

CHARLESTON COUNTY HISTORIC PRESERVATION COMMISSION MEETING
Lonnie Hamilton, III Public Services Building
Council Chambers, 2nd Floor
4045 Bridge View Drive, North Charleston, SC 29405

*The public is invited to attend the meeting in person. The meeting will also be livestreamed
(for viewing purposes only) at the link below:*

<https://www.charlestoncounty.org/departments/county-council/cctv.php>

AGENDA
May 15, 2024
2:00 P.M.

-
- I. CALL TO ORDER
 - II. COMPLIANCE WITH THE FREEDOM OF INFORMATION ACT
 - III. INTRODUCTIONS
 - IV. APPROVAL OF THE MINUTES FOR THE APRIL 17, 2024 MEETING
 - V. OLD BUSINESS:
 - a. HIST-12-23-00103: Certificate of Historic Appropriateness request for a new single-family dwelling unit at 3858 Abe White Road, TMS 614-00-00-250, a property within the Ten Mile Community Historic District.
 - b. HIST-12-23-00105: Certificate of Historic Appropriateness request for a new single-family dwelling unit at 3864 Abe White Road, TMS 614-00-00-768, a property within the Ten Mile Community Historic District.
 - VI. NEW BUSINESS:
 - a. HIST-02-24-00106: Certificate of Historic Appropriateness request for the installation of roof-mounted solar panels on TMS 614-00-00-394, 987 Theodore Road, a property within the Ten Mile Community Historic District.
 - b. HIST-04-23-00107: Certificate of Historic Appropriateness request to relocate previously approved ADA access ramp at the Hutchinson House, TMS 085-00-00-028, a property on the National Register of Historic Places.
 - c. HIST-04-24-00108: Certificate of Historic Appropriateness request to renovate existing Single-Family Dwelling Unit and construct a new detached garage on TMS 334-10-00-056, a property within the Beefield Community Historic District.
 - VII. TRAINING ON HISTORIC PRESERVATION ORDINANCE ***if County Council approves amendments to the Historic Preservation Ordinance prior to this HPC meeting***
 - VIII. NEXT MEETING: JUNE 26, 2024
 - IX. ADJOURNMENT

Certificate of Historic Appropriateness Application:

HIST-12-23-00103

- Case History**
- Presentation**
- Application**
- 2/21 Public Input**
- 4/17 Public Input**

CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-12-23-00103
CASE HISTORY

Historic Preservation Commission: February 21, 2024

~~**Historic Preservation Commission: April 17, 2024**~~

Historic Preservation Commission: May 15, 2024

CASE INFORMATION

Location: 3858 Abe White Road

Parcel Identification: 614-00-00-250

Council District: 2- Kobrovsky

Property Size: 0.63 acres

Application: Certificate of Historic Appropriateness request for a new single-family dwelling unit at 3858 Abe White Road, TMS 614-00-00-250, a property within the Ten Mile Community Historic District.

Parcel Information and Area Description: The subject property is zoned Low Density Residential (R-4) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the West, East, North, and South are also zoned R-4 and contain single-family dwelling units. The subject property is in the AE-11 flood zone.

Historic Significance: On June 21, 2022, Charleston County adopted the Ten Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.

- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, Ten Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District:

HIST-11-22-00064	Denied	Request for construction of 21 Single-Family Dwelling Units	TMS 614-00-00-139
HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-731

HIST-05-23-00083	Approved	Request for placement of a Mobile Home	TMS 614-00-00-733
HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-23-00106	Pending	Request for the installation of roof-mounted solar panels	TMS 614-00-00-394

Property History:

Recent Applications:

- June 21, 2022: The Ten Mile Community was designated as a Charleston County Historic District (HIST-03-22-00053).
- August 18, 2023: Subdivision plat creating three lots was approved (SBDV-06-22-02112).

Application History:

- This application was deferred by the Commission at their February 21, 2024 meeting
- The Commission recommended the applicant make the following changes to their proposal:
 - Move the house closer to the center of the lot;
 - Reduce the overall height and mass of the house to be more reflective of the community;
 - Switch the pavement driveway to an impervious surface; and
 - Remove the drive-under and front-facing garage bays.
- The applicant submitted a revised application on February 29, 2024, and it was placed on the April 17, 2024 HPC agenda
- The applicant responded to the Commission's comments as follows:
 - *"The home is now 2 stories in lieu of a 3 story on an 18" raised foundation. The overall height of the structure has been reduced by 11'.*
 - *No longer do garages face the street.*
 - *There are several existing 2 story homes located throughout the district.*
 - *Placement of home has been pushed back. The house placement has also moved closer to the center of the lot and now accommodates a slide-by gravel driveway with 2 car parking.*
 - *The foundation is now an 18" raised slab. Approximately 1' of fill will be required and then the 18" raised foundation will be placed on top.*
 - *This will eliminate the need for additional fill and still meet the flood requirements.*
 - *Comments were made about flooding/drainage. Please know that all stormwater requirements have already been approved by the county and detailed on the plat.*
 - *Driveway has been converted to gravel."*

Project Description:

Applicant's Project Description: *"The proposed new single family home has been designed according to the current zoning parameters set forth by Charleston County. Water and sewer is served to the lot. The proposed home is designed with Lowcountry characteristics found in the Charleston market and surrounding neighborhood, built in accordance with FEMA floodplain requirements.*

Square Footage: 2,190

Stories: 2

Lot Coverage: 5.6%"

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-4.B, Applicability, states, "A Certificate of Historic Appropriateness is required: a. Before the issuance of Zoning Permits for the demolition, alteration, modification, addition to, new construction, rehabilitation, relocation, or restoration to a Historic Property including construction of new structures in Historic Districts; and b. Before Subdivision Plat and Site Plan Review approvals for properties located within 300 feet of a Historic Property."

Sec. 20-4.F, Approval Criteria, states "In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider: a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration; b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District; c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments."

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-4.F:

1. **In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:**
 - a. **The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration;**

Applicant Response: *"The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.*

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the

mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. is located at the same location on the northern boundary of the Ten Mile Community. Many of the original inhabitants of the Ten Mile Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823."

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community's character and history tied to the land.

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *"Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district."*

Staff Response: The applicant is proposing a 2,190 square foot, two story, single-family dwelling unit. The applicant has revised their application to propose the home to be on an 18" raised slab, which will require bringing in one foot of fill, and reduces the overall building height by eleven feet. Additionally, the applicant has removed the garage bays altogether, opting instead for a gravel parking area to the left of the home. The impervious surface coverage would be 5.6% of the 0.63-acre existing lot of record, reduced due to the applicant's decision to switch the proposed paved driveway to gravel. The applicant has demonstrated the design changes that have been made in order to better complement the existing fabric of the Ten Mile Community.

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: *"We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district."*

Staff Response: The applicant has made design changes to address the scale and massing compatibility between the proposed new construction and the existing homes along Abe White Road. They have removed the drive-under garage, instead opting to move the driveway to the left of the home and create a parking area for two cars. Additionally, by switching to a raised slab, the applicant lowered the overall height of the building by eleven feet.

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the

prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *"The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found in the district. Building materials will be of high quality, all natural wood products, no vinyl siding."*

Staff Response: There are currently four homes that utilize Abe White Road, a County Non-Standard Road, for access. Of those homes, half are manufactured housing units, and the other half are single-family dwelling units. The houses range in size from 978 to 1,496 square feet. The single-family dwelling units are ranch and bungalow style, with one story of living space. One mobile home is elevated one story. Developed lot sizes range from 0.5 to 16.05 acres. Building coverage ranges from 0.1% to 6.9%. The applicant has made changes to create greater consistency with the existing development of lots in this area of the Ten Mile Community Historic District. The proposed home has a square footage of just over 2,100 square feet, a building coverage of 5.6%, and will be two stories. The applicant has removed the proposed drive-under garage at the suggestion of the Commission, instead choosing to create an impervious parking area, along with converting the proposed driveway to gravel. The applicant also moved the home further back and towards the center of the lot, which was another Commission recommendation.

e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: *"Not applicable."*

Staff Response: The request does not involve an application for Site Plan Review, and therefore this criterion does not apply.

Based on the applicant's responses, the applicable approval criteria may have been satisfied. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-4.F, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-4.F.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny Case # HIST-12-23-00103: *Certificate of Historic Appropriateness request for a new single-family dwelling unit at 3858 Abe White Road, TMS 614-00-00-250, a property within the Ten Mile Community Historic District.*

HISTORIC PRESERVATION COMMISSION MEETING: February 21, 2024

Public Input: Prior to the meeting, 22 letters in opposition and a petition with 90 signatures opposing the request were received.

Notifications: 754 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on February 2, 2024. Additionally, the request was noticed in the Post & Courier on February 2, 2024.

HISTORIC PRESERVATION COMMISSION MEETING: April 17, 2024

Public Input: Seven letters in opposition were received.

Notifications: 653 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on March 29, 2024. Additionally, the request was noticed in the Post & Courier on March 29, 2024.

Due to there being no quorum, the item was rescheduled for the May 15, 2024 Historic Preservation Commission meeting.

HISTORIC PRESERVATION COMMISSION MEETING: May 15, 2024

Public Input: None received.

Notifications: 653 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on April 26, 2024. Additionally, the request was noticed in the Post & Courier on April 26, 2024.

Certificate of Appropriateness Request HIST-12-23-00103

Parcel ID: 614-00-00-250

Acreage: 0.63 acres

Property Address: 3858 Abe White Road

Area: East Cooper

Owner: Nest Coastal, LLC

Applicant: Mark Lipsmeyer

Request: Certificate of Historic Appropriateness request for a new single-family dwelling unit at TMS 614-00-00-250, 3858 Abe White Road, a property within the Ten Mile Community Historic District.

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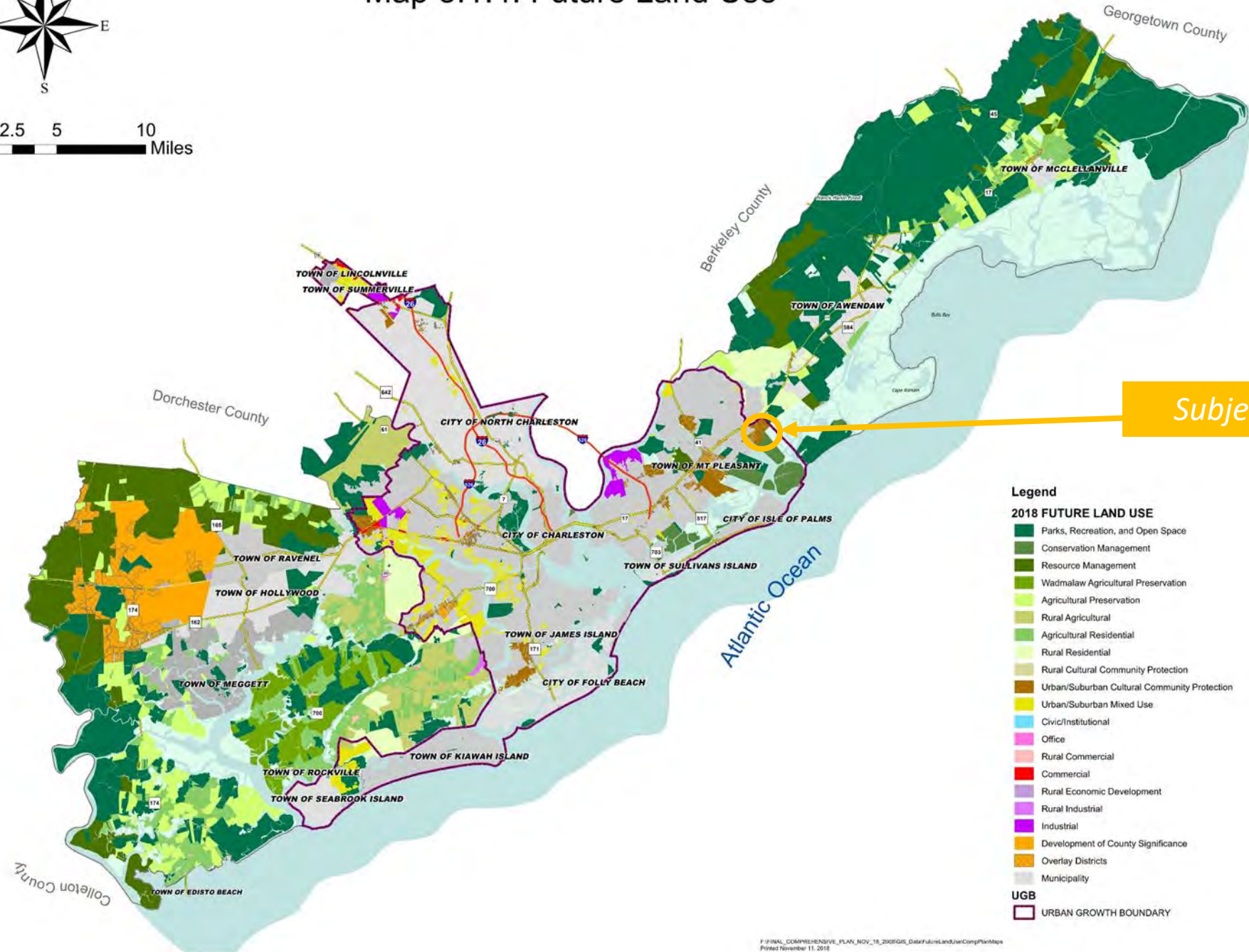
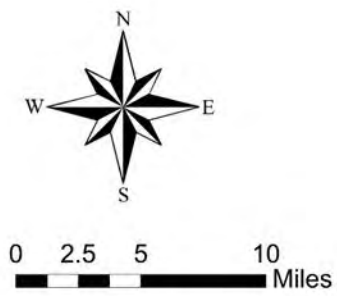
Square Footage: 2,190

Stories: 2

Lot Coverage: 5.6%"



