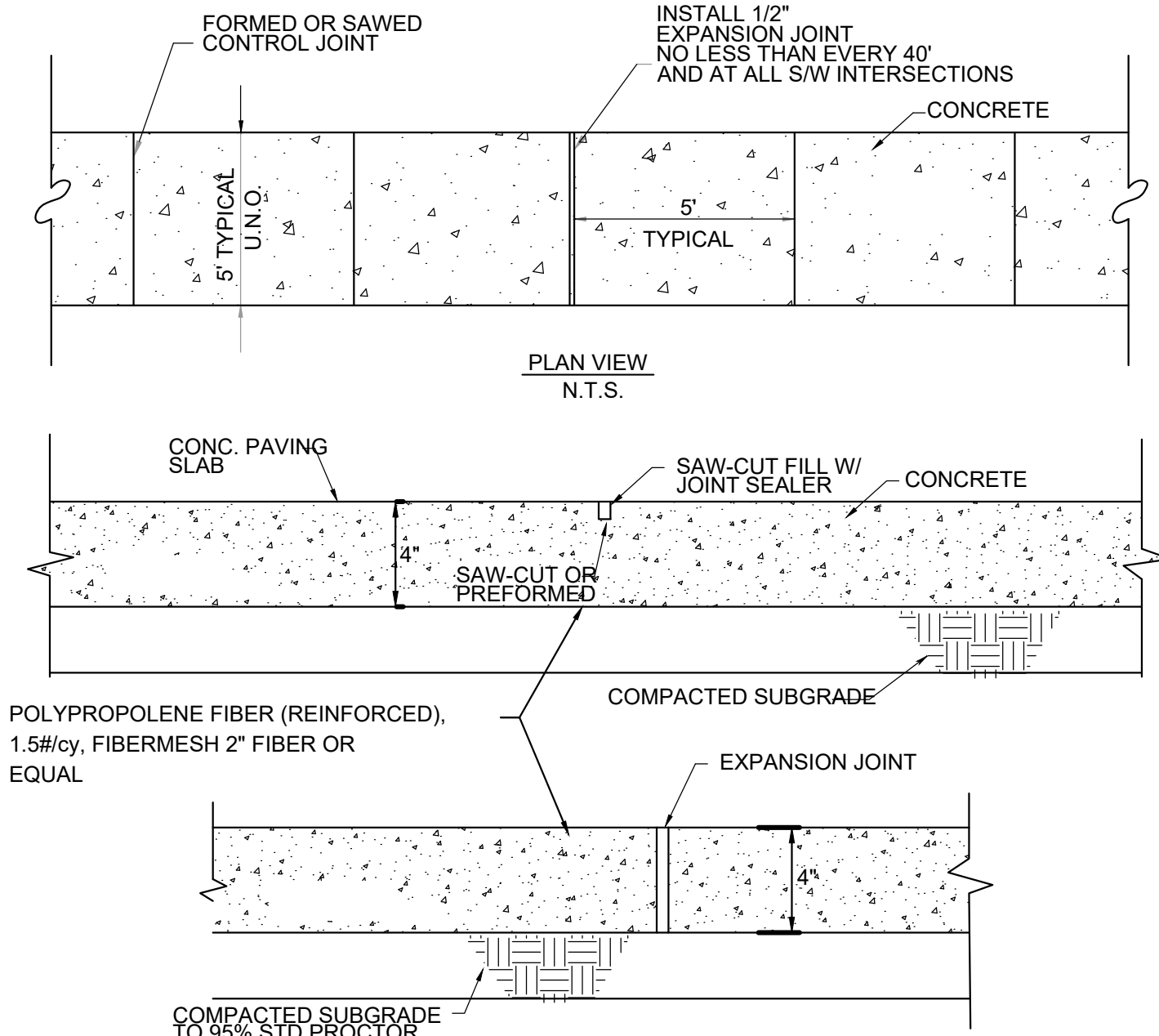
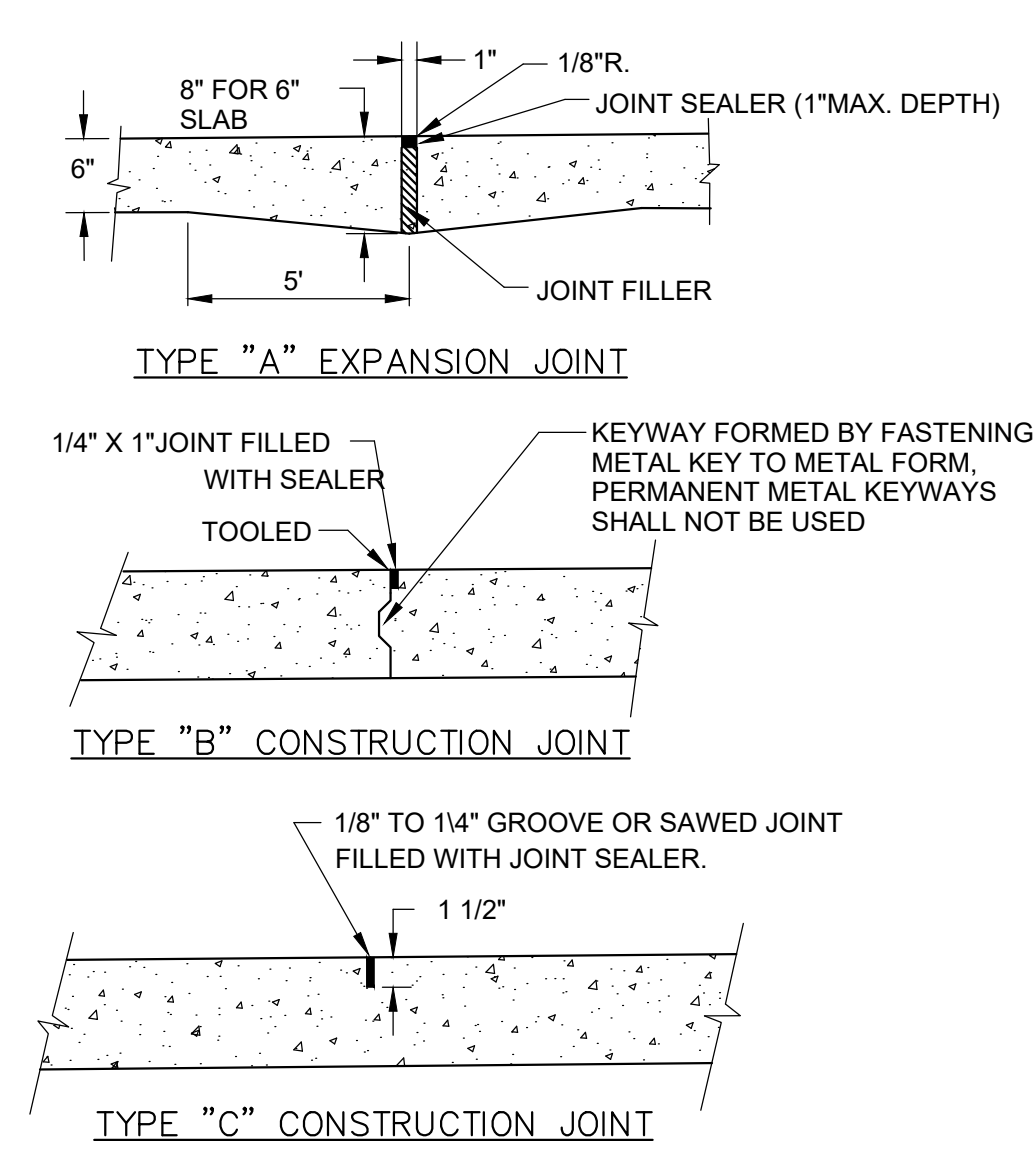
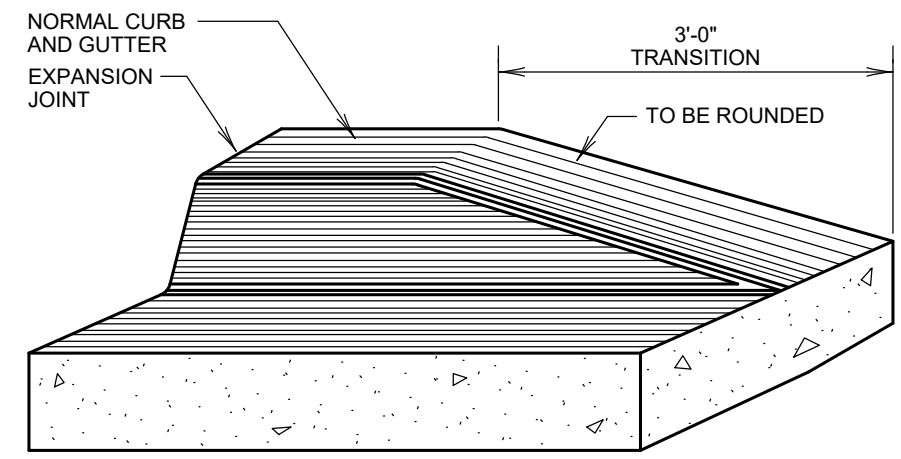
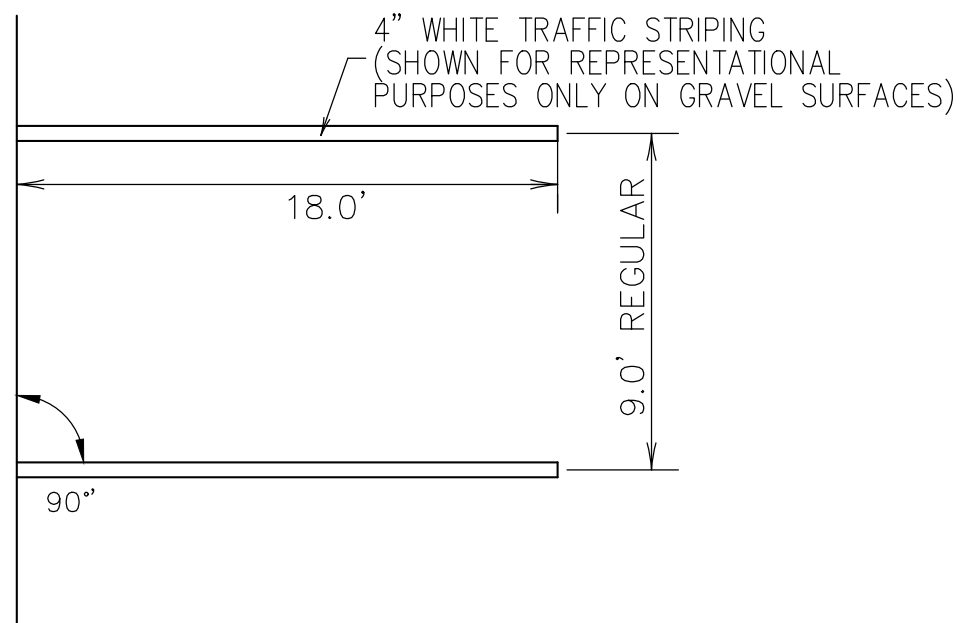
