

JOHNS ISLAND MAYBANK HIGHWAY AND MAIN ROAD ZONING PUBLIC WORKSHOP

**Co-hosted by
Charleston County
and the City of Charleston**



**St. Johns High School
June 17, 2019
6:00 P.M.**



INTRODUCTIONS

CHARLESTON COUNTY

- Anna Johnson, Councilmember
- Jenny Honeycutt, Councilmember
- Walt Smalls, Deputy Administrator
- Joel Evans, Planning Director
- Andrea Pietras, Deputy Planning Director
- Devri DeToma, Transportation Development
- Chris Wannamaker, Stormwater Program Manager
- Dan Frazier, Planner
- Niki Grimball, Planner

CITY OF CHARLESTON

- Marvin Wagner, Councilmember
- Keith Benjamin, Director of Traffic and Transportation
- Christopher Morgan, Planning Manager
- Aaron Holly, Planner

PROJECT SCHEDULE TO DATE

➤ JULY – AUGUST 2018

Initial round of public workshops held

➤ AUGUST – NOVEMBER 2018

Survey responses gathered and analyzed, and public comment summary report created

➤ NOVEMBER 2018 – DECEMBER 2019

Stakeholder meetings held

➤ DECEMBER – FEBRUARY 2019

Assessed public input, presented an outline of the draft overlay at the second round of public workshops

➤ JUNE 17, 2019

Third round of public workshops presenting an overview of the proposed JO-MHC-O and MR-O regulations and an update on relevant transportation and public works projects.

NEXT STEPS FOR THE PROJECT

➤ **SUMMER/FALL 2019**

Revise draft overlay text and maps based on public comments

➤ **FALL 2019**

Fourth round of public workshops to finalize draft overlay text and maps

➤ **WINTER 2019/2020**

City and County adoption process

AGENDA FOR TONIGHT

- Overview of the Draft Johns Island Maybank Highway Overlay District (JO-MHC-O) Regulations
- Overview of the Draft Johns Island Main Road Overlay District (MR-O) Regulations
- Transportation Projects relevant to the Overlay Districts
- Public Works Stormwater Discussion
- Public Comment
- Next Steps

WHAT IS AN OVERLAY DISTRICT?

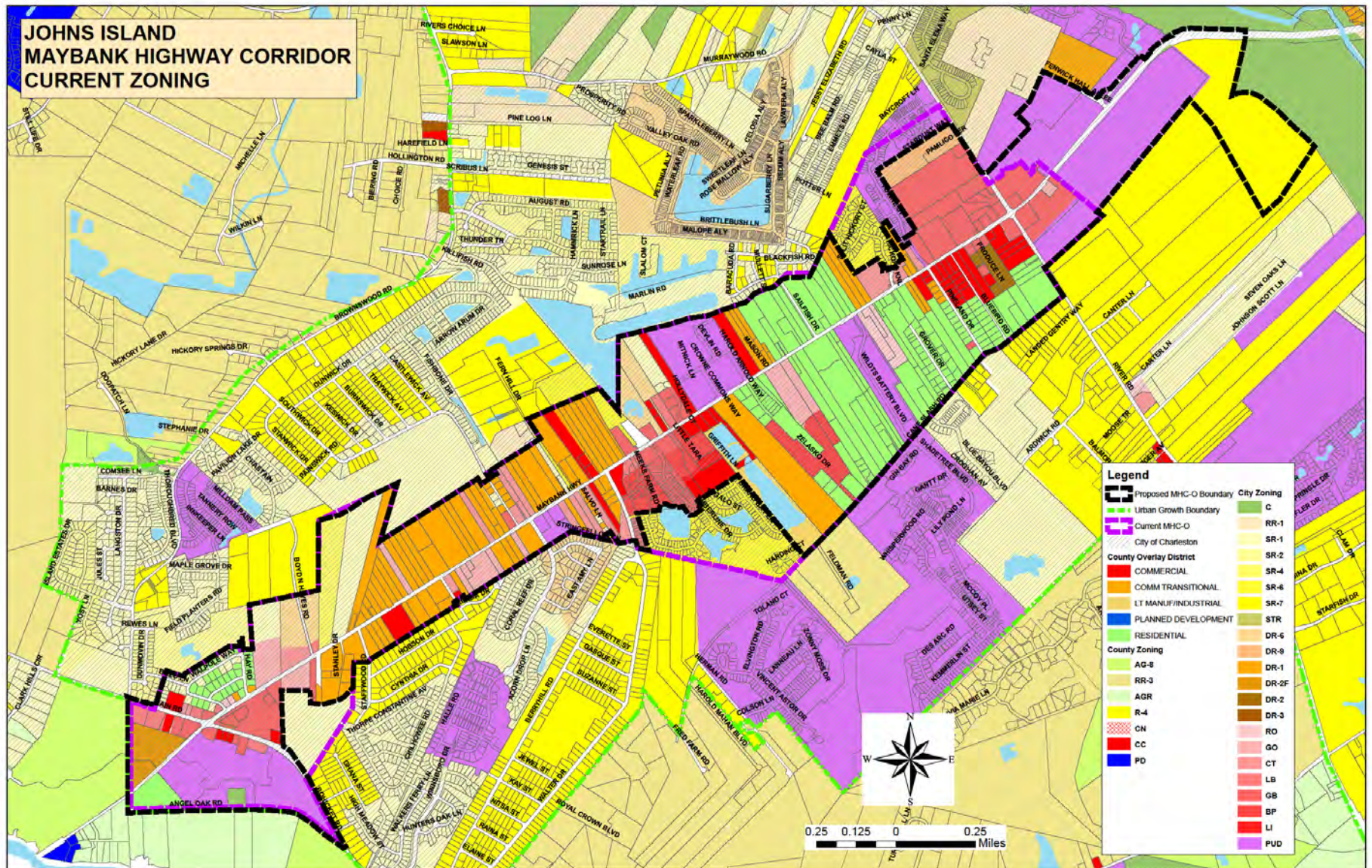
- **Creates a special zoning district boundary, and properties within the district boundary are subject to special regulations such as land use, density, access, building heights and architecture.**
- **LEGALLY established development existing PRIOR TO THE ADOPTION OF THE OVERLAY DISTRICT that does not meet the requirements as described in the overlay district will be grandfathered.**