Map 3.1.4: Future Land Use



Subject Parcel

Legend

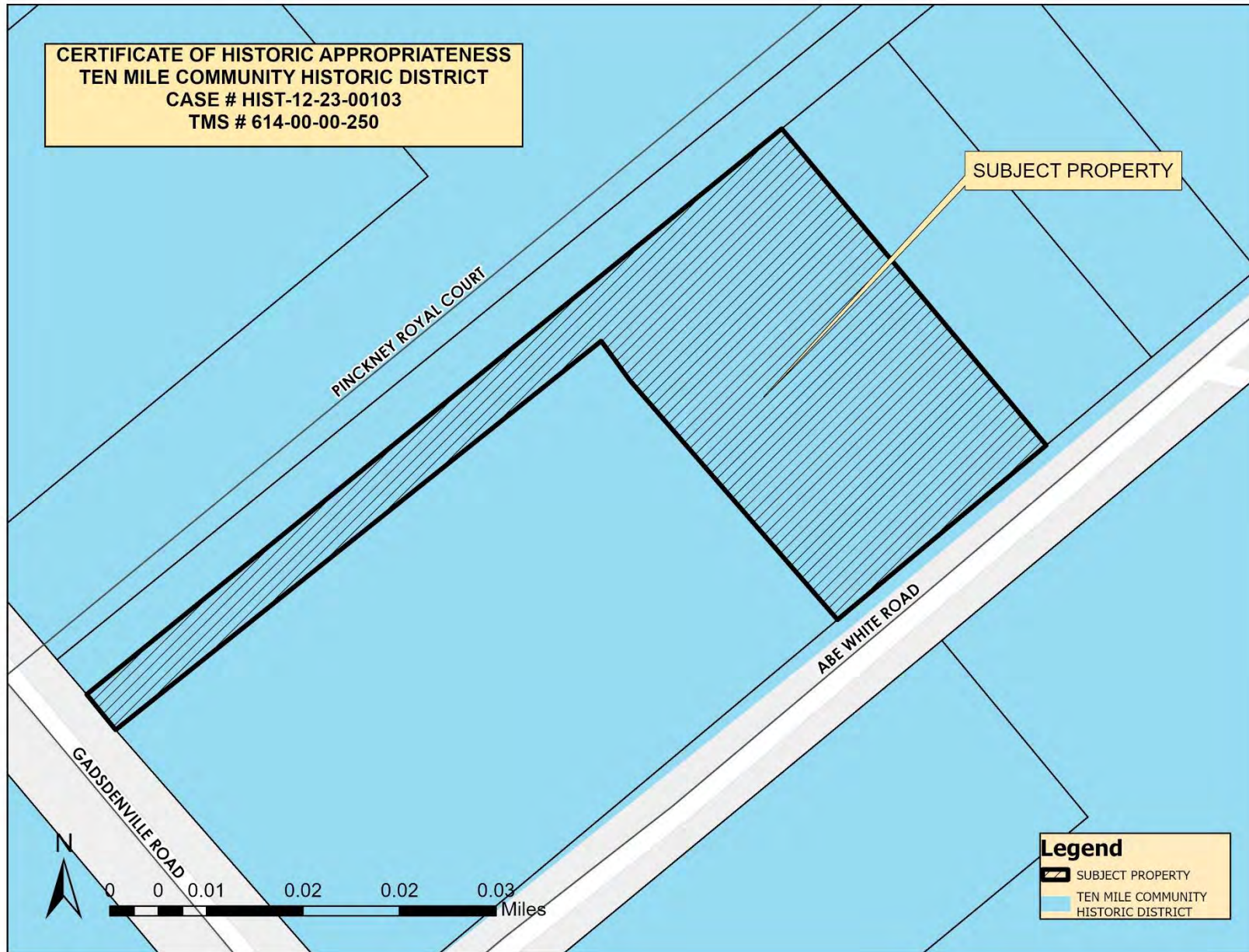
2018 FUTURE LAND USE

- Parks, Recreation, and Open Space
- Conservation Management
- Resource Management
- Wadmalaw Agricultural Preservation
- Agricultural Preservation
- Rural Agricultural
- Agricultural Residential
- Rural Residential
- Rural Cultural Community Protection
- Urban/Suburban Cultural Community Protection
- Urban/Suburban Mixed Use
- Civic/Institutional
- Office
- Rural Commercial
- Commercial
- Rural Economic Development
- Rural Industrial
- Industrial
- Development of County Significance
- Overlay Districts
- Municipality

UGB

- URBAN GROWTH BOUNDARY

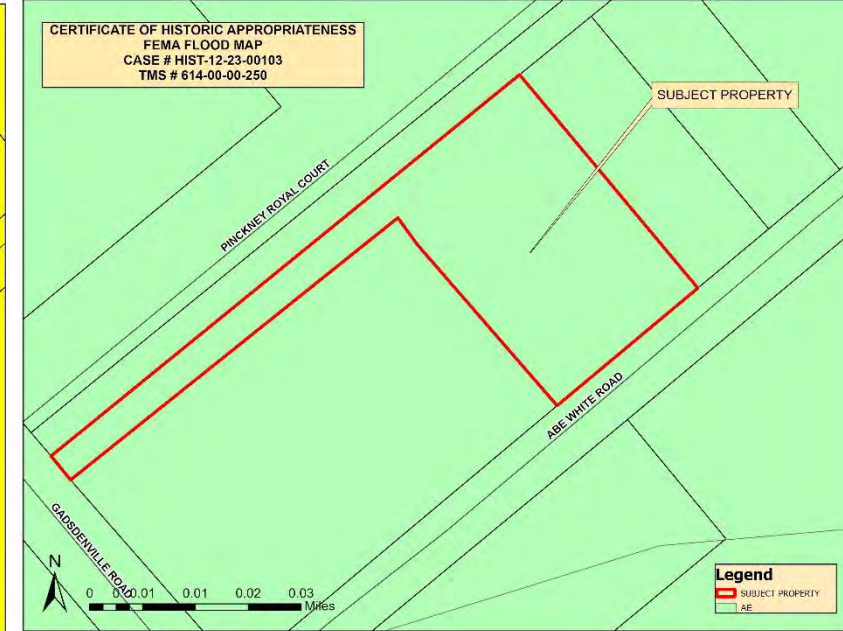
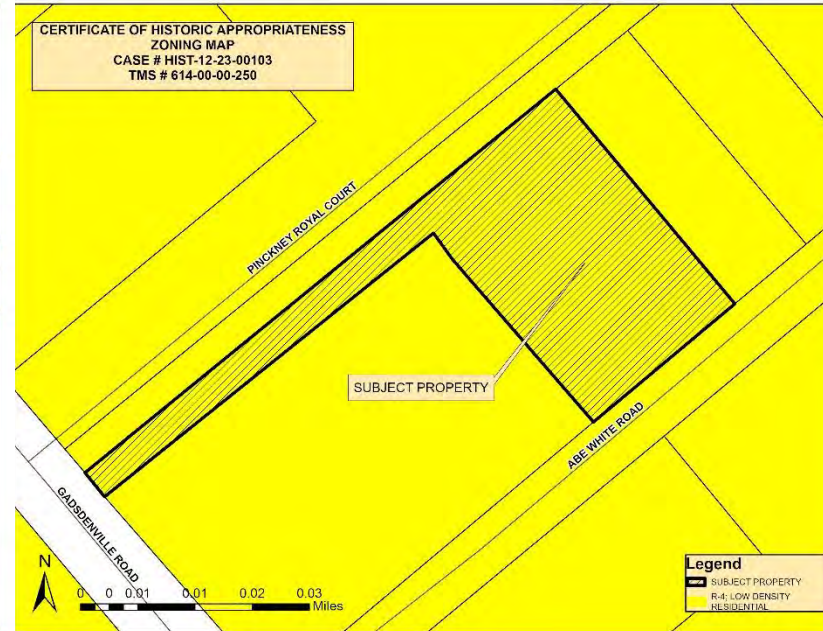
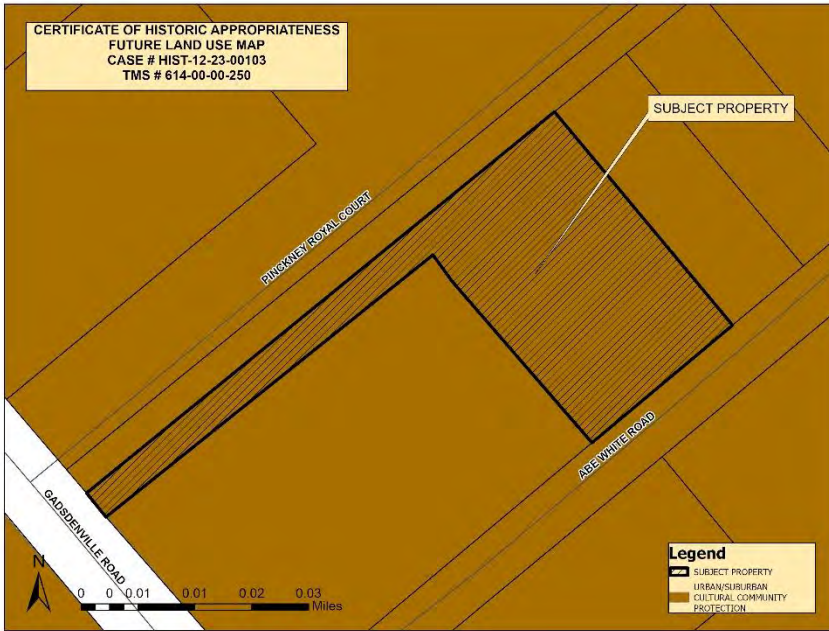
Ten Mile Community Historic District



10 Mile Community Historic Significance

- On June 21, 2022, Charleston County adopted the 10 Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.
- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
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Future Land Use, Zoning, and FEMA Flood Designation



The subject property is zoned Low Density Residential (R-4) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the West, East, North, and South are also zoned R-4 and contain single-family dwelling units. The subject property is in the AE-11 flood zone.