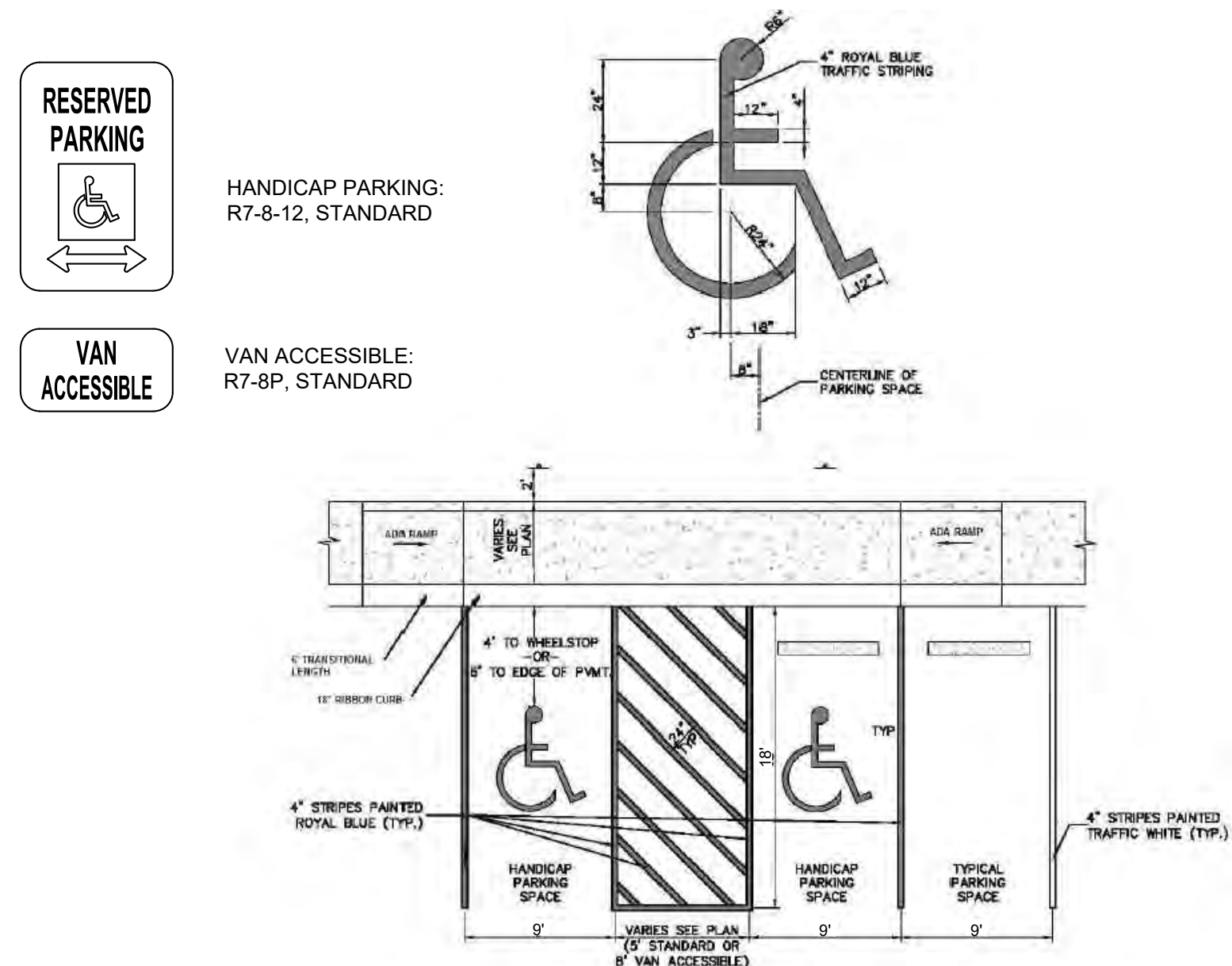
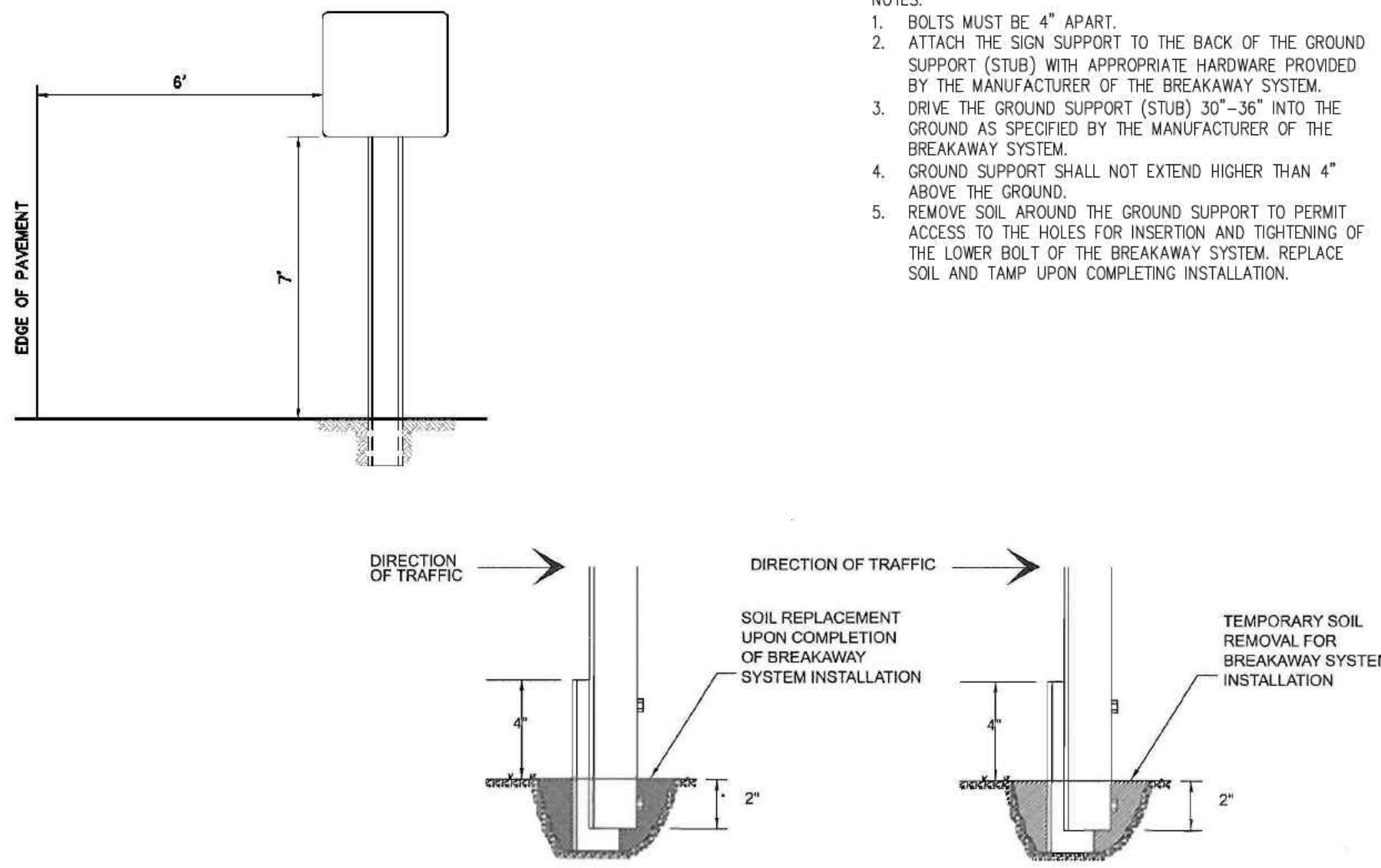
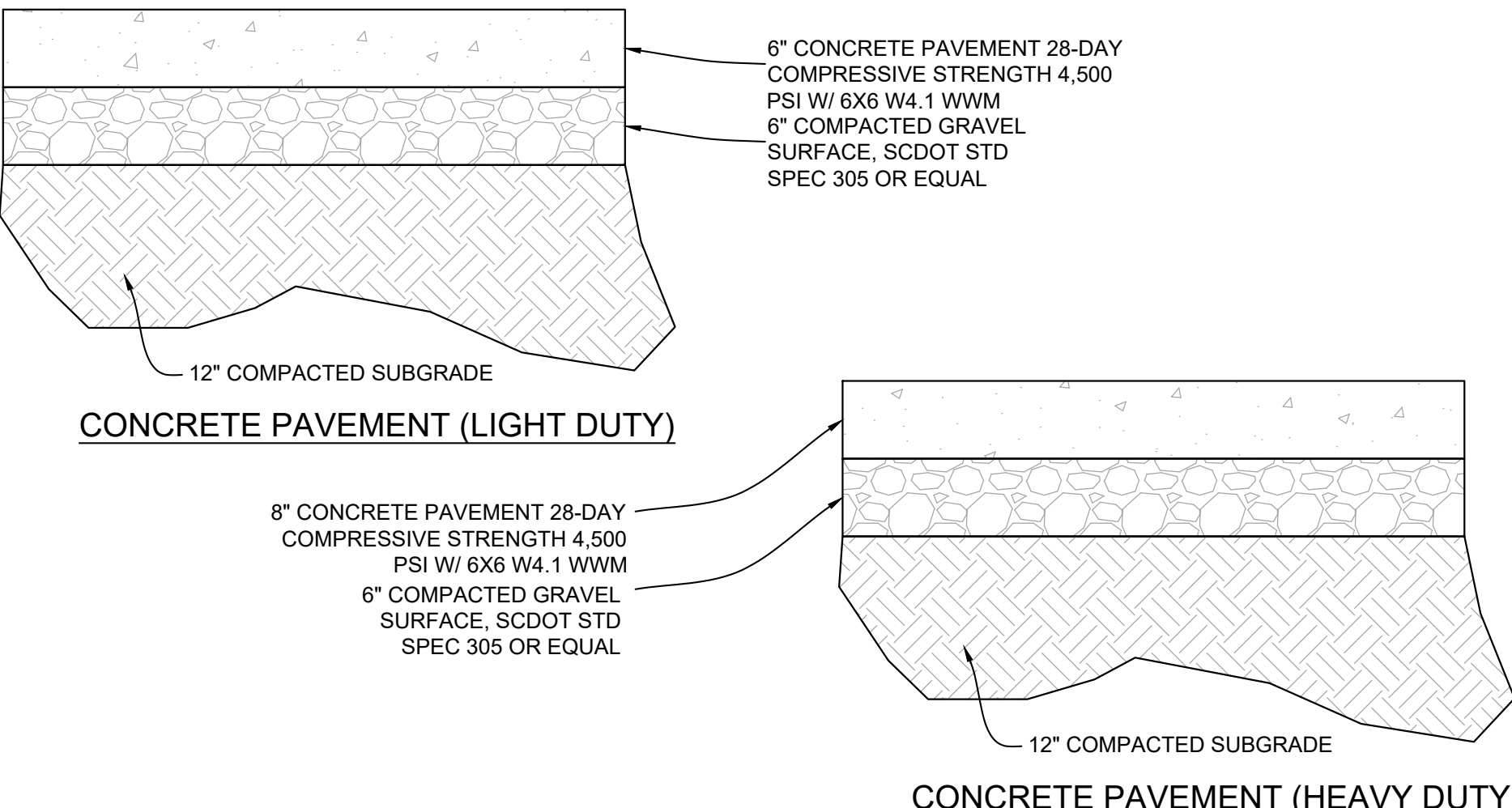