**JOHNS ISLAND
MAYBANK HIGHWAY
OVERLAY ZONING DISTRICT
(JO-MHC-O)**

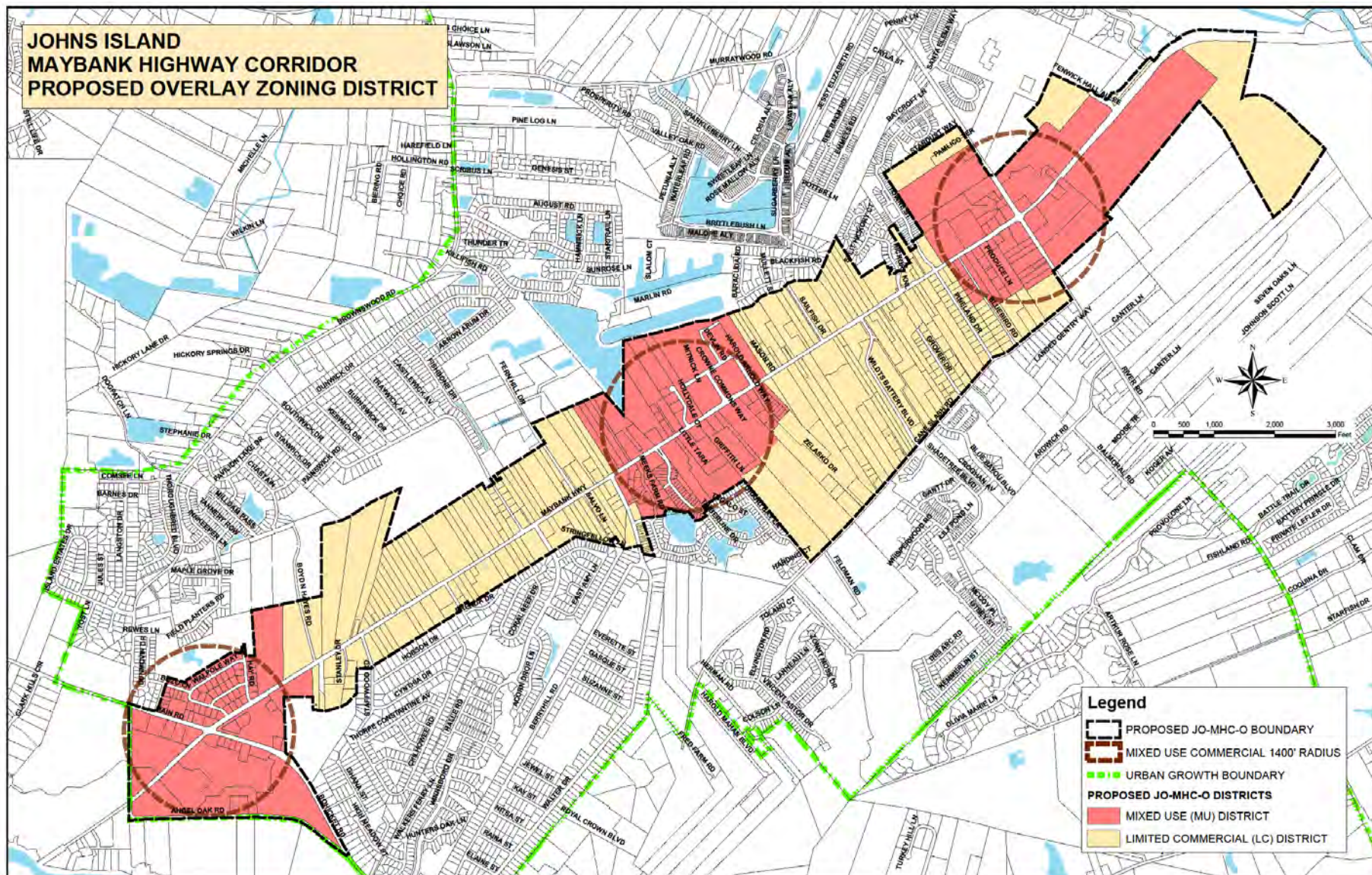
THE JO-MHC-O BOUNDARY MAP

- **This process creates a new overlay district (subject to adoption by the jurisdictions).**
- **Development on properties within this new overlay district will be subject to the additional regulations created for this district.**
- **Two new districts are being created within the overlay: Limited Commercial (LC) District and Mixed-Use (MU) District.**
- **All properties within the overlay will be designated as LC District or MU District as shown on the Overlay Zoning District map.**

JO-MHC-O DISTRICT BOUNDARY MAP WITH CURRENT ZONING



CURRENTLY PROPOSED JO-MHC-O DISTRICT BOUNDARY MAP



APPLICATION, EFFECT AND COORDINATION

- All JO-MHC-O development standards and requirements apply to all parcels within the overlay district boundary.
- The City and County will adopt separate but consistent and coordinated overlay district regulations specific to their jurisdiction.
- To ensure consistency in development, all land development applications will require the applicant to obtain a Letter of Coordination from the adjacent jurisdiction.