Aerial View



Site Photos- Subject Property



TMS 614-00-00-250
3858 Abe White Road



TMS 614-00-00-250
3858 Abe White Road

Site Photos- Surrounding Properties



TMS 614-00-00-767
3862 Abe White Road



TMS 614-00-00-133
954 Gadsdenville Road

Site Plan

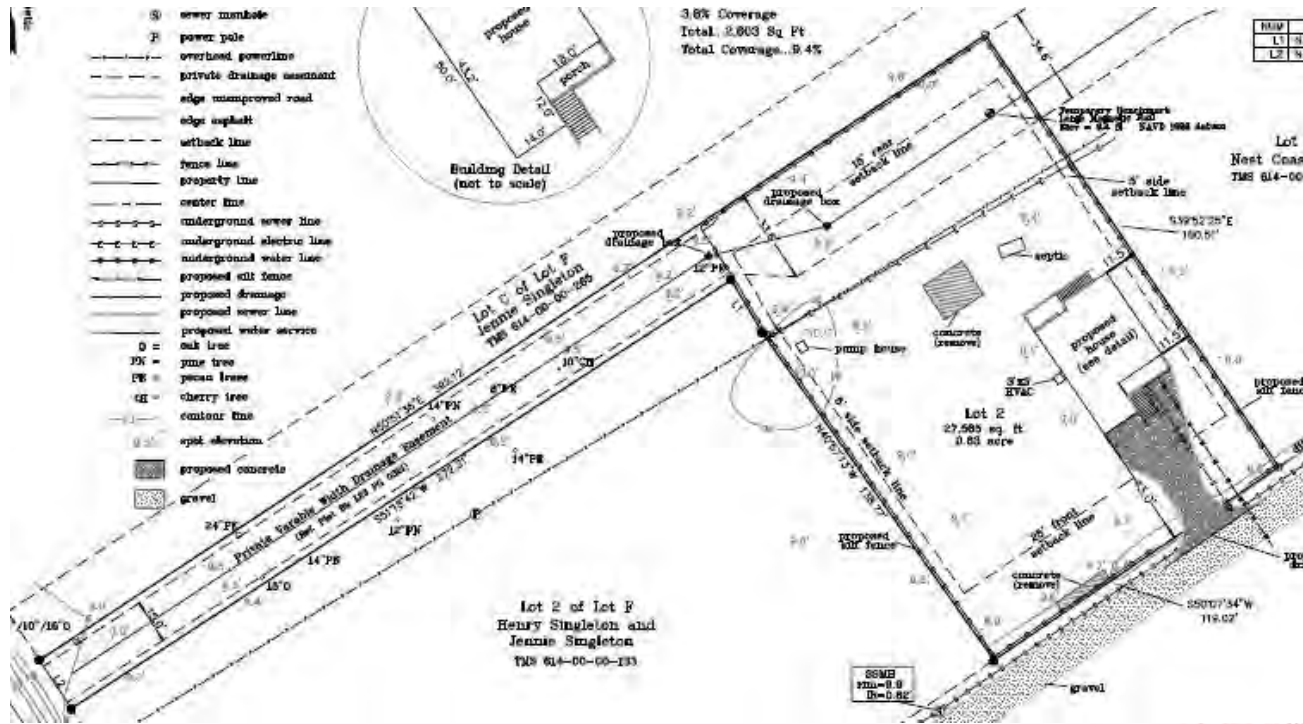


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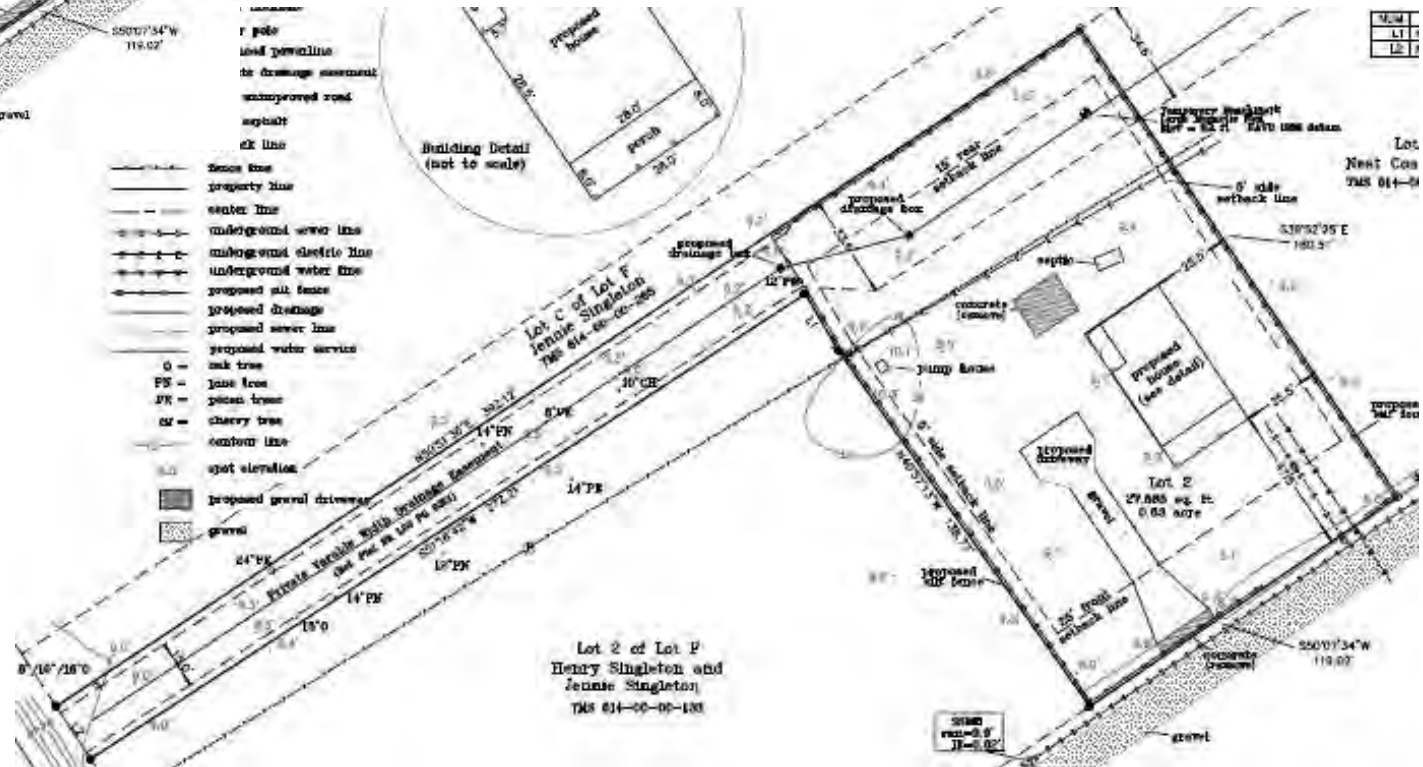
1. Reference Tax Map Number 614-25-02-250
2. Reference Plat Book 121, Page 0381
3. Property owner: Next Coastal LLC
4. This property may be subject to various utility easements (i.e. power, telephone, water, gas, sewer, etc.) that were not noted in the plat referenced herein, nor in the other title information noted herein. This plat does not address any subsurface conditions of any nature, unless specifically noted otherwise.
5. Surveyor has made an investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
6. Declaration is made to Original Purchaser of this survey. It is not transferable to additional institutions or subsequent owner.
7. This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge said lot is located in flood zone AE(1). FEMA Map No. 45040C0005 K 01/26/2021. Flood zone should be verified with the governing municipality before design and construction.
8. Subsurface and environmental conditions were not examined or considered as a part of this survey.
9. Property address: 3555 Abe White Road
10. Every effort has been made to accurately locate, label, and describe the size of the trees shown herein. The trees identified on this survey are of our opinion only. The species and size should be verified by a certified arborist or the local governing authority. No covenants or tree leanings are shown. A preliminary site layout is recommended before final site design or construction.
11. Anything shown outside the defined boundary of this survey is for descriptive purposes only.
12. Verify setbacks with Governing Municipality before Design and Construction.
13. Project Elevation Datum: NAVD 1983

I hereby state that to the best of my knowledge, information and belief, the above shown, before was made in accordance with the requirements of the Uniform Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown.

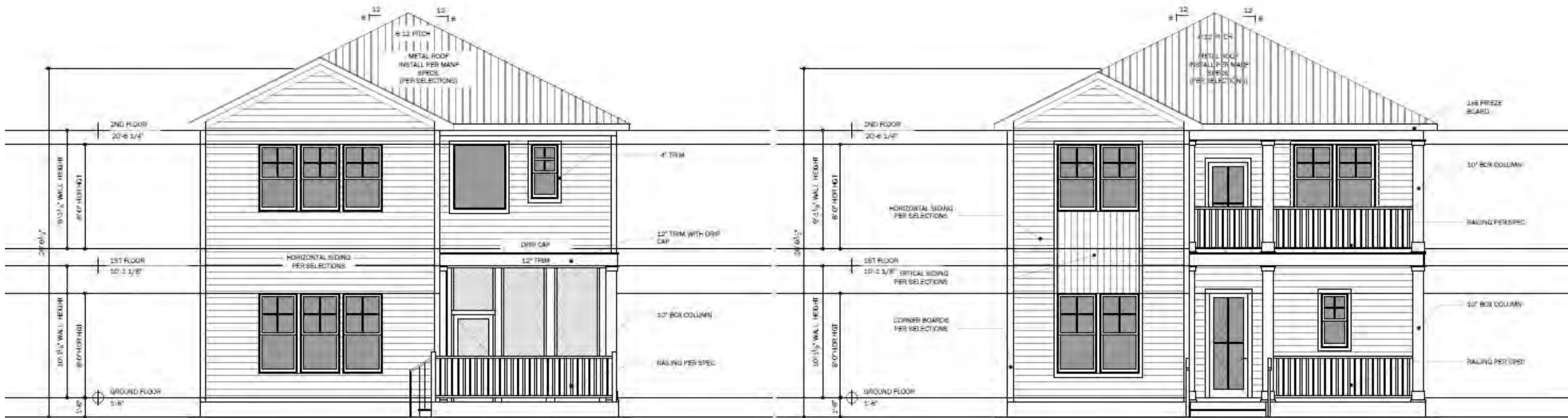
Previous Site Plan



New Site Plan



Elevations



Previous Front Elevation



FRONT ELEVATION A
SCALE: 1/4" = 1'-0"
9'-3 1/8" WALL HEIGHT
WINDOW HEADERS @ 8'-0" A.F.F.

New Front Elevation



FRONT ELEVATION A
SCALE: 1/4" = 1'-0"
9'-3 1/8" WALL HEIGHT
WINDOW HEADERS @ 8'-0" A.F.F.

Elevations



RIGHT ELEVATION A

SCALE: 1/4" = 1'-0"
10'-3 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.

Elevations



LEFT ELEVATION A

SCALE: 1/4" = 1'-0"
8'-3 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.

Approval Criteria

In granting Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:

- a. The historic, cultural, and architectural significance of the District, Site, Building, Structure, or Object under consideration;

Applicant Response: *“The Ten Mile Community historic district boundary spans both sides of Highway 17 North In the Awendaw area. The Ten Mile Community was recognized In the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.*

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mile Community. Many of the original Inhabitants of the Ten Mile Community are burled at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823.”

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community’s character and history tied to the land.

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: “Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district.”

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Staff Response: The applicant is proposing a 2,190 square foot, two story, single-family dwelling unit. The applicant has revised their application to propose the home to be on an 18” raised slab, which will require bringing in one foot of fill, and reduces the overall building height by eleven feet. Additionally, the applicant has removed the garage bays altogether, opting instead for a gravel parking area to the left of the home. The impervious surface coverage would be 5.6% of the 0.63-acre existing lot of record, reduced due to the applicant’s decision to switch the proposed paved driveway to gravel. The applicant has demonstrated the design changes that have been made in order to better complement the existing fabric of the Ten Mile Community.

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: “We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district.”

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Staff Response: The applicant has made design changes to address the scale and massing compatibility between the proposed new construction and the existing homes along Abe White Road. They have removed the drive-under garage, instead opting to move the driveway to the left of the home and create a parking area for two cars. Additionally, by switching to a raised slab, the applicant lowered the overall height of the building by eleven feet.

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *“The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found in the district. Building materials will be of high quality, all natural wood products, no vinyl siding.”*

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Staff Response: There are currently four homes that utilize Abe White Road, a County Non-Standard Road, for access. Of those homes, half are manufactured housing units, and the other half are single-family dwelling units. The houses range in size from 978 to 1,496 square feet. The single-family dwelling units are ranch and bungalow style, with one story of living space. One mobile home is elevated one story. Developed lot sizes range from 0.5 to 16.05 acres. Building coverage ranges from 0.1% to 6.9%. The applicant has made changes to create greater consistency with the existing development of lots in this area of the Ten Mile Community Historic District. The proposed home has a square footage of just over 2,100 square feet, a building coverage of 5.6%, and will be two stories. The applicant has removed the proposed drive-under garage at the suggestion of the Commission, instead choosing to create an impervious parking area, along with converting the proposed driveway to gravel. The applicant also moved the home further back and towards the center of the lot, which was another Commission recommendation.

Approval Criteria

- e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: *“Not applicable.”*

Staff Response: Because there is no application for Site Plan Review, this criterion is not applicable.

Staff Recommendation: Based on the applicant's responses, the applicable approval criteria may have been satisfied. Therefore, Staff recommends approval.

Public Input

- **February 21, 2024 HPC Meeting:** 22 letters in opposition and a petition with 90 signatures opposing the request were received.
- **April 17, 2024 HPC Meeting:** Seven letters in opposition were received.
- **May 15, 2024 HPC Meeting:** None received.

Notifications

February 21, 2024 HPC Meeting:

- **February 2, 2024:** 754 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **February 2, 2024:** This meeting was advertised in the Post and Courier.

April 17, 2024 HPC Meeting:

- **March 29, 2024:** 653 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **March 29, 2024:** This meeting was advertised in the Post and Courier.

May 15, 2024 HPC Meeting:

- **April 26, 2024:** 653 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **April 26, 2024:** This meeting was advertised in the Post and Courier.

Certificate of Historic Appropriateness – Application Form

Owner Information

First Name: Nest Coastal, LLC *Last Name:*
Mailing Address: P.O. Box 3965, Mooresville, NC 28117
Home/Cell Phone #: 843-791-2240
Email Address: mlipsmeyer@nest-coastal.com

Applicant Information (if not being submitted by owner)

First Name: Mark *Last Name:* Lipsmeyer
Mailing Address: 1814 Crowne Commons Way, Ste E6, Johns Island, SC 29455
Home/Cell Phone: 843-296-3724
Email Address: mlipsmeyer@nest-coastal.com

Property Information

Address: 3858 Abe White Road, Awendaw, SC 29429
TMS #: 614-00-00-250 *Acres:* .63
Deed: 1132-327 *Plat:* L23-0321
Zoning: R4

Description of proposed activity requiring a Certificate of Historic Appropriateness:
Construsction of a single family home within the Historic Ten Mile Community.

I (we) certify that Mark Lipsmeyer is the authorized representative for my (our) Certificate of Historic Appropriateness application.

Mark Lipsmeyer
Signature of Owner(s)

11/13/2023
Date

Signature of Applicant (if other than owner)

Date

OFFICE USE ONLY

Invoice Number _____

Amount Received _____ ☐ Cash ☐ Check # _____ ☐ Credit Card ☐ Online Invoice

Staff Signature

Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a written description of the proposal which requires a Certificate of Historic Appropriateness and the Historic District or Property for which this process is required. Please attach additional paper if more room is needed.

The proposed new single family home has been designed according to the current zoning parameters set forth by Charleston County. Water and sewer Is served to the lot.

The proposed home is designed with Lowcountry characteristics found in the Charleston market and surrounding neighborhood, built in accordance with FEMA floodplain requirements.

Square Footage: 2,190

Stories: 2

Lot Coverage: 5.6%

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

1 a. Describe the historic, cultural, and architectural significance of the district, site, building, structure, or object which requires a Certificate of Historic Appropriateness to be obtained.

The Ten Mile Community historic district boundary spans both sides of Highway 17 North In the Awendaw area. The Ten Mile Community was recognized In the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mlle Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.

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As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mlle Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mlle Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected In 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mlle Community. Many of the original Inhabitants of the Ten Mlle Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mlle Community that date back to 1823.

PART II continued.

1 b. Describe the proposed exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District.

Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district.

1 c. Applications for new construction, alteration, repair, rehabilitation, or restoration, describe how the proposed work will use the Secretary of the Interior's Standards for the Treatment of Historic Properties.

We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district.

PART II continued.

1 d. Describe how the proposal demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. (This criterion is only applicable to properties within a Historic District; or for Site Plan Review proposals within 300 feet of Historic Districts.)

The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found in the district. Building materials will be of high quality, all natural wood products, no vinyl siding.

2. Describe how the proposal minimizes potential negative impacts through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments, etc. (This criterion is only applicable for Site Plan Review proposals on or within 300 feet of a Historic Property).

Not applicable.



FOR APPROVAL STAMPS

RECORDED

DATE: 8/18/2023 TIME: 9:45:00 AM
Book-Page: L23 0321 DocType: Large Plat
Karen Hollings, Register of Deeds, Charleston County, SC

Record Fee: \$25.00
Postage: \$0.00
TOTAL: \$25.00
Drawer: [Signature]
Clerk: [Signature]
Location: BEE HIVE

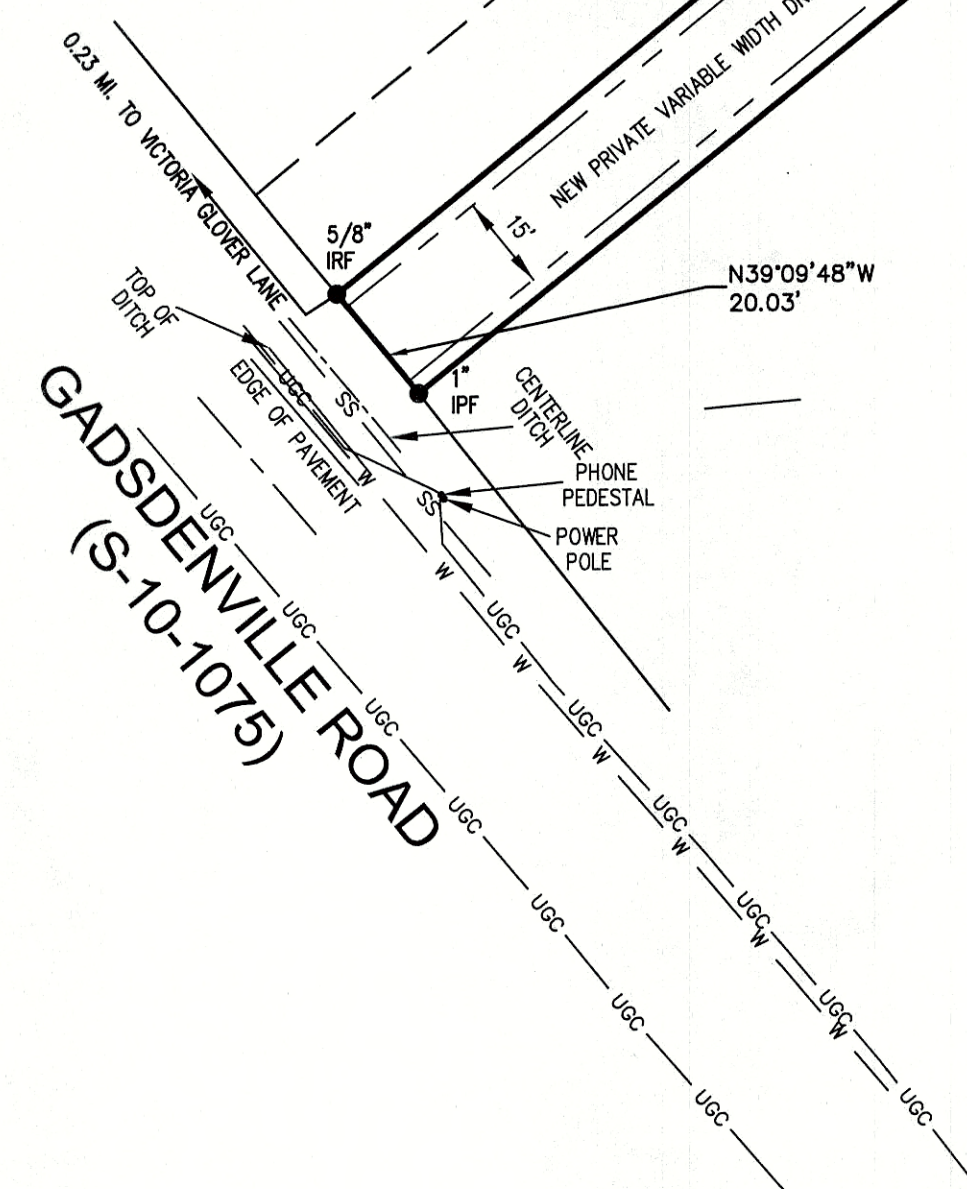
APPROVED PLAT

[Signature]
Director of Planning
Charleston County Planning Commission

SPDV-02112 08-17-23
Appl# Date

THE NEW VARIABLE WIDTH DRAINAGE EASEMENT IS HEREBY DEDICATED TO THE USE OF THE PUBLIC. THE PROPERTY OWNERS OF THESE LOTS GUARANTEE ITS MAINTENANCE UNTIL SUCH TIME AS IT IS ACCEPTED INTO A PUBLIC MAINTENANCE SYSTEM.