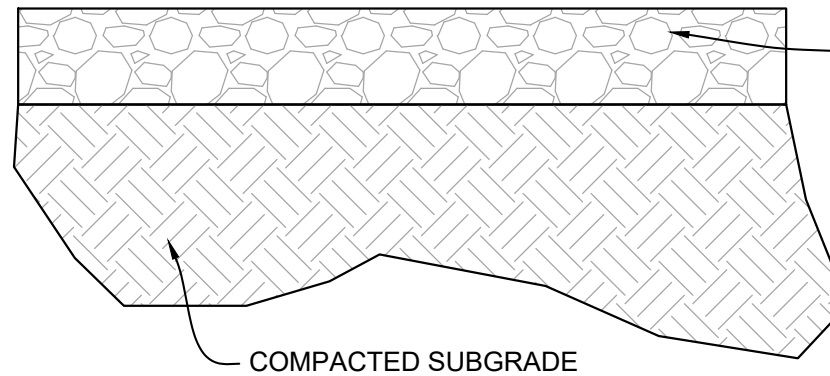
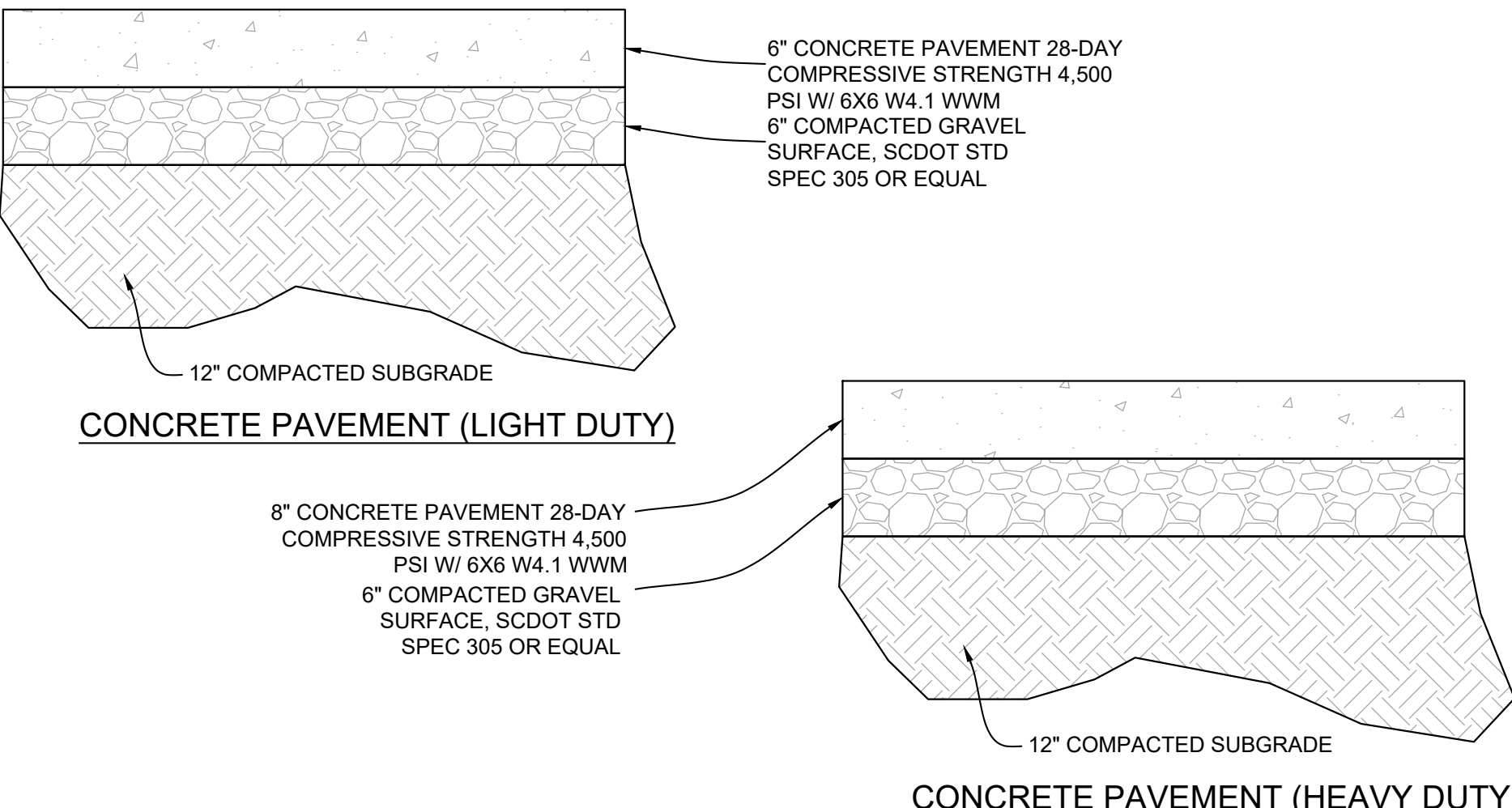
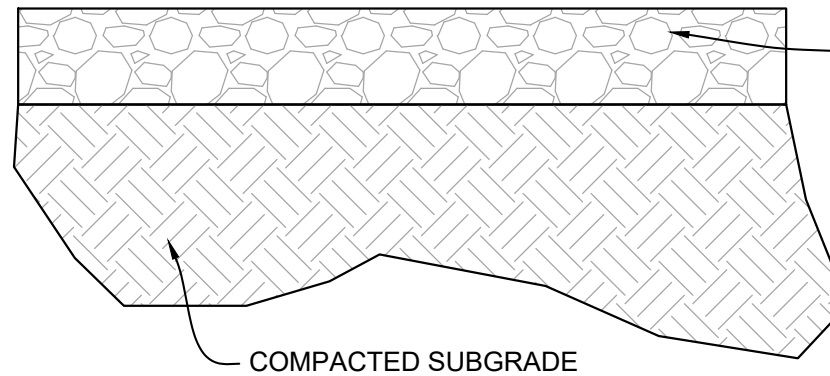
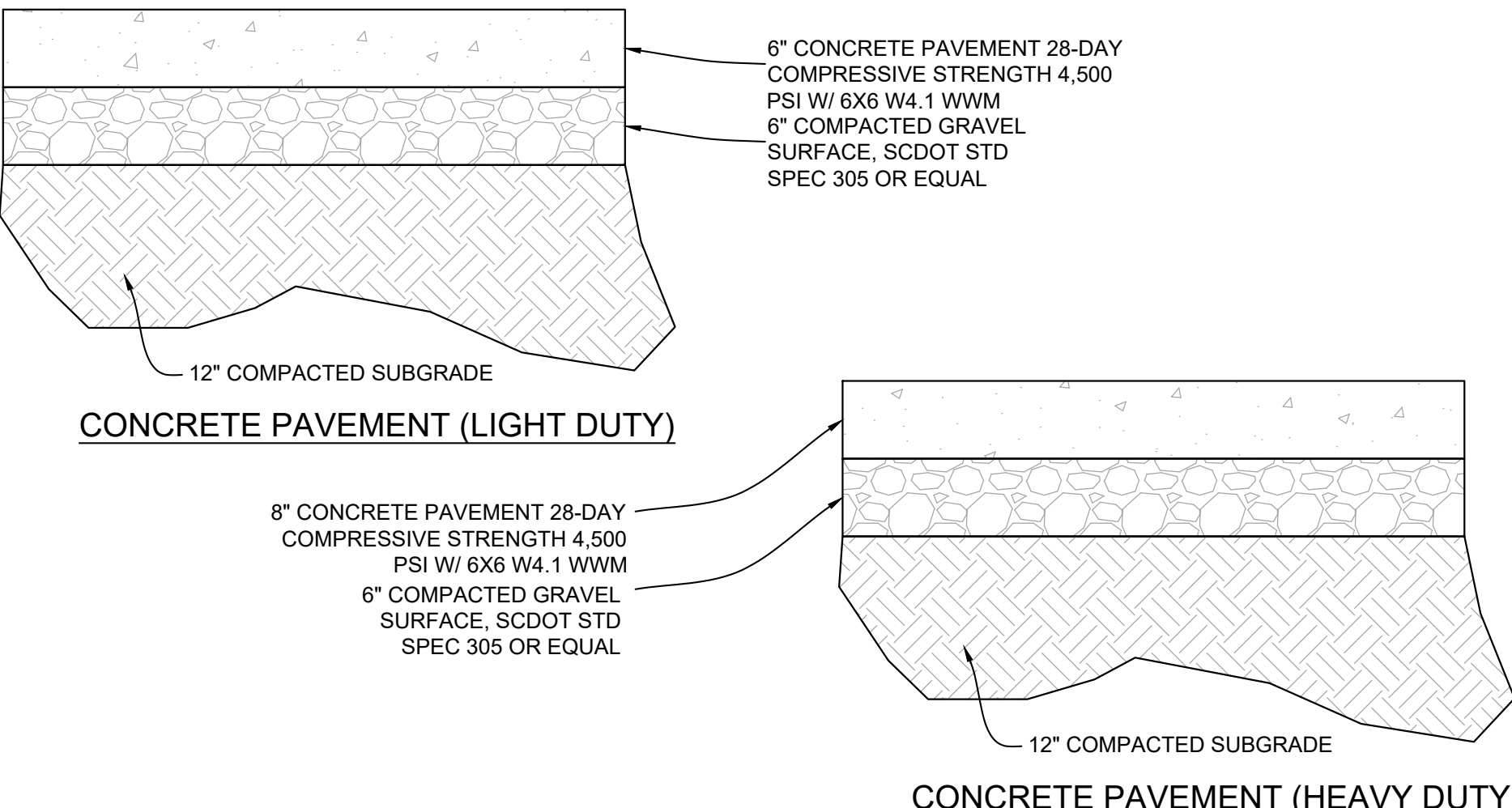
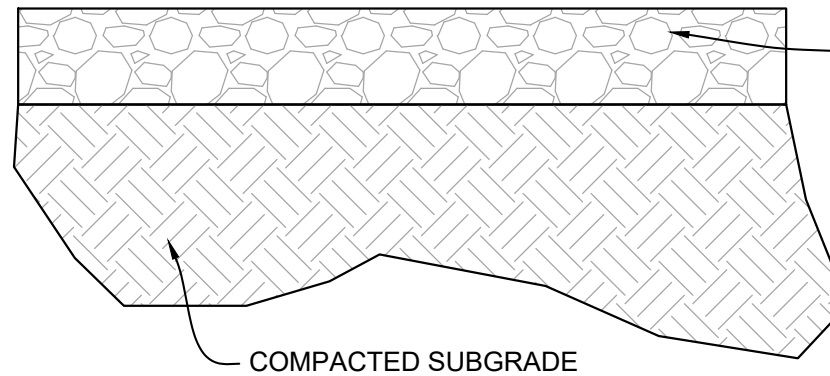
REV	DATE	DESCRIPTION	
		ISSUED FOR INITIAL PERMIT REVIEW	REVISED FOR RZA SUBMITTAL
A	04/17/25		
B	06/20/25		