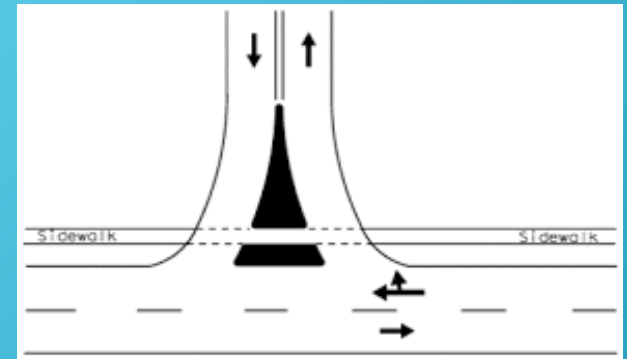
DEVELOPMENT REQUIREMENTS

➤ Residential Density Note:

- Freshwater wetlands and OCRM Critical Line Area are not included in residential density and lot area calculations.

➤ Vehicle Access

- All driveways directly accessing Maybank Highway shall be designed as right-in, right-out (RIRO) driveways.
- Requirements will regulate the number, width and location of driveways.
- Driveways on corner lots shall be located only on the secondary street.
- Shared access with adjacent properties (excluding single family detached properties).



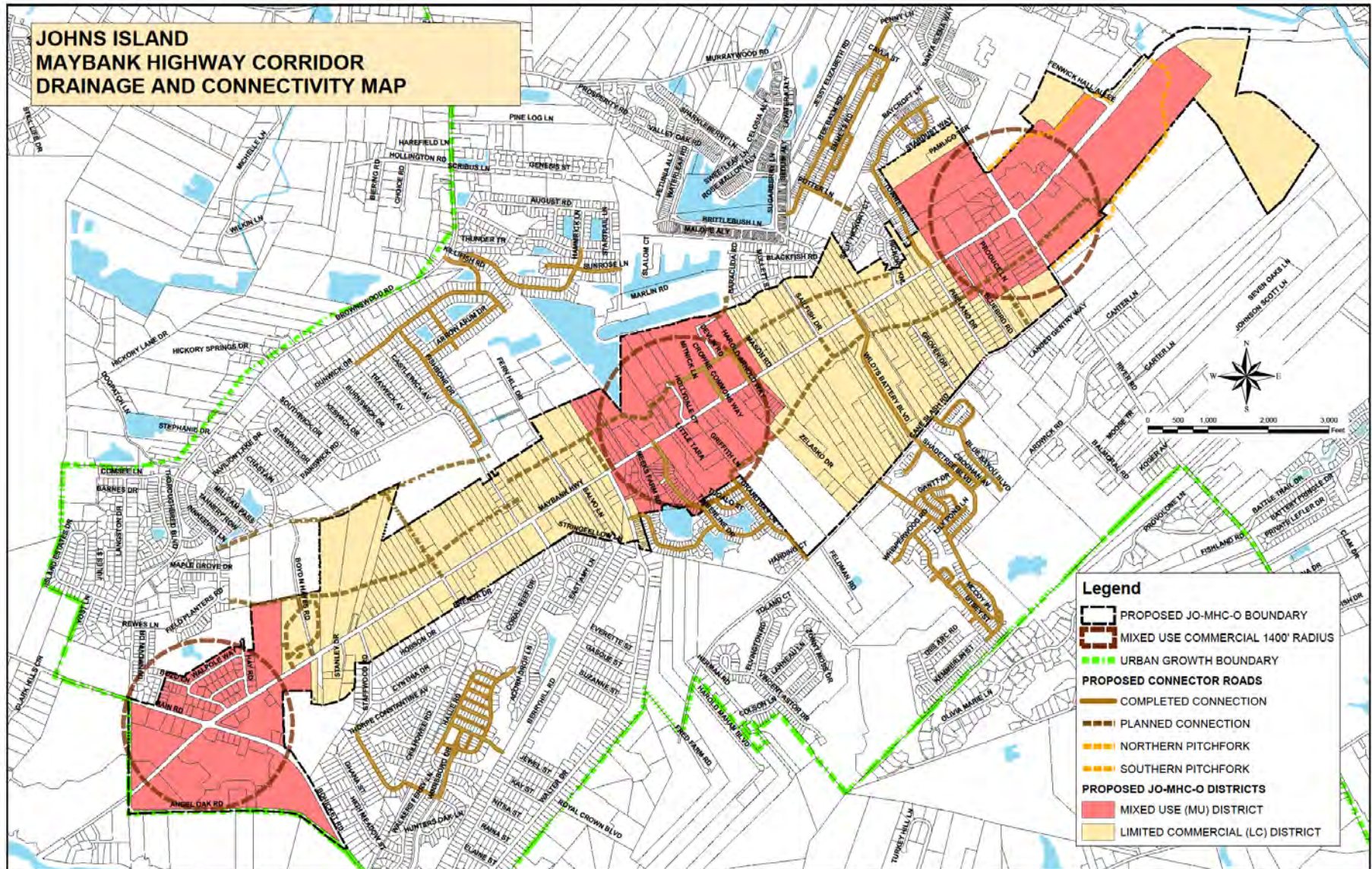
DEVELOPMENT REQUIREMENTS

➤ Proposed Drainage and Connectivity System:

- The JO-MHC-O Drainage and Connectivity Map identifies the approximate location of a proposed connector road system.
- New development and redevelopment shall dedicate and construct a 50' right-of way as shown on the Drainage and Connectivity Map.
- The 50' right-of-way shall be dedicated to the City, built to city standards, and included in drainage calculations associated with the new development or redevelopment.