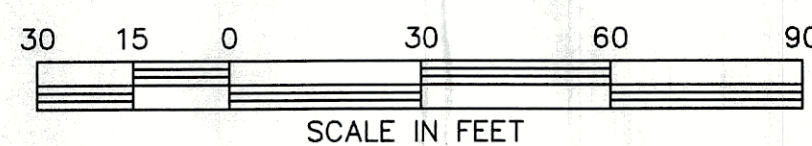
[Signature]



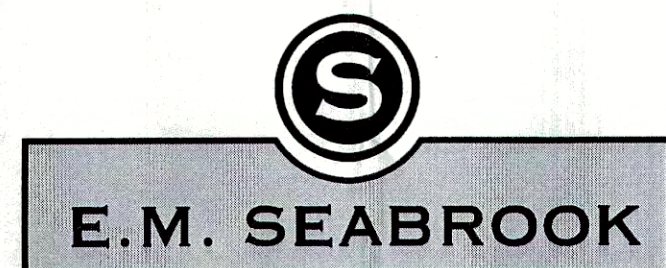
HENRY SINGLETON
JENNIE SINGLETON
TMS 614-00-00-133

BEE HIVE AREA CHRIST CHURCH PARISH CHARLESTON COUNTY, S. C.

PLAT OF THE SUBDIVISION OF LOT B (TMS 614-00-00-250)
CONTAINING 1.13 ACRES OWNED BY NEST COASTAL LLC
INTO LOT 2 CONTAINING 0.63 ACRE
AND LOTS 3 AND 4 BOTH CONTAINING 0.25 ACRE

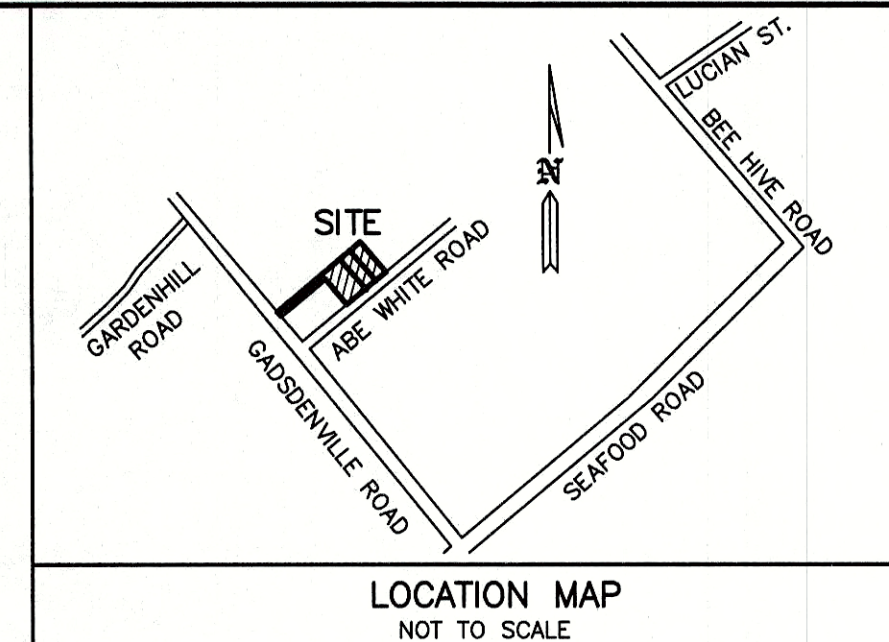


SCALE: 1" = 30'



E.M. SEABROOK
Engineers | Surveyors
1037 Chuck Dawley Blvd.
Building F - Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 884-4496
www.emseabrook.com

FEBRUARY 27, 2023
REVISED AUGUST 7, 2023



O SSMH
TOP 10.31

LEGEND

IPF IRON PIPE FOUND
IRF IRON REBAR FOUND
IRS IRON REBAR SET
SSMH SANITARY SEWER MANHOLE
XS.3 EXISTING ELEVATION
OHP OVERHEAD POWER LINE
SS SANITARY SEWER LINE
UGC UNDERGROUND COMMUNICATIONS LINE
W WATER LINE

ZONING:

R-4
DENSITY/INTENSITY AND DIMENSIONAL STANDARDS
MAXIMUM DENSITY 4 DWELLING UNITS PER ACRE
MINIMUM LOT AREA 7,250 SQUARE FEET
WITH PUBLIC WATER AND SEWER 10,000 SQUARE FEET
WITHOUT PUBLIC WATER AND SEWER 14,500 SQUARE FEET
MINIMUM LOT WIDTH 60 FEET
MINIMUM SETBACKS
FRONT 25 FEET
INTERIOR SIDE 5 FEET
REAR 15 FEET
OCRM CRITICAL LINE 35 FEET
MAXIMUM BUILDING COVER 30% OF LOT
MAXIMUM HEIGHT 35 FEET

REFERENCES:

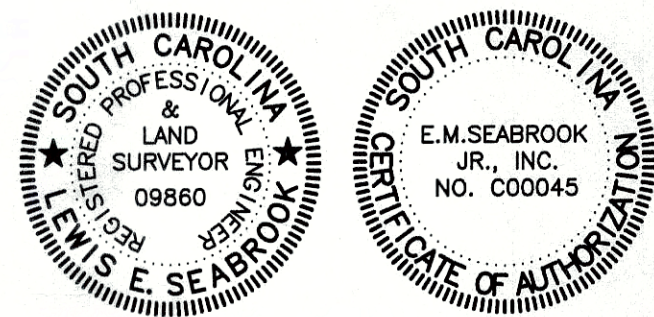
1. PLAT BY W. L. GAILLARD LAST REVISED JAN. 2, 1990, RECORDED IN CHARLESTON COUNTY RMC OFFICE IN PLAT BOOK BY PAGE 58
2. PLAT BY EDWARD GLEN CHEARS DATED MAY 18, 2012, PREPARED FOR CHARLESTON COUNTY PUBLIC WORKS RECORDED IN CHARLESTON COUNTY RMC OFFICE IN PLAT BOOK S13 PAGE 0086
3. PLAT BY E. M. SEABROOK, JR., INC. DATED MAY 3, 2022, NOT RECORDED

NOTES:

1. AREA DETERMINED BY COORDINATES
2. BASED ON INTERPRETATION OF FEMA FLOOD INSURANCE RATE MAP NUMBER 45019C 0365 K DATED JANUARY 29, 2021, THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE AE (ELEV. 11').
3. THERE IS NO OBSERVABLE EVIDENCE OF THE LOCATION OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY. SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING SUBSURFACE GRAVE SITES THAT MAY AFFECT THE USE OR FURTHER DEVELOPMENT OF THIS PROPERTY.
4. THERE IS PUBLIC WATER AND SEWER AVAILABLE IN ABE WHITE ROAD.
5. THERE ARE NO GRAND TREES ON THESE LOTS.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

[Signature] 2/15/23
LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. 09860
P. O. BOX 26
MOUNT PLEASANT, S. C. 29465
(843) 884-4496



NAVD 88

NEST HOMES

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www.nesthomes.com

LIEBEN

ELEVATION A



ABBREVIATIONS

AB	ANCHOR BOLT	MB	MOISTURE BARRIER
ABV	ABOVE	MDF	MEDIUM DENSITY FIBERBOARD
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
AP	ACCESS PANEL	MO	MASONRY OPENING
		MONO	MONOLITHIC
BD	BOARD	NTS	NOT TO SCALE
BM	BEAM		
BRG	BEARING		
C/C	CENTER TO CENTER	O/C	ON CENTER
CJ	CONTROL JOINT	OH	OVERHEAD
CL	CENTER LINE	OHD	OVERHEAD DOOR
CLG	CEILING	OPG	OPENING
CLR	CLEAR	PB	PUSH BUTTON
CM	CARBON MONOXIDE DETECTOR	PF	PORTAL FRAME
CO	CASED OPENING	PH	PHONE
		PLTF	PLATFORM
DH	DOUBLE HUNG	PLWD	PLYWOOD
DL	DEAD LOAD	PNL	PANEL
DO	DRYWALL OPENING	PREFAB	PREFABRICATION
EJ	EXPANSION JOINT	RA	RETURN AIR
		REINF	REINFORCEMENT
FF	FINISH FLOOR	RO	ROUGH OPENING
FND	FOUNDATION	SD	SMOKE DETECTOR
FP	FIREPROOF	SF	SQUARE FOOT/FEET
FR	FIRE RATING	SH	SINGLE HUNG
FT	FEET/FOOT	SHLV	SHELF/SHELVING
FTG	FOOTING	SQ	SQUARE
		STD	STANDARD
GB	GYPSUM BOARD		
GFI	GROUND FAULT INTERRUPTED	TEMP	TEMPERED
GYP	GYPSUM	TV	TELEVISION
HB	HOSE BIB	VENT	VENTILATION
HDR	HEADER	VP	VAPOR PROOF
JST	JOIST	WL	WIND LOAD
LAM	LAMINATE/LAMINATED	WP	WATERPROOF/WEATHERPROOF
LB	LOAD BEARING	WWF	WELDED WIRE FABRIC
LL	LIVE LOAD		
LT	LAUNDRY TUB		

GENERAL NOTES:

- DESIGN BASED ON 2021 SOUTH CAROLINA RESIDENTIAL BUILDING CODES FOR SOUTH CAROLINA SIZES AND 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE FOR SOUTH CAROLINA SIZES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2021 SOUTH CAROLINA RESIDENTIAL CODE AND LOCAL BUILDING CODES. CONSTRUCTION PROJECTS IN S.C. SHALL BE IN ACCORDANCE WITH THE (IRC) INTERNATIONAL RESIDENTIAL BUILDING CODE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS.
- DO NOT SCALE DIMENSIONS FROM PROJECT DRAWINGS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- ALL FLOOR PLAN DIMENSIONS ARE FROM INSIDE OF STUD TO INSIDE
- ALL INTERIOR DOORS ARE 6" OFF THE CORNER OR CENTERED ON THE WALL UNLESS OTHERWISE NOTED.
- BEAM, TRUSS AND/OR 1" JOIST LAYOUT OR SIZES SHALL NOT DEVIATE FROM THIS PLAN UNLESS APPROVED BY A LICENSED STRUCTURAL ENGINEER.
- PROVIDE CORROSION RESISTANT FLASHING AT EXTERIOR LOCATIONS---WINDOWS HEADS AND SILLS, ROOF TO WALL INTERSECTIONS, CHIMNEY TOPS, ECT.
- PROVIDE SOFFIT VENTS, RIDGE VENTS, GABLE LOUVERS ETC. TO ALLOW FOR VENTILATION OF ATTIC AS REQUIRED BY CODE.
- PROVIDE DOUBLE LAYER UNDERLAYMENT ON ALL ROOF SLOPES LESS THAN 5:12.
- GRADE NOTED ON ELEVATIONS MAY VARY DUE TO TYPE OF FOUNDATION AND OTHER SITE CONDITIONS/CONSIDERATIONS.
- R 312.2-GUARDRAIL HEIGHT NOT LESS THAN 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE
- R 312.3-REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW A PASSAGE OF A 4" SPHERE
- R 311.7.7.1-HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38"

DRAWING INDEX

ARCHITECTURALS	
CS1	COVER SHEET
ELEVATIONS	
A1.0	FRONT & REAR ELEVATION
A1.1	SIDE ELEVATION
A1.2	SIDE ELEVATION
FOUNDATIONS	
F1.0	FOUNDATION PLAN
FLOOR PLANS	
A3.0	FIRST FLOOR PLAN
A3.1	SECOND FLOOR PLAN
FLOOR PLAN OPTIONS	
A4.0	KITCHEN CABINET LAYOUT/ DETAILS
ROOF PLAN	
A5.0	ROOF PLAN
ELECTRICAL	
E3.0	FIRST FLOOR ELECTRICAL PLAN
E3.1	SECOND FLOOR ELECTRICAL PLAN

SQUARE FOOTAGE

ELEVATION A	
FIRST FLOOR	1046 SQ. FT.
SECOND FLOOR	1144 SQ. FT.
TOTAL LIVING	2190 SQ. FT.

FRONT PORCH	108 SQ. FT.
REAR PORCH	266 SQ. FT.
SECOND FLR PORCH	108 SQ. FT.

SQUARE FOOTAGE IS CALCULATED FROM THE OUTSIDE SURFACE OF EXTERIOR WALLS.