PROJECT NO.: 25.001
PROJECT DATE: 02/13/2025
DRAWN BY: JSM
CHECKED BY: CBB
SCALE: 1" = 10'

C400

SHEET:

C:\Full\04-19-2025\001 - 2 Tall Oak Avenue Commercial\Engineering\DWG\04-19-2025\001 - Details.dwg

<div></div>			<div></div>			<div></div>																													
A	CONCRETE SIDEWALK	NTS	B	CONCRETE JOINT	NTS	C	TAPERED CURB	NTS																											
<div></div>			<div></div>			<div></div> <tr><td>D</td><td>TYPICAL PARKING SPACE</td><td>NTS</td><td>E</td><td>ADA PARKING SPACE</td><td>NTS</td><td>F</td><td>SIGN AND BREAKAWAY POST</td><td>NTS</td></tr> <tr><td colspan="3"><div><p>NOTES:</p><ol style="list-style-type: none">SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH GEOTECHNICAL REPORT FOR THE PROPOSED DEVELOPMENT.GRADED AGGREGATE BASE COURSE SHALL MEET SCDOT STANDARD SPECIFICATIONS SECTION 305, CURRENT EDITION.THE SURFACE COURSE SHALL BE APPLIED NO LESS THAN 4 DAYS AND NO MORE THAN 7 DAYS AFTER THE APPLICATION OF THE PRIME COAT.THE SURFACE COURSE SHALL MEET SCDOT STANDARD SPECIFICATIONS SECTION 400, CURRENT EDITION.THE ASSUMED CBR VALUE OF AT LEAST 8 SHOULD BE CONFIRMED DURING GRADING BY ENGINEERING EVALUATION AND FIELD AND LABORATORY TESTING.<div></div></div></td><td colspan="3"><div><p>NOTE: CHARLESTON COUNTY REQUIRES CLEAN WASH #57 STONE WITH NO FINES (MINIMUM STONE SIZE 3/8") FOR GRAVEL TO BE CONSIDERED "PERVIOUS" AREA.</p><p>AN OVERLAY OF #787 STONE MAY BE USED IF DESIRED.</p></div></td><td colspan="3"></td></tr> <tr><td>G</td><td>PAVEMENT SECTIONS</td><td>NTS</td><td>H</td><td>GRAVEL PAVEMENT</td><td>NTS</td><td>I</td><td>INTENTIONALLY LEFT BLANK</td><td>NTS</td></tr>			D	TYPICAL PARKING SPACE	NTS	E	ADA PARKING SPACE	NTS	F	SIGN AND BREAKAWAY POST	NTS	<div><p>NOTES:</p><ol style="list-style-type: none">SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH GEOTECHNICAL REPORT FOR THE PROPOSED DEVELOPMENT.GRADED AGGREGATE BASE COURSE SHALL MEET SCDOT STANDARD SPECIFICATIONS SECTION 305, CURRENT EDITION.THE SURFACE COURSE SHALL BE APPLIED NO LESS THAN 4 DAYS AND NO MORE THAN 7 DAYS AFTER THE APPLICATION OF THE PRIME COAT.THE SURFACE COURSE SHALL MEET SCDOT STANDARD SPECIFICATIONS SECTION 400, CURRENT EDITION.THE ASSUMED CBR VALUE OF AT LEAST 8 SHOULD BE CONFIRMED DURING GRADING BY ENGINEERING EVALUATION AND FIELD AND LABORATORY TESTING.<div></div></div>			<div><p>NOTE: CHARLESTON COUNTY REQUIRES CLEAN WASH #57 STONE WITH NO FINES (MINIMUM STONE SIZE 3/8") FOR GRAVEL TO BE CONSIDERED "PERVIOUS" AREA.</p><p>AN OVERLAY OF #787 STONE MAY BE USED IF DESIRED.</p></div>						G	PAVEMENT SECTIONS	NTS	H	GRAVEL PAVEMENT	NTS	I	INTENTIONALLY LEFT BLANK	NTS
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PO BOX 81082
CHARLESTON, SC 29416

843.270.3185

CBAKERENGINEERING.COM

ENGINEERING

CBAKERENGINEERING

CBE

843.270.3185

CBAKERENGINEERING.COM

PROFESSIONAL ENGINEER
JESSICA S. MYERS
06/28/2025
006728/2025

STATE OF SOUTH CAROLINA
C. BAKER ENGINEERING, LLC
NO. 5636
EXPIRATION DATE 06/28/2025

SITE DETAILS

2 TALL OAK AVENUE
COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

REV	DATE	DESCRIPTION
A	04/17/25	ISSUED FOR INITIAL PERMIT REVIEW
B	06/20/25	REVISED FOR RZA SUBMITTAL

PROJECT NO.: 25.001

PROJECT DATE: 02/13/2025


DRAWN BY: JSM

CHECKED BY: CBB


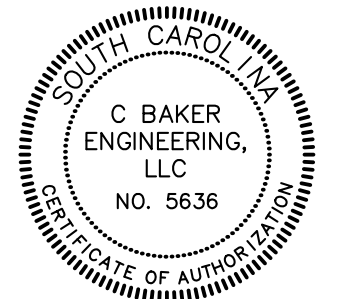
SCALE:

C900

SHEET:



CBAKER ENGINEERING
843.270.3165
PO BOX 81082
CHARLESTON, SC 29416
c@bakerengineering.com



SITE DETAILS

2 TALL OAK AVENUE

COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

REV	DATE	DESCRIPTION
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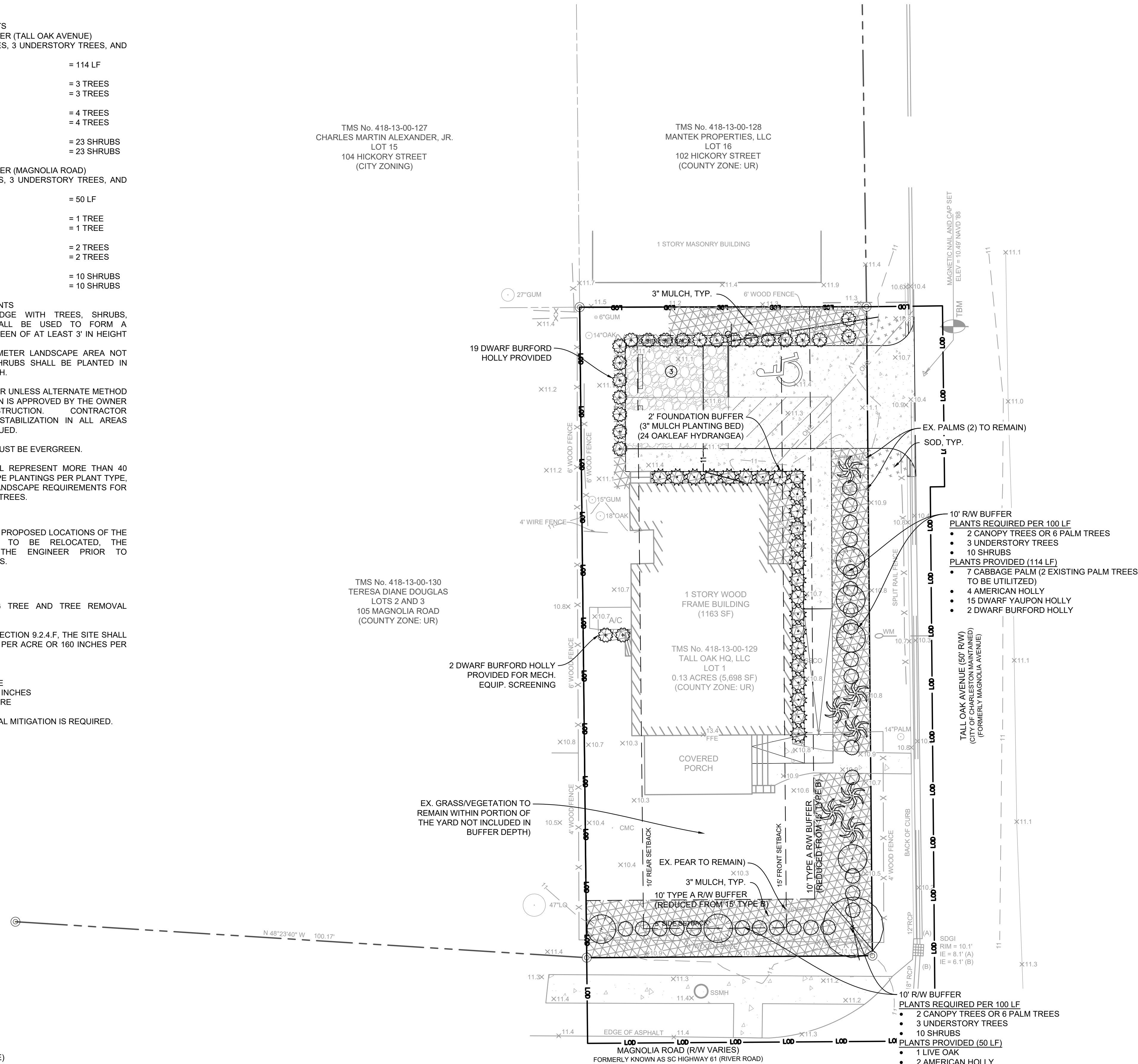
SHEET: **C900**