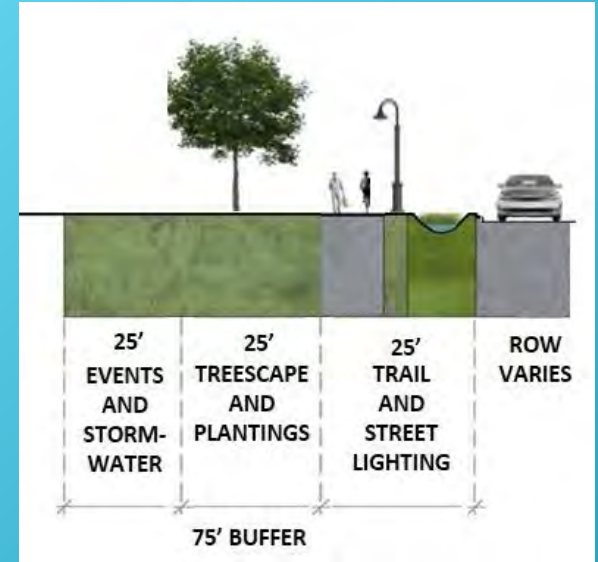


JO-MHC-O DISTRICT PROPOSED CONNECTOR ROAD SYSTEM



DEVELOPMENT REQUIREMENTS

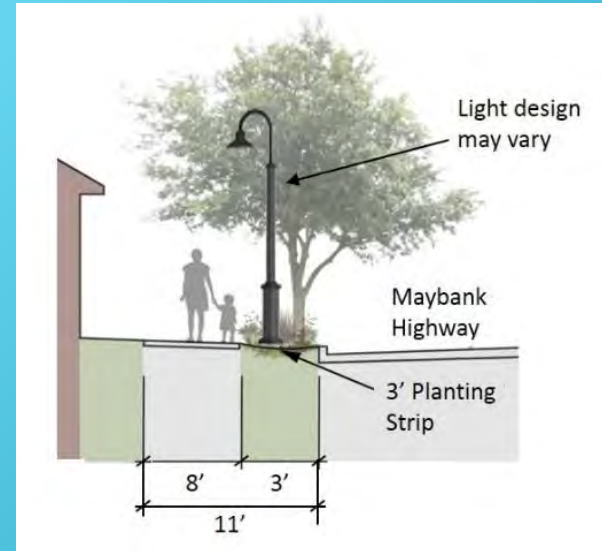
- **Limited Commercial (LC) District**
Maybank Highway Buffer Requirement:
 - **A 75' Maybank Highway ROW buffer shall be required for all development in the LC District:**
 - 0-25' -** Shall be reserved for future Maybank Highway widening and 10' multi-use path and pedestrian scale lighting on the property side of the building side;
 - 25-50' -** Shall include street trees and additional required plantings;
 - 50-75' -** Other event spaces and detention basins.



DEVELOPMENT REQUIREMENTS

➤ Mixed Use (MU) District Maybank Highway Buffer Requirement:

- Depth of buffer requirement varies
- Minimum 5-8' sidewalk across frontage
- Bike lanes on street
- Pedestrian scale street lights
- Street trees



DEVELOPMENT REQUIREMENTS BY DISTRICT

JOHNS ISLAND MAYBANK HIGHWAY CORRIDOR OVERLAY ZONING BOUNDARY (AS OF JUNE 2019)

JO-MHC-O - Limited Commercial (LC) District

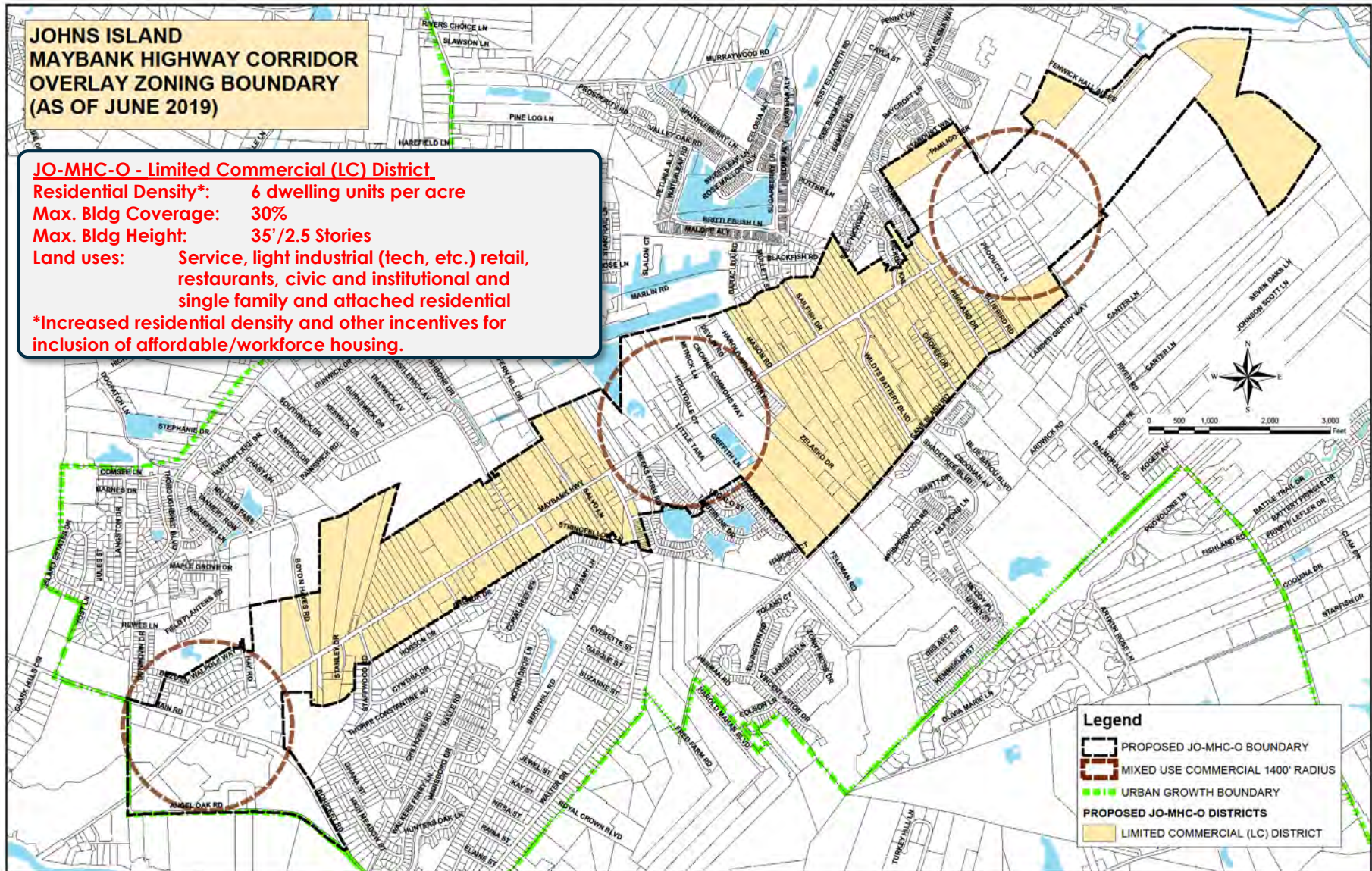
Residential Density*: 6 dwelling units per acre