VICINITY MAP

REVISIONS

NO.	DATE	DESCRIPTION

SPECIAL NOTES

-
-



February 19, 2024



LIEBEN - 2 STORY

3858 Abe White Rd
Awendaw, SC 29429

COVER SHEET

February 19, 2024

CS1



February 19, 2024

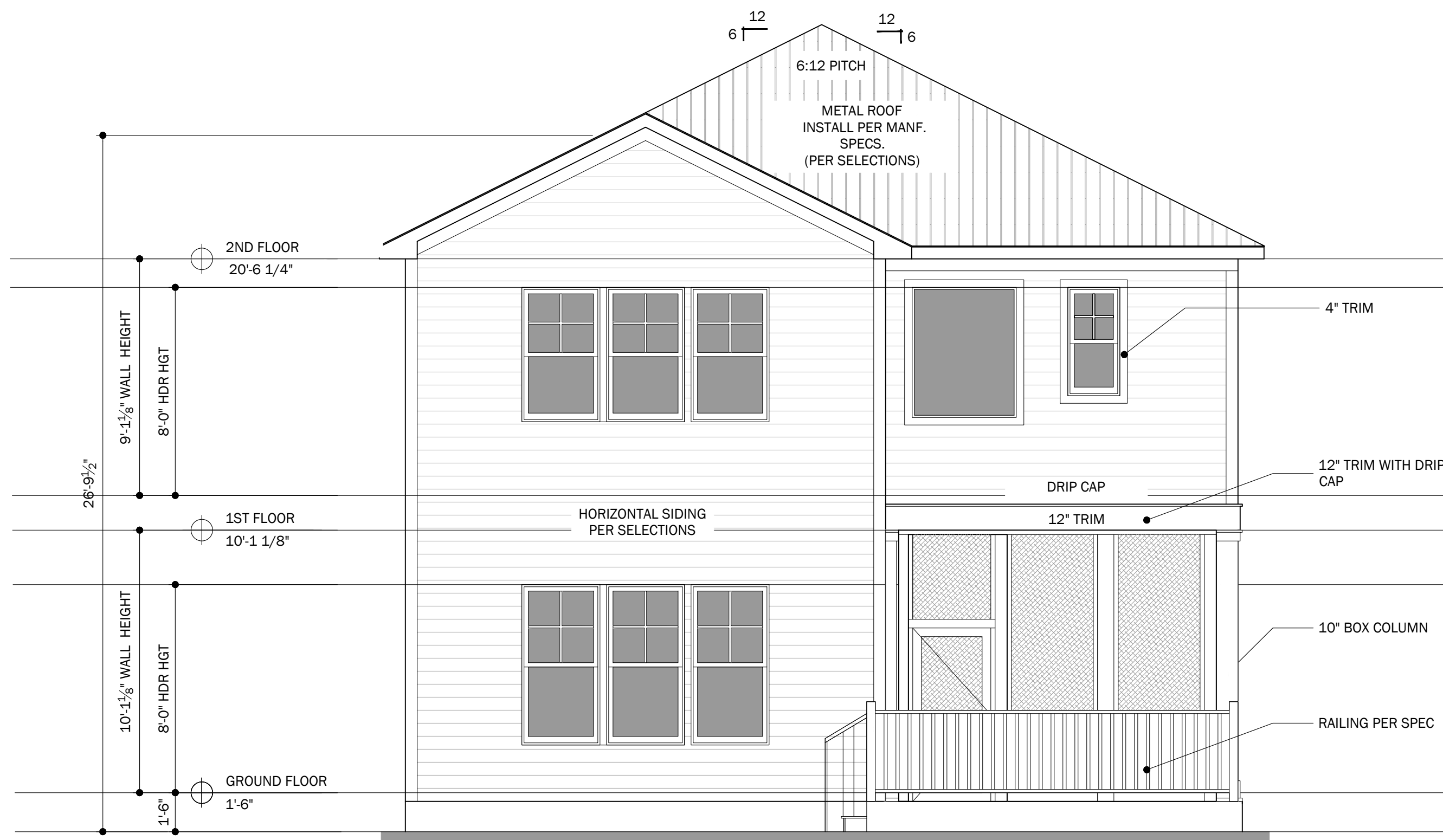


LIEBEN - 2 STORY

FRONT & REAR ELEVATION

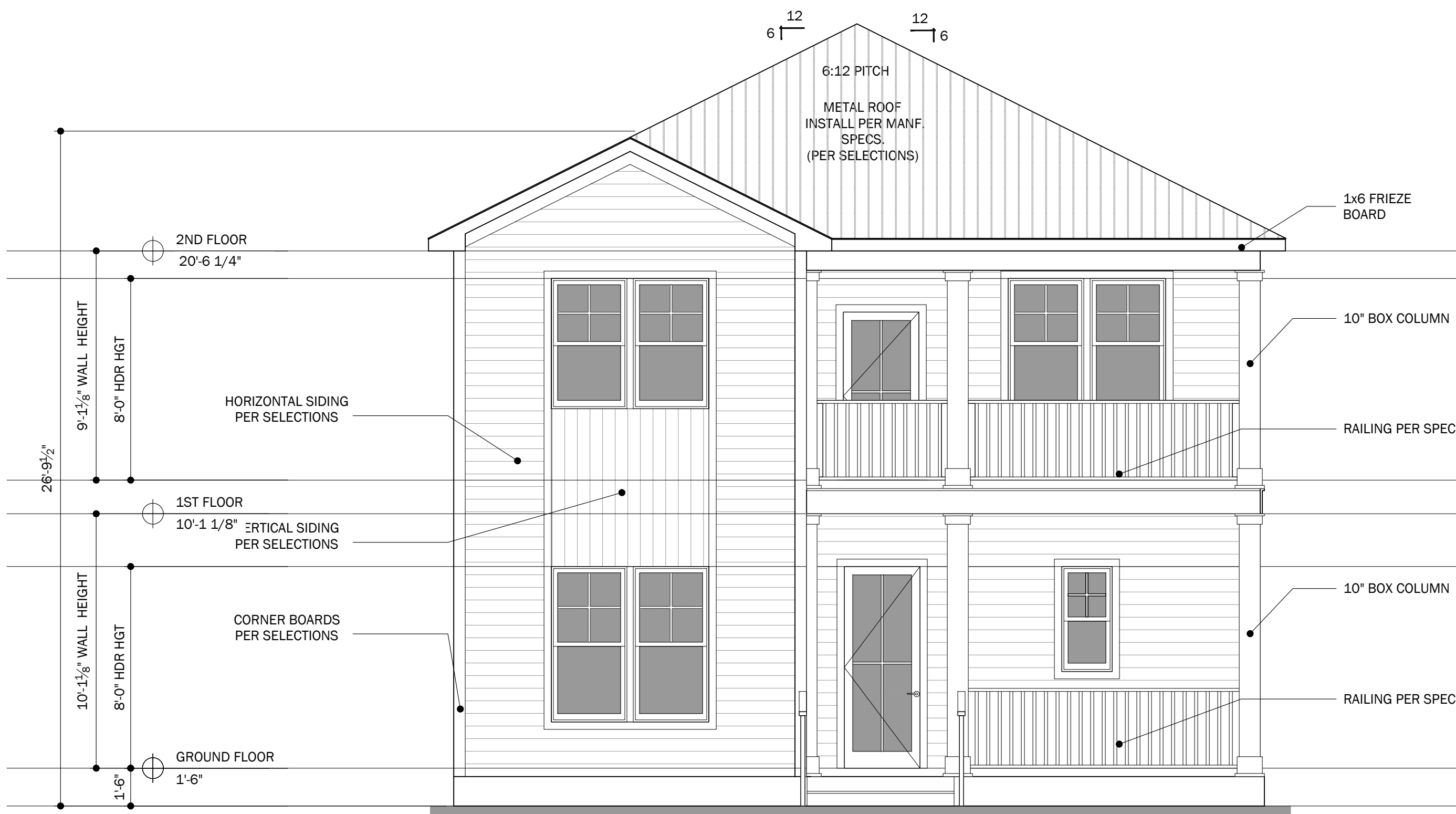
February 19, 2024

A1.0A



REAR ELEVATION A

SCALE: 1/4" = 1'-0"
9'-1 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.



FRONT ELEVATION A

SCALE: 1/4" = 1'-0"
9'-1 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.



RIGHT ELEVATION A

SCALE: 1/4" = 1'-0"
9'-1 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.



February 19, 2024

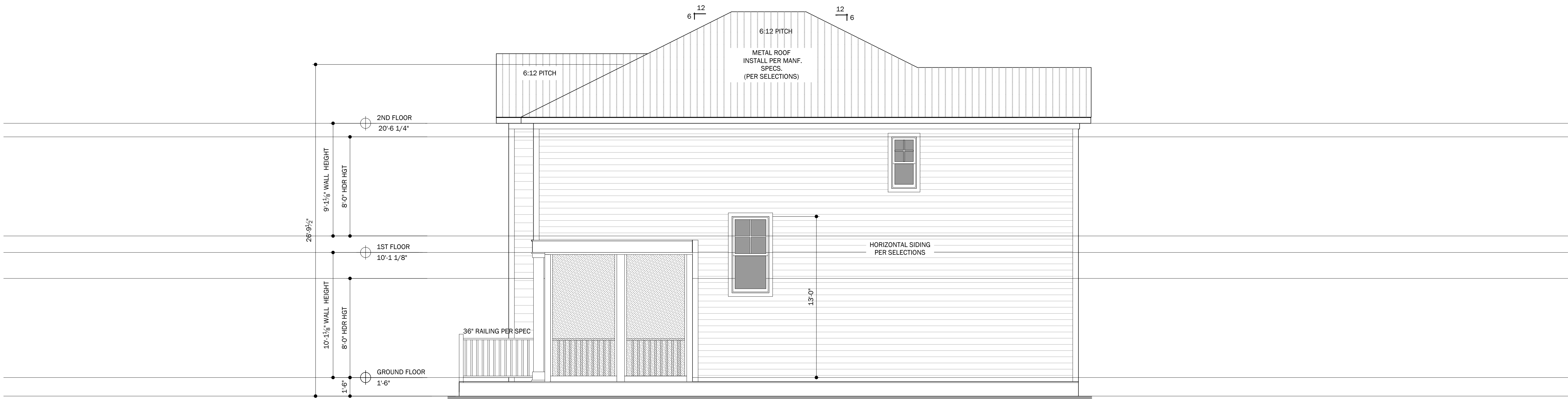


LIEBEN - 2 STORY

LEFT & RIGHT ELEVATION

February 19, 2024

A1.1A



LEFT ELEVATION A

SCALE: 1/4" = 1'-0"
9'-1 1/8" WALL HEIGHT
WINDOW HEADER @ 8'-0" A.F.F.



February 19, 2024

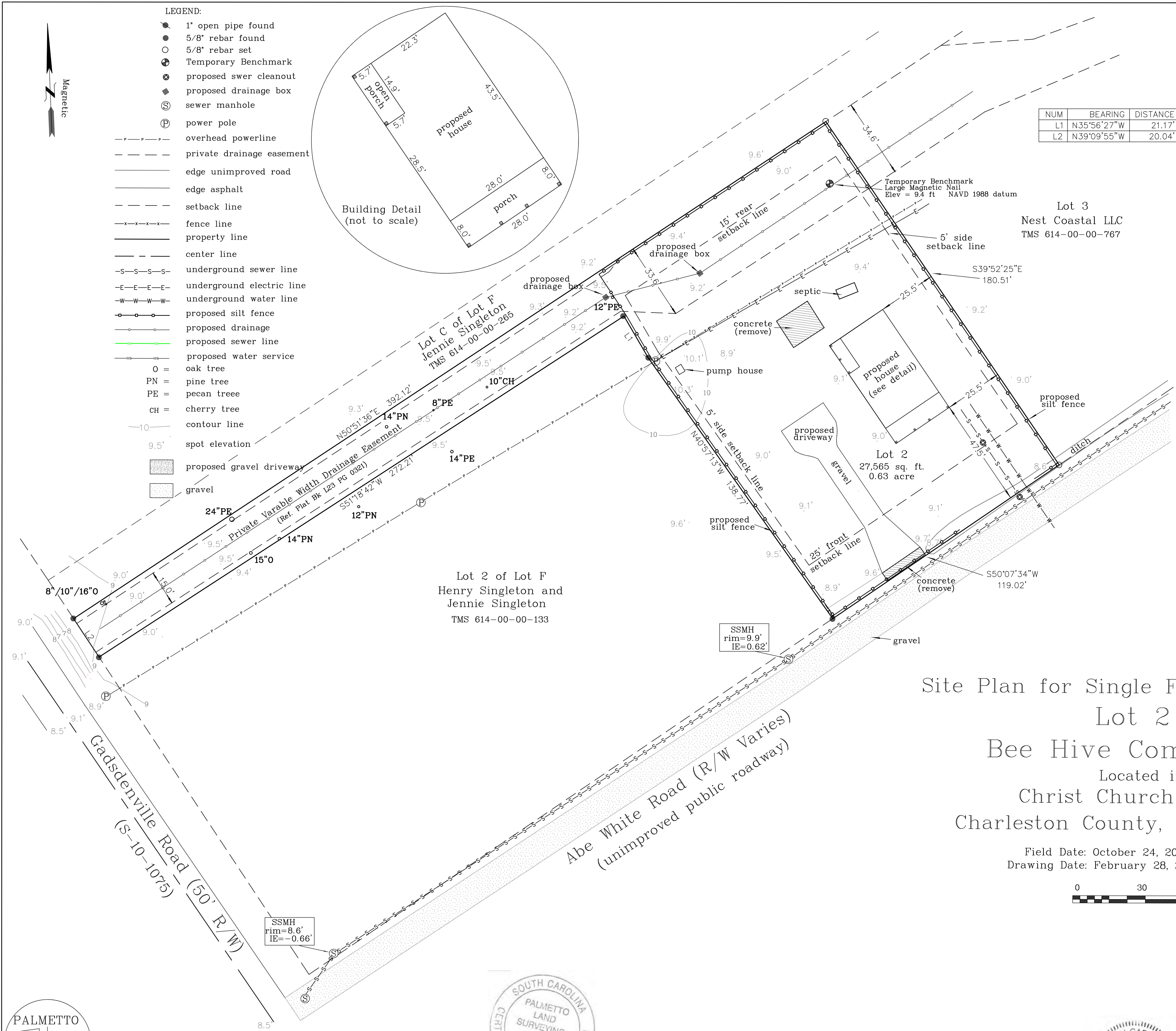


LIEBEN - 2 STORY

LEFT & RIGHT ELEVATION

February 19, 2024

A1.2A

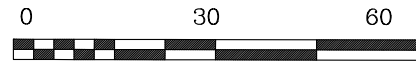


- NOTES:
1. Reference Tax Map Number 614-00-00-250
 2. Reference Plat Book L23, Page 0321
 3. Property owner: Nest Coastal LLC
 4. This property may be subject to various utility easements (i.e. power, telephone, water, gas, sewer, etc.) that were not noted in the plats referenced hereon, nor in the other title information noted hereon. This plat does not address any subterranean conditions of any nature, unless specifically noted otherwise.
 5. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 6. Declaration is made to Original Purchaser of the survey. It is not transferable to additional institutions or subsequent owner.
 7. This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge said lot is located in flood zone AE(11') FEMA Map No. 45019C0365 K 01/29/2021 Flood zone should be verified with the governing municipality before design and construction.
 8. Subsurface and environmental conditions were not examined or considered as a part of this survey.
 9. Property address: 3858 Abe White Road
 10. Every effort has been made to accurately locate, label, and describe the size of the trees shown hereon. The trees identified on this survey are of our opinion only. The species and size should be verified by a certified arborist or the local governing authority. No canopies or tree leanings are shown. A preliminary site layout is recommended before final site design or construction.
 11. Anything shown outside the defined boundary of this survey is for descriptive purposes only.
 12. Verify Setbacks with Governing Municipality before Design and Construction
 13. Project Elevation Datum NAVD 1988