1.	LANDSCAPE BUFFER REQUIREMENTS		
1.1.	10' RIGHT-OF-WAY TYPE A BUFFER (TALL OAK AVENUE)		
1.1.1.	PROVIDE 2 CANOPY TREES, 3 UNDERSTORY TREES, AND 20 SHRUBS PER 100 LF		
1.1.1.1.	TOTAL DISTANCE	=	114 LF
1.1.1.2.	CANOPY TREES		
1.1.1.2.1.	TOTAL REQUIRED	=	3 TREES
1.1.1.2.2.	TOTAL PROVIDED	=	3 TREES
1.1.1.3.	UNDERSTORY TREES		
1.1.1.3.1.	TOTAL REQUIRED	=	4 TREES
1.1.1.3.2.	TOTAL PROVIDED	=	4 TREES
1.1.1.4.	SHRUBS		
1.1.1.4.1.	TOTAL REQUIRED	=	23 SHRUBS
1.1.1.4.2.	TOTAL PROVIDED	=	23 SHRUBS
1.2.	10' RIGHT-OF-WAY TYPE A BUFFER (MAGNOLIA ROAD)		
1.2.1.	PROVIDE 2 CANOPY TREES, 3 UNDERSTORY TREES, AND 20 SHRUBS PER 100 LF		
1.2.1.1.	TOTAL DISTANCE	=	50 LF
1.2.1.2.	CANOPY TREES		
1.2.1.2.1.	TOTAL REQUIRED	=	1 TREE
1.2.1.2.2.	TOTAL PROVIDED	=	1 TREE
1.2.1.3.	UNDERSTORY TREES		
1.2.1.3.1.	TOTAL REQUIRED	=	2 TREES
1.2.1.3.2.	TOTAL PROVIDED	=	2 TREES
1.2.1.4.	SHRUBS		
1.2.1.4.1.	TOTAL REQUIRED	=	10 SHRUBS
1.2.1.4.2.	TOTAL PROVIDED	=	10 SHRUBS

- 2.1. A COMBINATION OF A HEDGE WITH TREES, SHRUBS, ORNAMENTAL GRASSES, SHALL BE USED TO FORM A CONTINUOUS LANDSCAPE SCREEN OF AT LEAST 3' IN HEIGHT (AT MATURITY).
- 2.2. THE PORTION OF THE PERIMETER LANDSCAPE AREA NOT PLANTED WITH TREES OR SHRUBS SHALL BE PLANTED IN GRASS OR WOOD-BASED MULCH.
3. SOD TO BE USED AS GROUNDCOVER UNLESS ALTERNATE METHOD OF PERMANENT SITE STABILIZATION IS APPROVED BY THE OWNER PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR PERMANENT STABILIZATION IN ALL AREAS UNTIL NOTICE OF TERMINATION ISSUED.
4. 50% OF ALL UNDERSTORY TREES MUST BE EVERGREEN.
5. NO SINGLE PLANT SPECIES SHALL REPRESENT MORE THAN 40 PERCENT OF THE TOTAL LANDSCAPE PLANTINGS PER PLANT TYPE, EXCEPT FOR PROJECTS WHOSE LANDSCAPE REQUIREMENTS FOR CANOPY TREES ARE LESS THAN 10 TREES.

1. IF CONTRACTOR IS TO ADJUST THE PROPOSED LOCATIONS OF THE MITIGATION TREES THAT ARE TO BE RELOCATED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO RELOCATING THE MITIGATION TREES.

1. SEE SHEET C102 FOR EXISTING TREE AND TREE REMOVAL SUMMARY.
2. PER CHARLESTON COUNTY ZLDR SECTION 9.2.4.F, THE SITE SHALL MAINTAIN A MINIMUM OF 20 TREES PER ACRE OR 160 INCHES PER ACRE
 - 2.1. PARCEL AREA = 0.13 ACRES
 - 2.2. REQUIRED TREES = 3 TREES
 - 2.3. 0.13 ACRES X 20 TREES/ACRE
 - 2.4. REQUIRED COMBINED DBH = 21 INCHES
 - 2.5. 0.13 ACRES X 160 INCHES/ACRE
 - 2.6. TREES TO REMAIN = 9 TREES
- 2.4.1. THEREFORE, NO ADDITIONAL MITIGATION IS REQUIRED.



LIVE OAK (NATIVE)

CABBAGE PALM (NATIVE)

AMERICAN HOLLY (EVERGREEN)

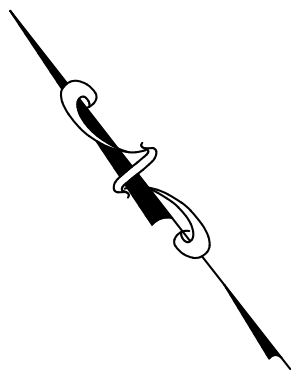
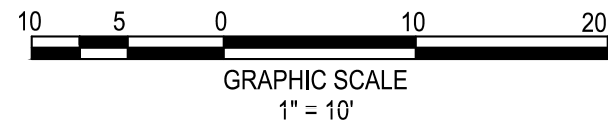
DWARF YAUPON HOLLY (NATIVE)

DWARF BURFORD HOLLY (NATIVE)

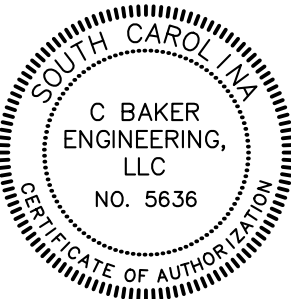
OAKLEAF HYDRANGEA (NATIVE)

SOD

3" DEEP MULCH PLANTING BED



PO BOX 81082
CHARLESTON, SC 29416
843.270.3185
CBAKERENGINEERING.COM



LANDSCAPE PLAN
2 TALL OAK AVENUE
COMMERCIAL

TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

[illegible]

SCALE: 1" = 10'

SHEET:

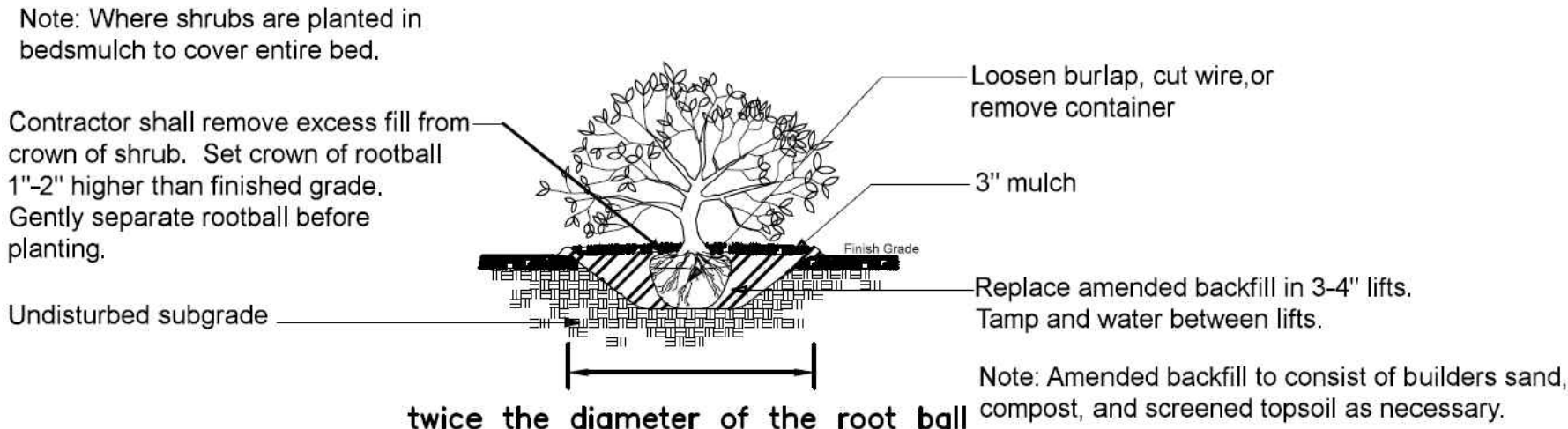
L100

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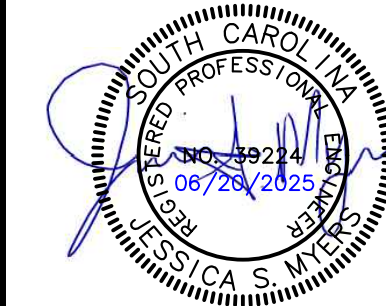
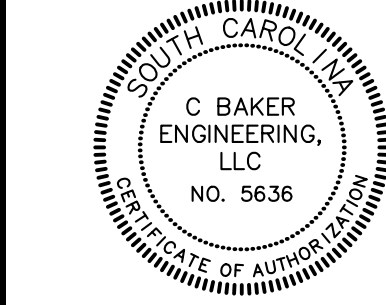
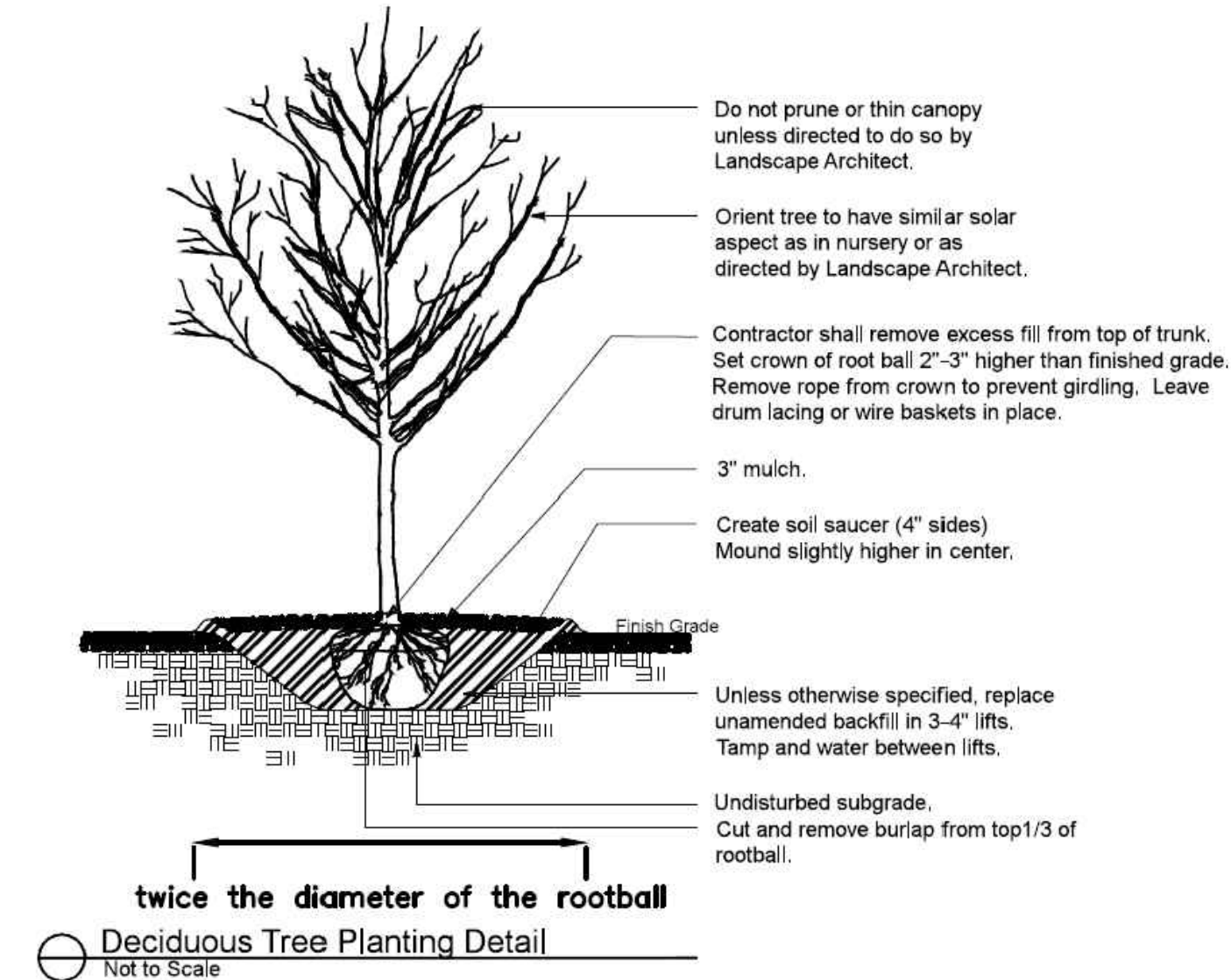
LANDSCAPE NOTES:

- ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.
- CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED AND TO REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES.
- UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- THE ENGINEER MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE PLAN.
- THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THIS PLAN.
- THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ANY NECESSARY REPLACEMENTS REQUIRED DUE TO SICKNESS OR DISEASE BEFORE THE END OF THE GUARANTEE PERIOD (AS DIRECTED BY THE OWNER).
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL SITE IRRIGATION SYSTEM, AS REQUIRED.
- THE OWNER WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL BEFORE INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPEC'S.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING OF ALL LANDSCAPE PARKING ISLANDS. FINISHED GRADE IN ISLANDS IS TO BE CROWNED APPROXIMATELY 12"-18" ABOVE THE TOP OF CURB. SOIL IN ISLANDS IS TO BE FREE OF UNSUITABLE MATERIAL AND DEBRIS I.E. GRAVEL, TRASH OR ASPHALT.
- IF CONTRACTOR IS UNABLE TO DIG PLANT PITS TO A DEPTH THAT WILL PROVIDE THE AREA OF SOIL AROUND THE ROOT BALL DUE TO ROCK, CONTACT ARCHITECT, CIVIL ENGINEER, AND CITY HORTICULTURIST IMMEDIATELY.
- MAINTENANCE OF REQUIRED LANDSCAPED AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH AREAS SHALL BE PROPERLY MAINTAINED SO AS TO ASSURE THE SURVIVAL AND AESTHETIC VALUE OF THE LANDSCAPING AND SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM OR READILY AVAILABLE WATER SUPPLY. FAILURE TO MONITOR SUCH AREAS IS A VIOLATION OF THE CITY'S ORDINANCE AND MAY BE REMEDIED IN A MANNER PRESCRIBED FOR OTHER VIOLATIONS.

PLANTING SCHEDULE						
BOTANICAL NAME	COMMON NAME	QUANTITY	HEIGHT	SPREAD/SIZE	SPACING	REMARKS
CANOPY TREES:						
QUERCUS VIRGINIANA	LIVE OAK	1	12' MIN.	2.5" CAL MIN.	AS SHOWN	HEALTHY AND FULL
SABAL PALMETTO	CABBAGE PALM	7	12' MIN.	2.5" CAL MIN.	AS SHOWN	HEALTHY AND FULL
UNDERSTORY TREES:						
ILEX OPACA	AMERICAN HOLLY	6	5' MIN.	3'-4' SPREAD	AS SHOWN	HEALTHY AND FULL
SHRUBS:						
ILEX VOMITORIA	DWARF YAUPON HOLLY	26	24" MIN.	3 GAL.	3' O.C. MIN, AS SHOWN	HEALTHY AND FULL
ILEX CORNUTA	DWARF BURFORD HOLLY	23	24" MIN.	3 GAL.	3' O.C. MIN, AS SHOWN	HEALTHY AND FULL
HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24	24" MIN.	3 GAL.	3' O.C. MIN, AS SHOWN	HEALTHY AND FULL
GRASSING						
SOD	ALL DISTURBED AREAS TO BE SODDED WITH A PERMANENT STAND OF GRASS PRIOR TO PROJECT CLOSEOUT, OR APPROVED EQUAL					



Shrub Planting Detail
Not to Scale



LANDSCAPE NOTES
2 TALL OAK AVENUE
COMMERCIAL
TALL OAK HQ, LLC
CHARLESTON COUNTY, SC
TMS NO. 418-13-00-129

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CHECKED BY: CBB
SCALE: 1" = 30'

SHEET: L200





— PLAN —
— OF —

ASHLEY FOREST

Subdivision over the Ashley,
In St. Andrews Parish, Charleston Co., S.C.