Max. Bldg Coverage: 30%

Max. Bldg Height: 35' / 2.5 Stories

Land uses: Service, light industrial (tech, etc.) retail, restaurants, civic and institutional and single family and attached residential

***Increased residential density and other incentives for inclusion of affordable/workforce housing.**



DEVELOPMENT REQUIREMENTS BY DISTRICT

JOHNS ISLAND MAYBANK HIGHWAY CORRIDOR OVERLAY ZONING BOUNDARY (AS OF JUNE 2019)

JO-MHC-O - Mixed Use (MU) District

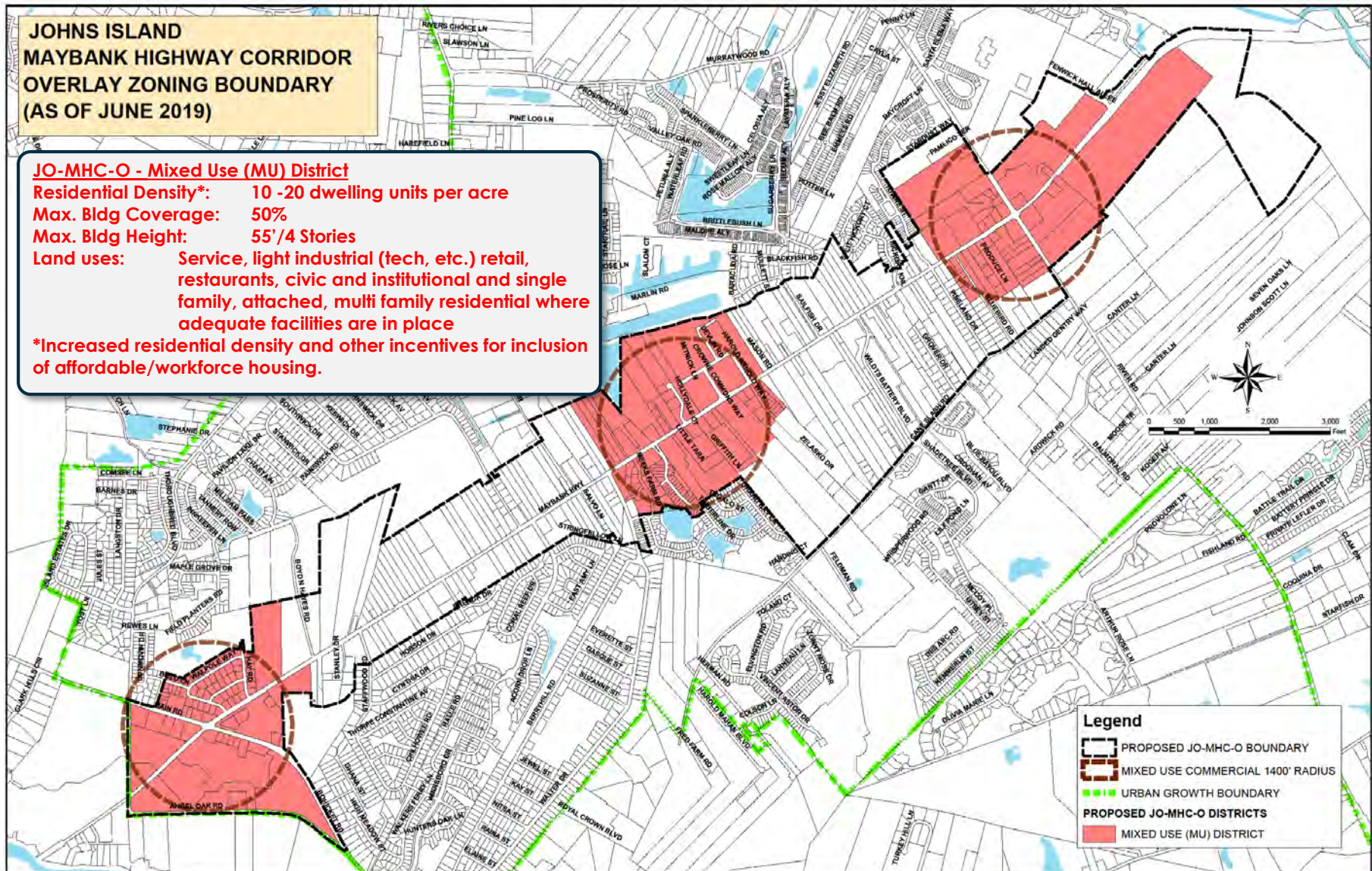
Residential Density*: 10 -20 dwelling units per acre

Max. Bldg Coverage: 50%

Max. Bldg Height: 55' 4 Stories

Land uses: Service, light industrial (tech, etc.) retail, restaurants, civic and institutional and single family, attached, multi family residential where adequate facilities are in place

*Increased residential density and other incentives for inclusion of affordable/workforce housing.