NUM	BEARING	DISTANCE
L1	N35°56'27"W	21.17'
L2	N39°09'55"W	20.04'

Site Plan for Single Family Residence
Lot 2
Bee Hive Community
Located in
Christ Church Parish
Charleston County, South Carolina

Field Date: October 24, 2023
Drawing Date: February 28, 2024



I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown

James G. Pennington, P.L.S. No. 10291
Palmetto Land Surveying, Inc.
2551 Ashley River Road
Charleston, S.C. 29414 571-5191



HIST-12-23-00103
February 21, 2024
Meeting
Public Input

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, February 19, 2024 3:11:03 PM
Attachments: [Opposition to HIST-12-23-00103 LetterFPW 21Feb2024 .pdf](#)

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

Attached is a petition with signatures in opposition to the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250).

Regards,

Ms. Frances P. White

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Printed Name	Signature
Charles P. Singleton	3961 LUCAN ST.
MOSATKA'S FARM	Bessie M. Jones
LaShonda Middleton	LaShonda Middleton
Lucille Mitchell	Lucille Mitchell
Betty S. James	Betty S. James
Carmen L. James	Carmen L. James
Lourene Waiters	Lourene Waiters
Patrice Edwards Jones	Patrice Edwards Jones
SABRINA JENKINS	Sabrina Jenkins

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Printed Name	Signature
JoAnn Howard	JoAnn Howard
Phelma Brown	Phelma Brown
GEORGE Manigault	George Manigault
Charles Singleton	Charles Singleton
Leo Jenkins	Leo Jenkins
Izetta C. Supton	Izetta C. Supton
Peggy Jenkins	Peggy Jenkins
Danyelah Singleton	Danyelah Singleton
Inez Singleton	Inez Singleton
Jean Pinckney	Jean Pinckney
Betty P. White	Betty P. White
FRANCIS WHITE	Francis White
Clara Ravenel	Clara Ravenel
Jerome Bennett	Jerome Bennett
Carolyn Wright Bennett	Carolyn Wright Bennett
Myisha Bennett	Myisha Bennett
Cheryl Bennett	Cheryl Bennett
Mildred J. White	Mildred J. White

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Printed Name	Signature
Reggie Hutchinson	Reggie Hutchinson
Jeanette P. Singleton	Jeanette P. Singleton
Jermaine Gilliard	Jermaine S. Gilliard
Barbara Hilliard	Barbara Hilliard
Nathaniel Hilliard	Nathaniel Hilliard
Alifay Edwards	Alifay Edwards
Charnette Singleton	Charnette Singleton
EARSIEE NESBITT	Earsiee Nesbitt
Carolyn Wright	Carolyn Wright
Louis Wright	Louis Wright
Bridget White	Bridget White
Elaine Crandall	Elaine Crandall
Casey Jenkins	Casey Jenkins
Stanley Brown	Stanley Brown
Alber H. Green	Alber H. Green
Renae Lemmon	
Pauline Wright	Pauline Wright

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
 Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Printed Name	Signature
Rose Marie Brown	Rose Marie Brown
Leslie Brown	Leslie Brown
Victor Joe Hendrix	Victor J. Hendrix
Shawn Brown	Shawn Brown
John Brown	John Brown
Wayne Brown	Wayne Brown
Jessica Swinton	Jessica Swinton
Tyler Swinton	Tyler Swinton
Judicia Campbell	Judicia Campbell

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
 Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Printed Name	Signature
Janice B. Matthews	Janice Matthews
Pauline Wright	Pauline Wright
Elizabeth Coleman	Elizabeth Coleman
Felicia J. WRIGHT	Felicia J. Wright
Mary L. Quarles	Mary L. Quarles
Dana M. Coleman	Dana M. Coleman
Shonda Coleman	Shonda Coleman
Carla Pinckney	Carla Pinckney
Lou Ester Pinckney	Lou Ester Pinckney
Tara Pinckney	Tara Pinckney
Tonya E. Misuraca	Tonya E. Misuraca
Loumeray Wright	Loumeray Wright
Desmond Howard	Desmond Howard
Joyce L. Taylor	Joyce L. Taylor
Beryl H. Taylor	Beryl H. Taylor
Lena Jenkins	Lena Jenkins
Ethel H. Haskins Jr	Ethel H. Haskins Jr
Helen Hinton	Helen Hinton

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
 Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Printed Name	Signature
Leslie Wright	Leslie Wright
Gwendolyn L. Singleton	Gwendolyn L. Singleton
Rasheida Brown	Rasheida Brown
Leann Sanders	Leann Sanders
Debra K. Kiebusch	Debra K. Kiebusch
Estelle Warren	Estelle Warren
Rockelle A. Jackson	Rockelle A. Jackson
Byron E. Jackson	Byron E. Jackson
Ryan E. Jackson	Ryan E. Jackson
Barbara Moss	Barbara Moss
Lorena Smith	Lorena Smith
Susan Mangum	Susan Mangum
Herbert L. Smith	Herbert L. Smith
Margery Gammag	Margery Gammag
Jane Fuller	Jane Fuller
Candice Sisco	Candice Sisco
Lester Small	Lester Small

From: [Moses](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Thursday, February 15, 2024 8:01:10 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Moses

From: [Carolyn Wright](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:56:46 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
C. Wright

From: [Lou Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:55:32 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Lou

From: [Carla Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:54:29 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
C. Pinckney

From: [Bub](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Thursday, February 15, 2024 1:02:00 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Bub

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Saturday, February 17, 2024 2:50:56 PM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

The lot size and building coverage fit within character of the district. Actually, the original lot size of 1.12 acres aligned more to the community than this subdivided lot as the average lot size in the district is ~1 acre. The Site Plan shows the road is gravel. There might be gravel on a section of the road, but in general, it's a dirt road.



FRONT ELEVATION A
11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)

Square footage: 2,190
 Stories: 3
 Lot Coverage: 5.6%

This style of home is predominate in some subdivisions such as those on Lieben Rd. It's also similar style to homes in subdivisions a developer is planning in the historic district. Those homes don't fit the prevailing character of the Historic District and neither does this home. Staff has pointed out the range in home sizes on Abe White Rd. which ranges up to ~1,500 sq ft. Average home size in the historic district is ~1,900 sq ft.



Located in a subdivision
 off of Lieben Rd.



Located in a subdivision
 off of Lieben Rd.



Proposed plan for a subdivision
 in the historic district.

Most homes in the district have a larger front yard versus back yard as the homes sit further back from the road. According to the diagram, the right side of the home and the lot boundary is 11.5 ft. That's subdivision development

pattern not Ten Mile Historic District pattern. Most homes in the district have greater side setbacks than that.

The homes elevation is higher than required. I agree with staff in the recommendation to disapprove.

Approval would promote additional lots to be split and developed in this manner as well as more uncharacteristic architectural styles in the district.

This type of development may not change the character of the community as blatantly and quickly as a major subdivision, but none-the-less, minor subdivisions placed here and there add up. If those subdivisions are out of character of the overall community, they begin to overtake the district like the major subdivisions until all traces of the historic character are gone. Please don't contribute to that.

Regards,

Ms. Frances P. White

From: [twinkle91066](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Saturday, February 17, 2024 2:11:26 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS [614-00-00-250](#)). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS [614-00-00-768](#)). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards

Tracy H. Evans

From: [John Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling
Date: Saturday, February 17, 2024 7:31:26 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

John A. Pinckney

3949

From: [Treasure White](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Saturday, February 17, 2024 4:42:09 PM

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Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Treasure White
(843) 810-3763

From: [Nick Misuraca](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Sunday, February 18, 2024 8:59:56 AM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Nick Misuraca
C: 8434082040

From: [Celestine](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 11:04:51 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

C. Frost

From: [Lillie G. Jackson](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 8:31:53 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Mrs. Lillie Glover Jackson

Property Owner

Lewis Jackson Jr., Descendant of Lillie Glover Jackson

Dr. La Toya D. Jackson, Descendant of Lillie Glover Jackson

From: [Sammy](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 7:07:17 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Sammy

From: [LaVon Heyward](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 5:28:30 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for **HIST-12-23-00103 (TMS 614-00-00-250)**. I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

I oppose the request for Certificate of Historic Appropriateness for **HIST-12-23-00105 (TMS 614-00-00-768)**. I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

LaVon Heyward

From: [Penny Wigfall](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Sunday, February 18, 2024 4:47:16 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Penny Wigfall
(404) 423-7280

From: [Grace](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 10:07:27 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

G. Pinckney

From: [Elias](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 9:05:07 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Elias

From: [Craig Ascue](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 8:21:07 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. It is obvious as we have provided several examples from the ACA. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road. The subject developer has not made any attempt to discuss with homeowners or community members their commitment to community building or sustainability.

Craig Ascue
"A trusted name since 1968"
Cell 843-670-1717
Office 843-884-6862
tcraigascue@gmail.com

From: [Dana Coleman](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, February 19, 2024 8:00:35 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Good morning CCHPC Commissioners,

I am sending this email because I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Thank you,

Dana Coleman

930 Beehive Rd.

Awendaw, SC 29429

From: [Sharon](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 8:00:18 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

S. Frost

From: [Lenny](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 1:02:00 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Lenny

From: [Dana Coleman](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 1:46:34 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Sincerely,

Shonda Johnson Coleman

930 Beehive Road

Awendaw, SC 29429

HIST-12-23-00103

April 17, 2024

Meeting

Public Input

From: [Jo Ann Howard](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, April 14, 2024 11:20:06 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). A The applicant has made some changes, but I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). A The applicant has made some changes, however, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic

District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Thank you,

JoAnn Howard

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 9:18:11 AM
Attachments: [image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Please also refer to my previous email below as most of the points still apply.

Also please consider the petition previously provided for the February meeting. The comments and concerns are still valid.

[illegible]

Architectural drawing of a two-story house with a gabled roof. The drawing includes front and side elevations with various annotations. Key features include:

- Front Elevation:** Shows a two-story structure with a gabled roof. The first floor has a central door and a window. The second floor has a balcony with a railing and a window. Annotations include "1st Floor", "2nd Floor", "Front Elevation", and "Side Elevation".
- Side Elevation:** Shows the side profile of the house, including the roofline and a small porch area. Annotations include "Side Elevation" and "Front Elevation".
- Annotations:** Various notes and dimensions are present, such as "1st Floor", "2nd Floor", "Front Elevation", "Side Elevation", "1st Floor", "2nd Floor", "Front Elevation", "Side Elevation", "1st Floor", "2nd Floor", "Front Elevation", "Side Elevation".

LEGEND:

- 1" open pipe found
- 5/8" rebar found
- 5/8" rebar set
- Temporary Benchmark
- proposed sewer cleanout
- proposed drainage box
- sewer manhole
- power pole
- overhead powerline
- private drainage easement
- edge unimproved road
- edge asphalt
- setback line
- fence line
- property line
- center line
- underground sewer line
- underground electric line
- underground water line
- proposed sill fence
- proposed drainage
- proposed sewer line
- proposed water service
- O = oak tree
- PN = pine tree
- PE = pecan tree
- CH = cherry tree
- - - contour line
- spot elevation
- [shaded] proposed gravel driveway
- [unshaded] gravel

Building Detail (not to scale)

Lot 2 of Lot F
Henry Singleton
Jennie Singleton
TMS 614-00-00-133

Lot 2
27,685 sq. ft.
0.63 acre

Site Plan for S... B... Christ C... Charleston Co...

Field Date: Co...
Drawing Date: Fe...

Ms. Frances P. White

From: Fran W <fran_0033@aol.com>

Sent: Saturday, February 17, 2024 2:51 PM

To: 'CCHPC@charlestoncounty.org' <CCHPC@charlestoncounty.org>

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

The lot size and building coverage fit within character of the district. Actually, the original lot size of 1.12 acres aligned more to the community than this subdivided lot as the average lot size in the district is ~1 acre. The Site Plan shows the road is gravel. There might be gravel on a section of the road, but in general, it's a dirt road.



FRONT ELEVATION A
11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)
 11.5 FT. (MIN. LOT WIDTH)

Square footage: 2,190
 Stories: 3
 Lot Coverage: 5.6%

This style of home is predominate in some subdivisions such as those on Lieben Rd. It's also similar style to homes in subdivisions a developer is planning in the historic district. Those homes don't fit the prevailing character of the Historic District and neither does this home. Staff has pointed out the range in home sizes on Abe White Rd. which ranges up to ~1,500 sq ft. Average home size in the historic district is ~1,900 sq ft.



Located in a subdivision
 off of Lieben Rd.



Located in a subdivision
 off of Lieben Rd.



Proposed plan for a subdivision
 in the historic district.

Most homes in the district have a larger front yard versus back yard as the homes sit further back from the road. According to the diagram, the right side of the home and the lot boundary is 11.5 ft. That's subdivision development

pattern not Ten Mile Historic District pattern. Most homes in the district have greater side setbacks than that.