Made at the request of

J. C. LONG.

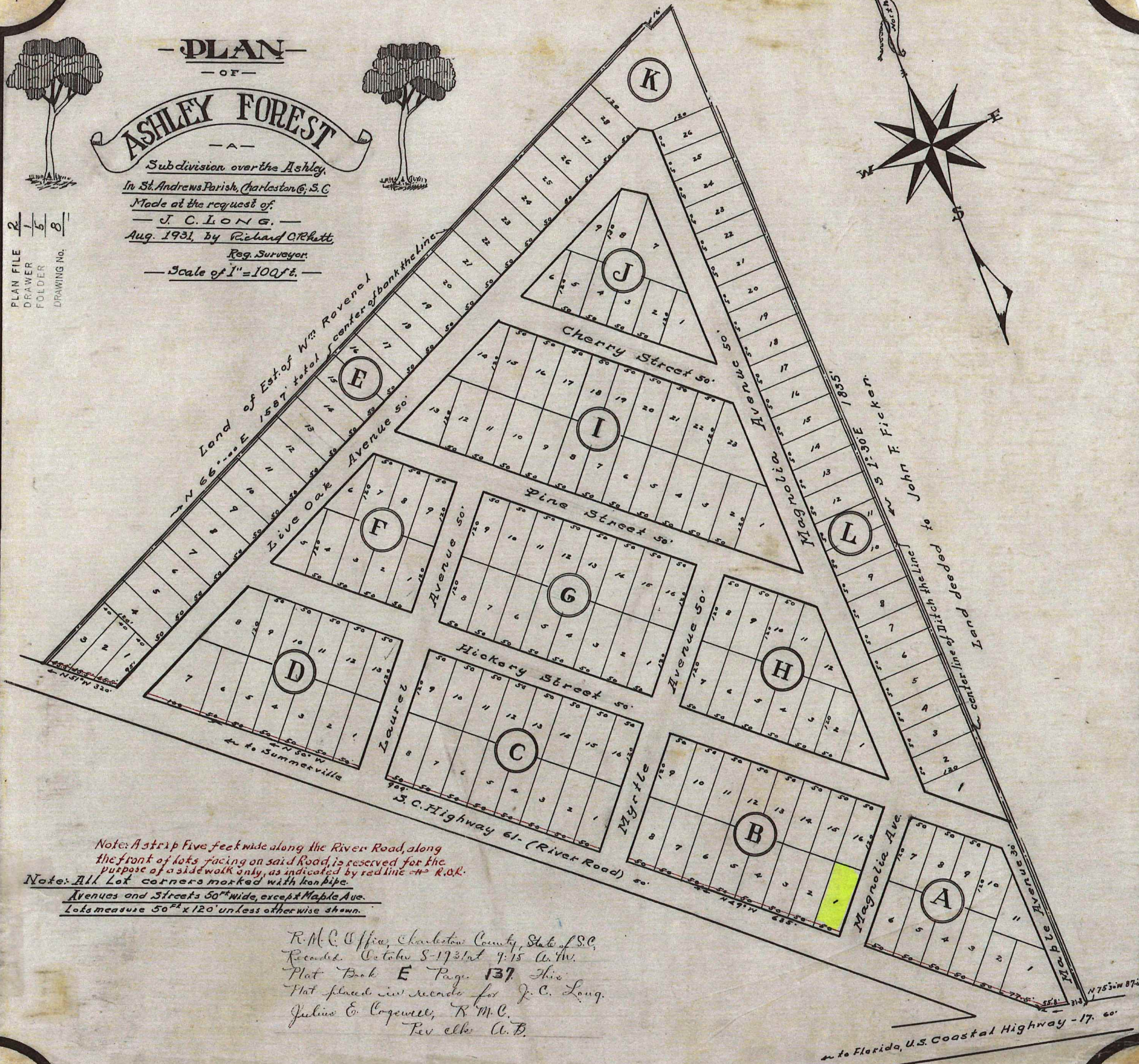
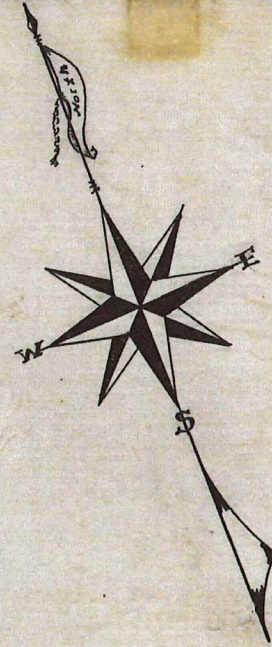
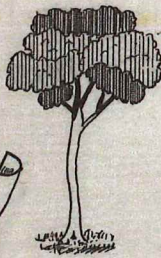
Aug. 1931, by Richard O. Rhett,

Reg. Surveyor.

Scale of 1" = 100 ft.

PLAN FILE
DRAWER
FOLDER
DRAWING No.

2
1
5
8



Note: A strip five feet wide along the River Road, along the front of lots facing on said Road, is reserved for the purpose of a sidewalk only, as indicated by red line on R.O.R.

Note: All Lot corners marked with kerbs.

Avenues and Streets 50' wide, except Maple Ave.

Lots measure 50' x 120' unless otherwise shown.

R.M.C. Office, Charleston County, State of S.C.
Recorded October 8-1931 at 9:15 A.M.
Plat Book E Page 137 This
Plat filed in records for J.C. Long.
Julius E. Cogswell, R.M.C.
Rev. Mr. A.D.

to Florida, U.S. Coastal Highway - 17. 00.

Case # 8, 9, & 10

New Business

BZA-06-25-00875,

-00876, & -00877

Public Comments in Support

Received by

noon on 7/24



July 8, 2025

Charleston County
Board of Zoning Appeals
4045 Bridge View Drive
North Charleston, SC 29405

RE: Special Exception and Zoning Variance for 2 Tall Oak Avenue

Dear Members of the Board of Zoning Appeals,

As a business owner and Property Manager for neighboring properties at Tall Oak Avenue and Magnolia Road (9-29 Magnolia Road; 2 Magnolia Road; and 95 Tall Oak Avenue) I am writing to express my enthusiastic support for the Special Exception and Zoning Variances requested by Chrissy Nguyen and Ed Kronsberg, owners of Tall Oak HQ LLC for Anne Bonny's Lash & Skin Care Services. I believe that having Anne Bonny across the street will be a remarkable addition to our Avondale community.

I have managed the neighboring businesses along Tall Oak and Magnolia Road for almost 20 years and believe the granting of the special exception and the variances will be a positive not a detriment as the property already has a rear off-street parking area, there are several on-street spots on both sides of Tall Oak Avenue, and it is a small business, only serving one or two clients at a time.

2 Tall Oak sits on a short block with only one other building, 102 Tall Oak, a rental unit with shallow side by side parking, so without similar restrictions to the 2 Tall Oak property's exceptional deep driveway requiring stacked parking. I am unaware of another property on Tall Oak Avenue with the same restrictions.

I look forward to the opportunity to support Anne Bonny's Lash & Skin Care Services and am excited about the positive impact it will have on our neighborhood. We urge the Board to grant the requested Special Exception and Zoning Variances, as it will undoubtedly contribute to the growth and enrichment of our community.

Thank you for considering my support for this endeavor.

Sincerely,

Courtenay N. Brack, CPM®
President, Property Manager in Charge
Charleston Green Commercial, LLC
As Agent for Ashley Shoppes, LLC

July 21, 2025

Charleston County
Board of Zoning Appeals

RE: Special Exception and Zoning Variance for 2 Tall Oak Avenue

Dear Members of the Board of Zoning Appeals,

As the adjoining neighbor to 2 Tall Oak Avenue, I am writing in support of the Special Exception and Zoning Variances requested by Chrissy Nguyen and Ed Kronsberg, owners of Tall Oak HQ LLC for Anne Bonny's Lash & Skin Care Services. I believe that the intended use for skin care services with only two chairs is a good use for the property and the Avondale community.

I have owned my home at 105 Magnolia Road since 1999, and I have shared a property line with 2 Tall Oak Avenue. The property has been a rental property for several years and its driveway is on the Tall Oak Avenue side, across from a shopping center, so I do not believe there will be any added traffic or noise issues. The property has had a storage shed and stacked parking for many years. I do not see an issue with the continued stacked parking, as the property is horizontal and it is necessary. I am unaware of another property on Tall Oak Avenue with the same restrictions.

I support the owners' requests and believe Anne Bonny's Lash & Skin Care Services will be a good use.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Teresa Douglas".

Teresa Douglas
105 Magnolia Road