DEVELOPMENT REQUIREMENTS

➤ Signs

- One sign, max. ht. 8', max. size per face 40 sq. ft.



DEVELOPMENT REQUIREMENTS

➤ **Special Stormwater Requirements**

- The proposed overlay district is located in a Special Protection Area.
- The applicant shall meet with the Public Works/Stormwater Director to discuss specific design criteria pursuant to the requirements of the Charleston County/City of Charleston Stormwater Program Permitting Standards Manual prior to submitting any subdivision or site plan review applications.
- There will be a stormwater discussion at the end of this presentation.

DESIGN STANDARDS

- **Architectural design standards include, but are not limited to:**
 - Parking shall be located to the side or rear of the building.
 - Building entrances and windows shall be provided along the street frontage.
 - Buildings on corner lots shall address all applicable street frontages with regards to site design and architectural intent.
 - Quality building materials such as brick, stucco, and finished masonry products and shingles as approved by the Planning Director must be used.



DESIGN STANDARDS

- **Architectural design standards include, but are not limited to:**
 - Residential buildings that are converted to nonresidential uses shall present the residential character (height, scale, material, entrances, windows of roof pitch, etc.) at the street frontage.
 - Architecture shall be appropriate to reflect the vision for the area as approved by the Planning Director.

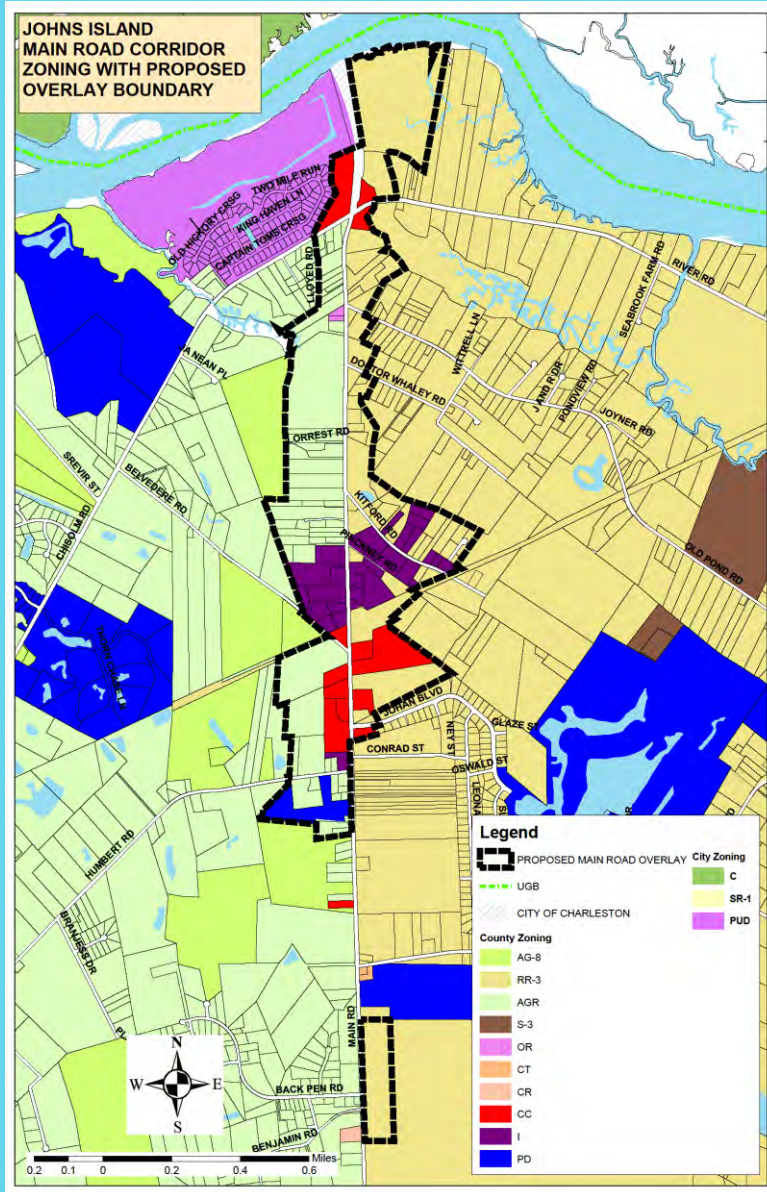


**MAIN ROAD
OVERLAY ZONING DISTRICT
(MR-O)**

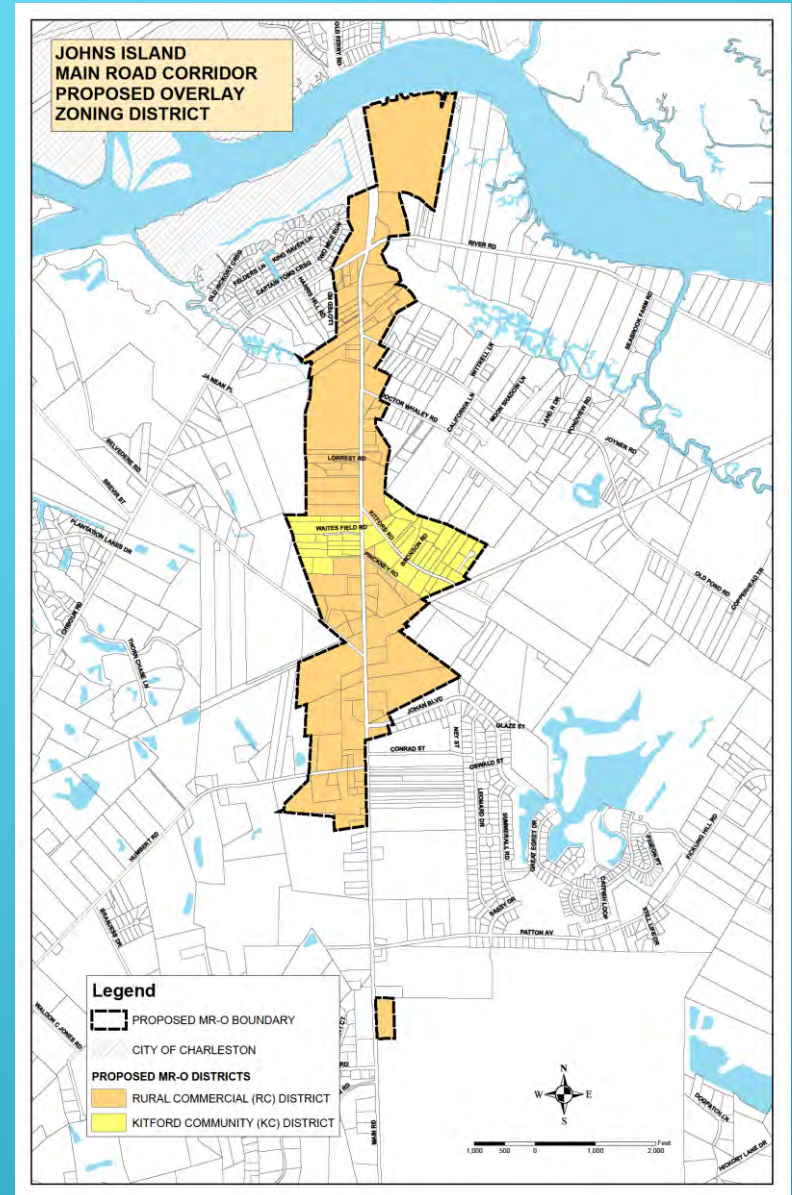
THE MR-O BOUNDARY MAP

- This process creates a new overlay district (subject to adoption by Charleston County).
- Development on properties within this new overlay district will be subject to the additional regulations created for this district.
- Two new districts are being created within the MR-O: Rural Commercial (RC) District and Kitford Community (KC) District.
- All properties within MR-O will be designated as RC District or KC District as shown on the MR-O Overlay Zoning District map.

MR-O DISTRICT BOUNDARY MAP



CURRENT ZONING



PROPOSED MR-O DISTRICT

APPLICATION, EFFECT AND COORDINATION

- **All MR-O development standards and requirements apply to all parcels within the overlay district boundary.**
- **All parcels in the MR-O are within the unincorporated areas of Charleston County.**
- **The MR-O will only be adopted by Charleston County.**

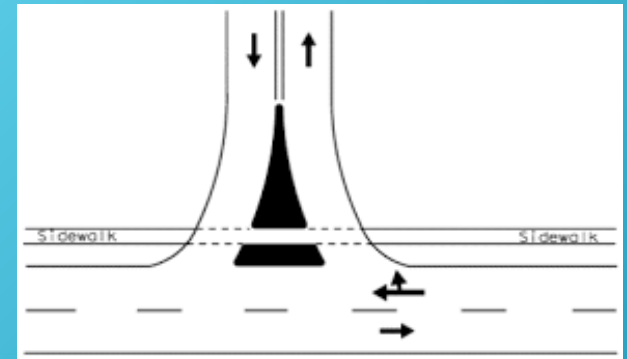
DEVELOPMENT REQUIREMENTS

➤ Residential Density Note:

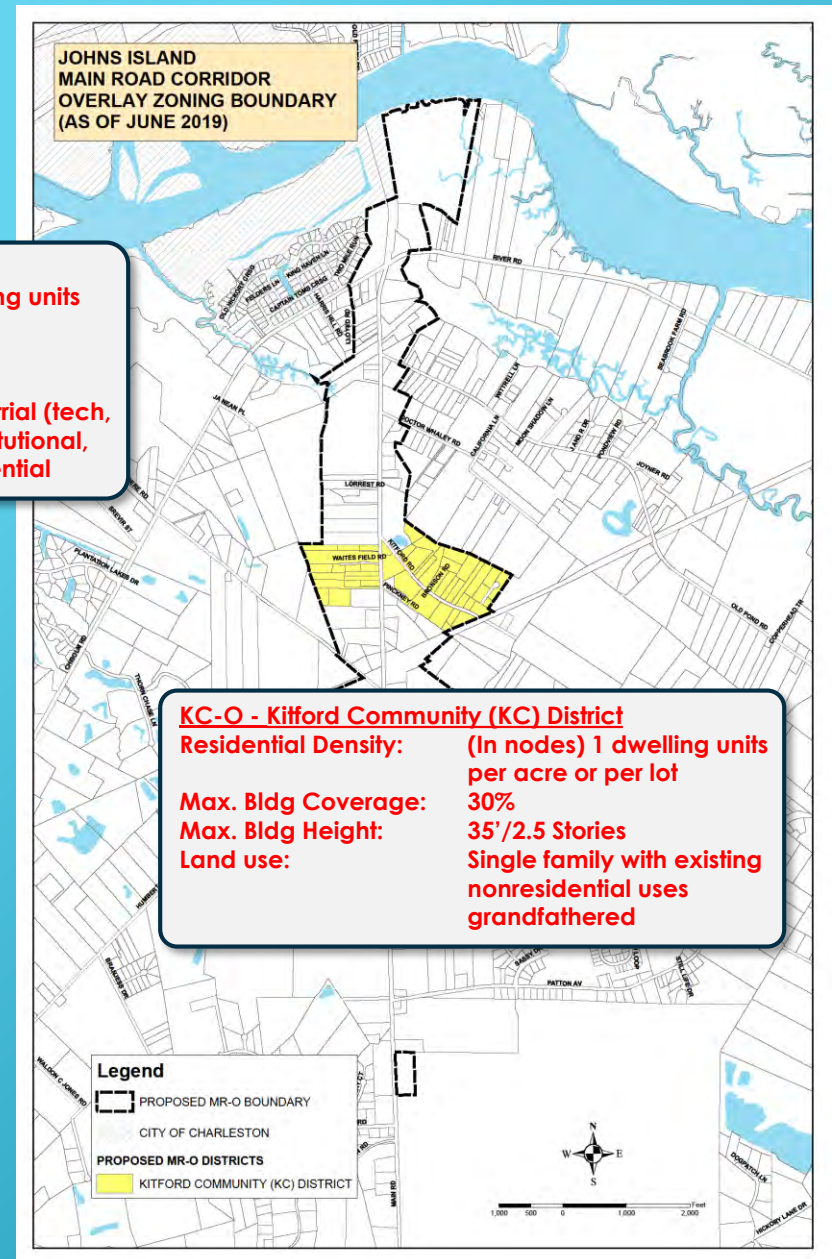
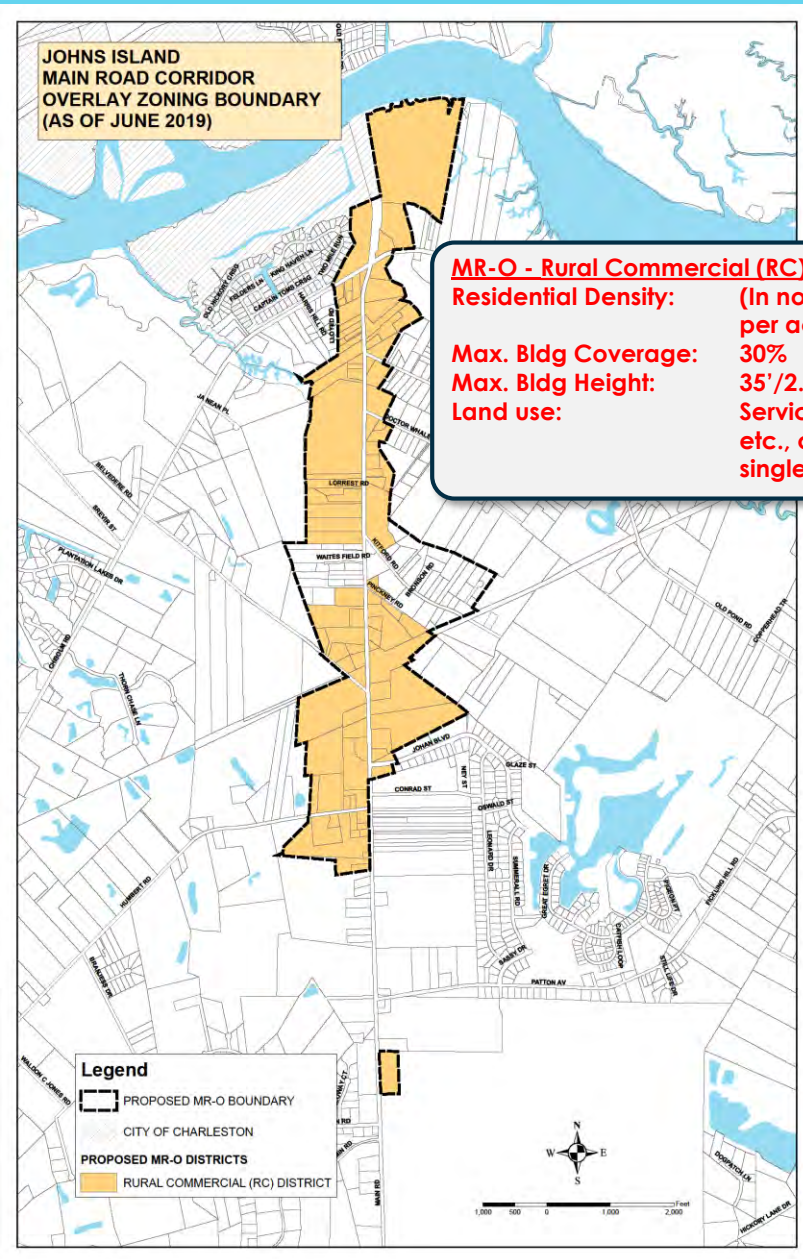
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➤ Vehicle Access

- All driveways directly accessing Main Road shall be designed as right-in, right-out (RIRO) driveways.
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- Driveways on corner lots shall be located only on the secondary street.
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DEVELOPMENT REQUIREMENTS BY DISTRICT



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**JOHNS ISLAND
MAYBANK HIGHWAY
AND MAIN ROAD
TRANSPORTATION-RELATED
PROJECTS**

SHORT TERM

- **NORTHERN PITCHFORK**
- **MAYBANK HIGHWAY @ RIVER ROAD INTERSECTION IMPROVEMENTS**
- **REVERSIBLE LANE STUDY**
- **RIVER ROAD @ CANE SLASH ROAD INTERSECTION IMPROVEMENTS**

LONGER TERM

➤ **MAIN ROAD CORRIDOR PROJECT**

STORMWATER DISCUSSION

**JOHNS ISLAND
MAYBANK HIGHWAY
AND MAIN ROAD**

PUBLIC COMMENT

NEXT STEPS FOR THE PROJECT

➤ **SUMMER/FALL 2019**

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