The homes elevation is higher than required. I agree with staff in the recommendation to disapprove.

Approval would promote additional lots to be split and developed in this manner as well as more uncharacteristic architectural styles in the district.

This type of development may not change the character of the community as blatantly and quickly as a major subdivision, but none-the-less, minor subdivisions placed here and there add up. If those subdivisions are out of character of the overall community, they begin to overtake the district like the major subdivisions until all traces of the historic character are gone. Please don't contribute to that.

Regards,

Ms. Frances P. White

From: [Carla Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:01:24 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Carla

From: [Angela Singleton](#)
To: [CCHPC](#)
Subject: Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:09:13 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Thank you

Angela M. Singleton

From: lewpinckney04@yahoo.com
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:13:30 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Carla

From: [Carolyn Wright](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:16:47 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Carla

From: [Lou Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:21:20 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Lou Ester

Certificate of Historic Appropriateness Application:

HIST-12-23-00105

- Case History**
- Presentation**
- Application**
- 2/21 Public Input**
- 4/17 Public Input**

CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-12-23-00105
CASE HISTORY

Historic Preservation Commission: February 21, 2024

~~**Historic Preservation Commission: April 17, 2024**~~

Historic Preservation Commission: May 15, 2024

CASE INFORMATION

Location: 3864 Abe White Road

Parcel Identification: 614-00-00-768

Council District: 2- Kobrovsky

Property Size: 0.25 acres

Application: Certificate of Historic Appropriateness request for a new single-family dwelling unit at TMS 614-00-00-768, 3864 Abe White Road, a property within the Ten Mile Community Historic District.

Parcel Information and Area Description: The subject property is zoned Low Density Residential (R-4) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the West, East, North, and South are also zoned R-4 and contain single-family dwelling units or are undeveloped. The subject property is in the AE-11 flood zone.

Historic Significance: On June 21, 2022, Charleston County adopted the Ten Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.

- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, Ten Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District:

HIST-11-22-00064	Denied	Request for construction of 21 Single-Family Dwelling Units	TMS 614-00-00-139
HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-731

HIST-05-23-00083	Approved	Request for placement of a Mobile Home	TMS 614-00-00-733
HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-23-00106	Pending	Request for the installation of roof-mounted solar panels	TMS 614-00-00-394

Property History:

Recent Applications:

- June 21, 2022: The Ten Mile Community was designated as a Charleston County Historic District (HIST-03-22-00053).
- August 18, 2023: Subdivision plat creating three lots was approved (SBDV-06-22-02112).

Application History:

- This application was deferred by the Commission at their February 21, 2024 meeting
- The Commission supported the staff's for recommendations for design changes to the plan which were:
 - Break up the massing of the structure to match the design of the homes existing in the area;
 - Place the home further back on the lot to be more consistent with existing homes;
 - Lower the elevation of the proposed home to the minimum required by Building Code (required design flood elevation is 13 feet; height above grade would be approximately 4 feet; and
 - Change the proposed driveway material from concrete to earth or gravel to be consistent with existing homes along Abe White Road and decrease impervious surface coverage.
- The applicant submitted a revised application on February 29, 2024, and it was placed on the April 17, 2024 HPC agenda
- The applicant responded to the Commission's comments as follows:
 - *"The home is now a 1.5 story home on an 18" raised slab and square footage reduced to 2,024 from 3,016. The overall height of the structure has been reduced by 13'.*
 - *No longer do garages face the street.*
 - *Placement of home has been pushed back. The lot now accommodates a slide-by gravel driveway with 2 car parking.*
 - *The foundation is now an 18" raised slab. Approximately 1' of fill will be required and then the 18" raised foundation will be placed on top.*
 - *This will eliminate the need for additional fill and still meet the flood requirements.*
 - *Comments were made about flooding/drainage. Please know that all stormwater*

- requirements have already been approved by the County and detailed on the plat.
- Driveway has been converted to gravel.”

Project Description:

Applicant's Project Description: *“The proposed new single family home has been designed according to the current zoning parameters set forth by Charleston County. Water and sewer is served to the lot. The proposed home is designed with Lowcountry characteristics found in the Charleston market and surrounding neighborhood, built in accordance with FEMA floodplain requirements.*

Square Footage: 2,024

Stories: 1.5

Lot Coverage: 13%”

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-4.B, Applicability, states, “A Certificate of Historic Appropriateness is required: a. Before the issuance of Zoning Permits for the demolition, alteration, modification, addition to, new construction, rehabilitation, relocation, or restoration to a Historic Property including construction of new structures in Historic Districts; and b. Before Subdivision Plat and Site Plan Review approvals for properties located within 300 feet of a Historic Property.”

Sec. 20-4.F, Approval Criteria, states “In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider: a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration; b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District; c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.”

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-4.F:

1. In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:
 - a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration;

Applicant Response: *“The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.*

After slavery was abolished in the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands

across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. is located at the same location on the northern boundary of the Ten Mile Community. Many of the original inhabitants of the Ten Mile Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823."

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community's character and history tied to the land.

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *"Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district."*

Staff Response: The applicant is proposing a one-and-a-half story, 2,024 single-family dwelling unit. The home would be on an 18" raised slab, which will require bringing in one foot of fill. The applicant has reduced the overall size of the home by 992 square feet and also lowered the height of the overall structure by thirteen feet. Additionally, by making these design changes, along with converting the proposed driveway from pavement to gravel, the impervious surface coverage of the lot has been reduced from 34% to 13%. The applicant has shown how the proposed design changes produce a new home that is more consistent with the existing homes in this area of the Ten Mile Community.

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: *"We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district."*

Staff Response: While previously staff felt the scale and mass of the proposed home had the potential to be in extreme contrast with the character of the historic district, which would be in opposition to the Secretary of the Interior's recommendations, the applicant has made changes to the design of the home that support its compatibility with the existing community. The applicant has lowered the overall height of the home by 13 feet and removed the drive-under garage bays from the proposed design, instead shifting the driveway

to the side of the home, along with the garage bays.

- d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.**

Applicant Response: *"The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found in the district. Building materials will be of high quality, all natural wood products, no vinyl siding."*

Staff Response: There are currently four homes that utilize Abe White Road, a County Non-Standard Road, for access. Of those homes, half are manufactured housing units, and the other half are single-family dwelling units. The houses range in size from 978 to 1,496 square feet. The single-family dwelling units are ranch and bungalow style, with one story of living space. One mobile home is elevated one story. Developed lot sizes range from 0.5 to 16.05 acres. Building coverage ranges from 0.1% to 6.9%. While the applicant did not move the proposed home further back on the lot, the proposed home has been reduced in square footage to just over 2,000 square feet and reduced in height to one-and-a-half stories. The applicant has proposed design changes lean the home towards a craftsman style such as creating more of a window dormer in the center of the structure and the addition of bracket detailing. In combination, these changes demonstrate greater consistency with the pattern of development of lots in this area of the Ten Mile Community Historic District.

- e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.**

Applicant Response: *"Not applicable."*

Staff Response: The request does not involve an application for Site Plan Review, and therefore this criterion does not apply.

Based on the applicant's responses, the applicable approval criteria may have been satisfied. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-4.F, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-4.F.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *Case # HIST-12-23-00105: Certificate of Historic Appropriateness request for a new single-family dwelling unit at TMS 614-00-00-768, 3864 Abe White Road, a property within the Ten Mile Community Historic District.*

HISTORIC PRESERVATION COMMISSION MEETING: February 21, 2024

Public Input: Prior to the meeting, 21 letters in opposition and a petition with 91 signatures opposing the request were received.

Notifications: 748 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on February 2, 2024. Additionally, the request was noticed in the Post & Courier on February 2, 2024.

HISTORIC PRESERVATION COMMISSION MEETING: April 17, 2024

Public Input: Seven letters in opposition were received.

Notifications: 649 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on March 29, 2024. Additionally, the request was noticed in the Post & Courier on March 29, 2024.

Due to there being no quorum, the item was rescheduled for the May 15, 2024 Historic Preservation Commission meeting.

HISTORIC PRESERVATION COMMISSION MEETING: May 15, 2024

Public Input: None received.

Notifications: 649 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on April 26, 2024. Additionally, the request was noticed in the Post & Courier on April 26, 2024.

Certificate of Appropriateness Request HIST-12-23-00105

Parcel ID: 614-00-00-768

Acreage: 0.25 acres

Property Address: 3864 Abe White Road

Area: East Cooper

Owner: Nest Coastal, LLC

Applicant: Mark Lipsmeyer

Request: Certificate of Historic Appropriateness request for a new single-family dwelling unit at TMS 614-00-00-768, a property within the Ten Mile Community Historic District.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District

HIST-11-22-00064	Denied	Request for construction of 21 Single-Family Dwelling Units	TMS 614-00-00-139
HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-731
HIST-05-23-00083	Approved	Request for placement of a Mobile Home	TMS 614-00-00-733
HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-23-00106	Pending	Request for the installation of roof-mounted solar panels	TMS 614-00-00-394

Property History

Recent Applications:

- June 21, 2022: The Ten Mile Community was designated as a Charleston County Historic District (HIST-03-22-00053).
- August 18, 2023: Subdivision plat creating three lots was approved (SBDV-06-22-02112).

Application History

- This application was deferred by the Commission at their February 21, 2024 meeting
- The Commission supported the staff's recommendations for design changes to the plan which were:
 - Break up the massing of the structure to match the design of the homes existing in the area;
 - Place the home further back on the lot to be more consistent with existing homes;
 - Lower the elevation of the proposed home to the minimum required by Building Code (required design flood elevation is 13 feet; height above grade would be approximately 4 feet; and
 - Change the proposed driveway material from concrete to earth or gravel to be consistent with existing homes along Abe White Road and decrease impervious surface coverage.
- The applicant submitted a revised application on February 29, 2024, and it was placed on the April 17, 2024 HPC agenda
- The applicant responded to the Commission's comments as follows:
 - *"The home is now a 1.5 story home on an 18" raised slab and square footage reduced to 2,024 from 3,016. The overall height of the structure has been reduced by 13'.*
 - *No longer do garages face the street.*
 - *Placement of home has been pushed back. The lot now accommodates a slide-by gravel driveway with 2 car parking.*
 - *The foundation is now an 18" raised slab. Approximately 1' of fill will be required and then the 18" raised foundation will be placed on top.*
 - *This will eliminate the need for additional fill and still meet the flood requirements.*
 - *Comments were made about flooding/drainage. Please know that all stormwater requirements have already been approved by the County and detailed on the plat.*
 - *Driveway has been converted to gravel."*

Project Description

Applicant's Project Description: *"The proposed new single family home has been designed according to the current zoning parameters set forth by Charleston County. Water and sewer is served to the lot. The proposed home is designed with Lowcountry characteristics found in the Charleston market and surrounding neighborhood, built in accordance with FEMA floodplain requirements.*

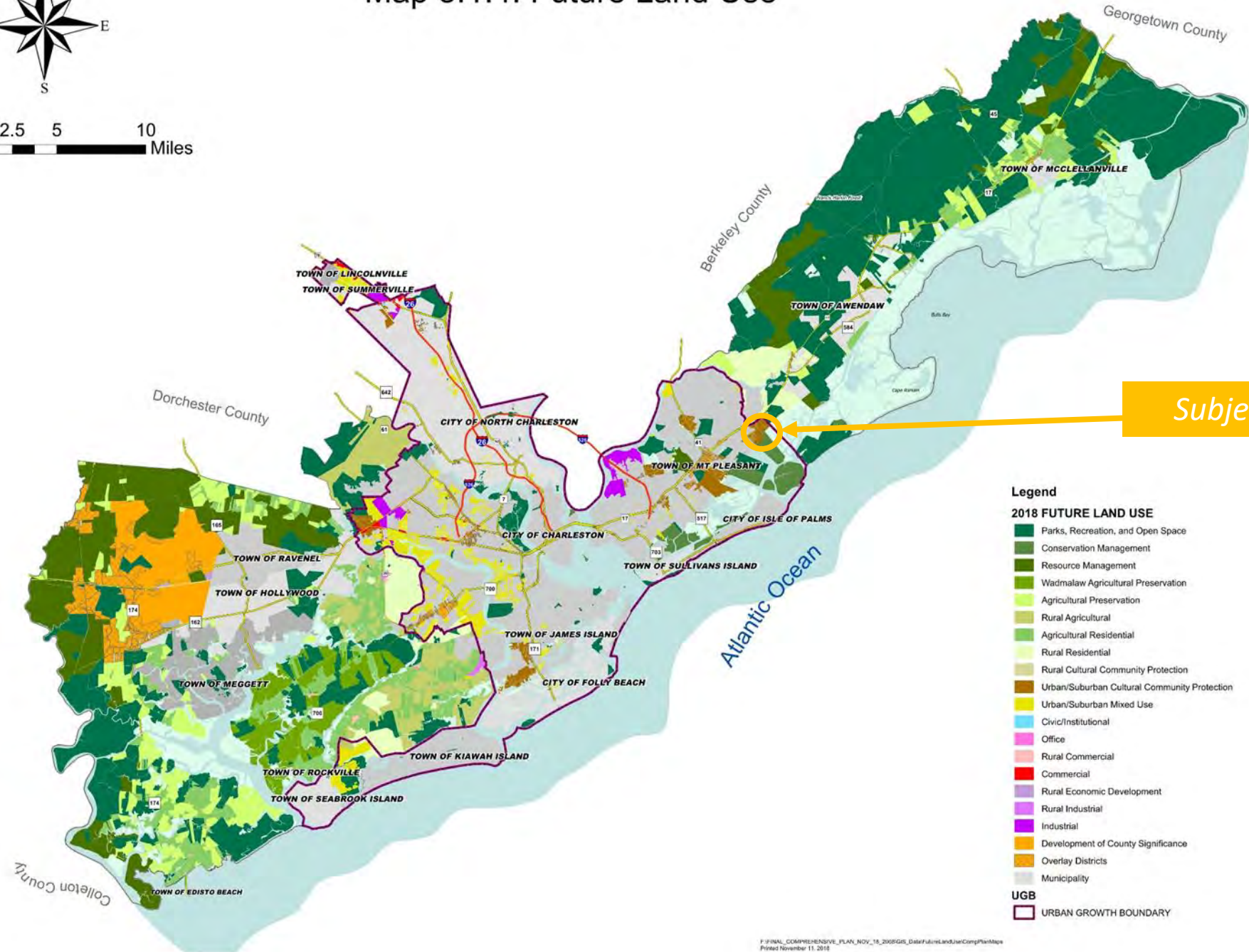
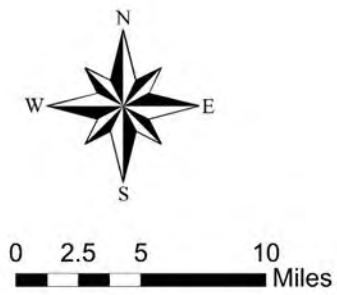
Square Footage: 2,024

Stories: 1.5

Lot Coverage: 13%"



Map 3.1.4: Future Land Use



Subject Parcel

Legend

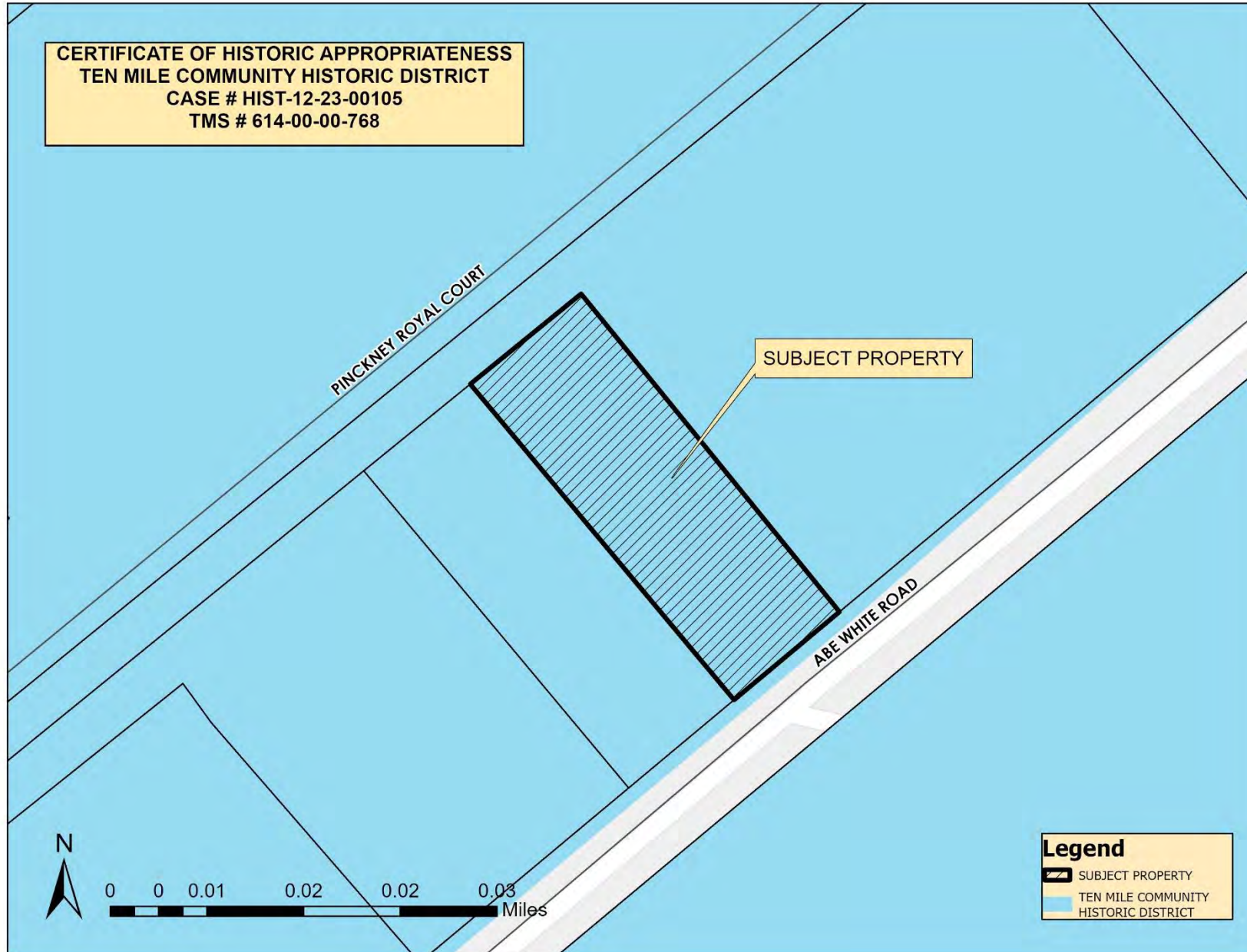
2018 FUTURE LAND USE

- Parks, Recreation, and Open Space
- Conservation Management
- Resource Management
- Wadmalaw Agricultural Preservation
- Agricultural Preservation
- Rural Agricultural
- Agricultural Residential
- Rural Residential
- Rural Cultural Community Protection
- Urban/Suburban Cultural Community Protection
- Urban/Suburban Mixed Use
- Civic/Institutional
- Office
- Rural Commercial
- Commercial
- Rural Economic Development
- Rural Industrial
- Industrial
- Development of County Significance
- Overlay Districts
- Municipality

UGB

- URBAN GROWTH BOUNDARY

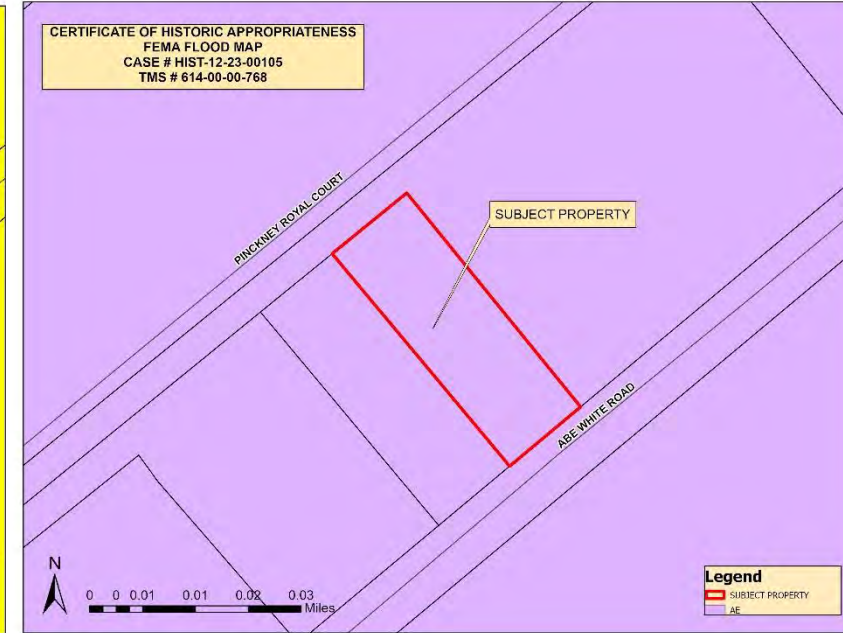
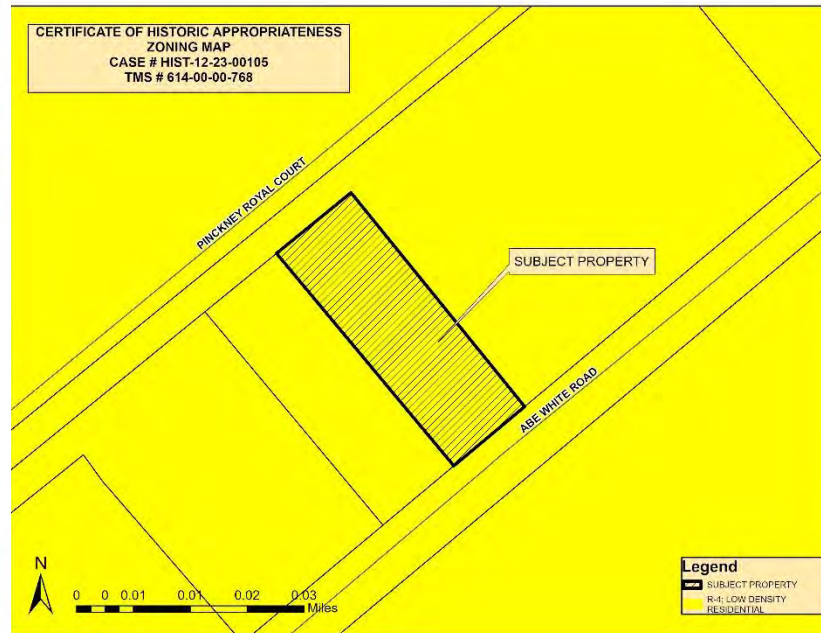
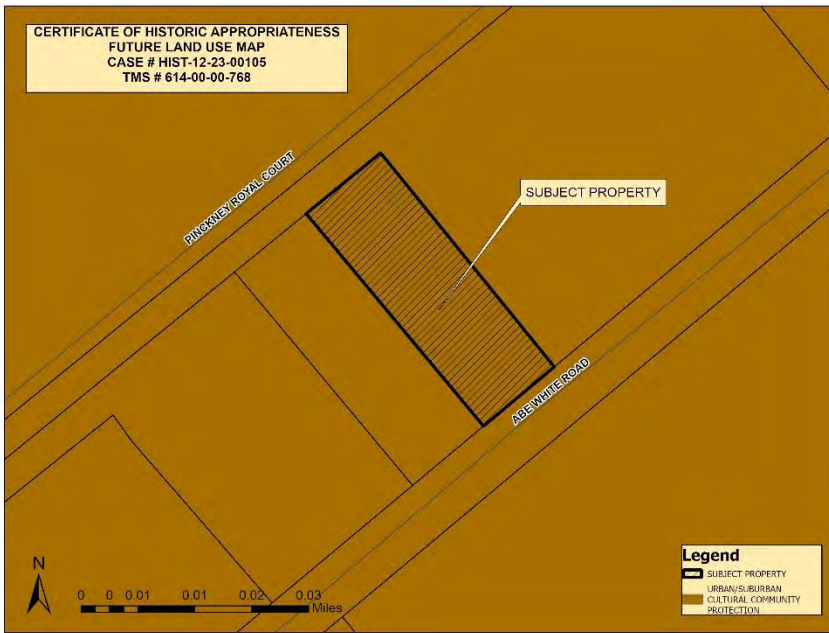
Ten Mile Community Historic District



10 Mile Community Historic Significance

- On June 21, 2022, Charleston County adopted the 10 Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.
- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, 10 Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Future Land Use, Zoning, and FEMA Flood Designation



The subject property is zoned Low Density Residential (R-4) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the West, East, North, and South are also zoned R-4 and contain single-family dwelling units or are undeveloped. The subject property is in the AE-11 flood zone.

Aerial View



Site Photos- Subject Property



TMS 614-00-00-768
3868 Abe White Road



TMS 614-00-00-768
3868 Abe White Road

Site Photos- Surrounding Properties

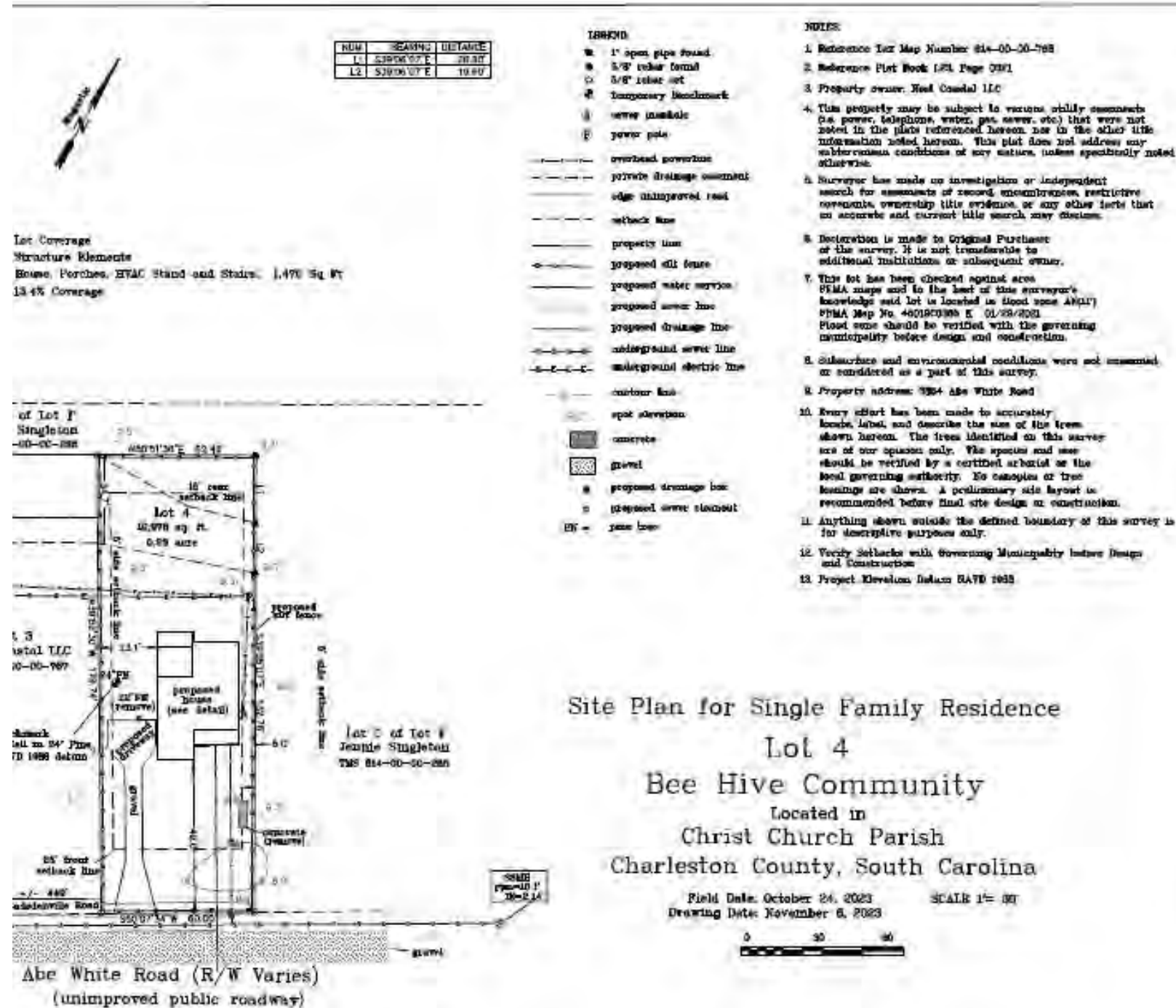


TMS 614-00-00-767
3862 Abe White Road

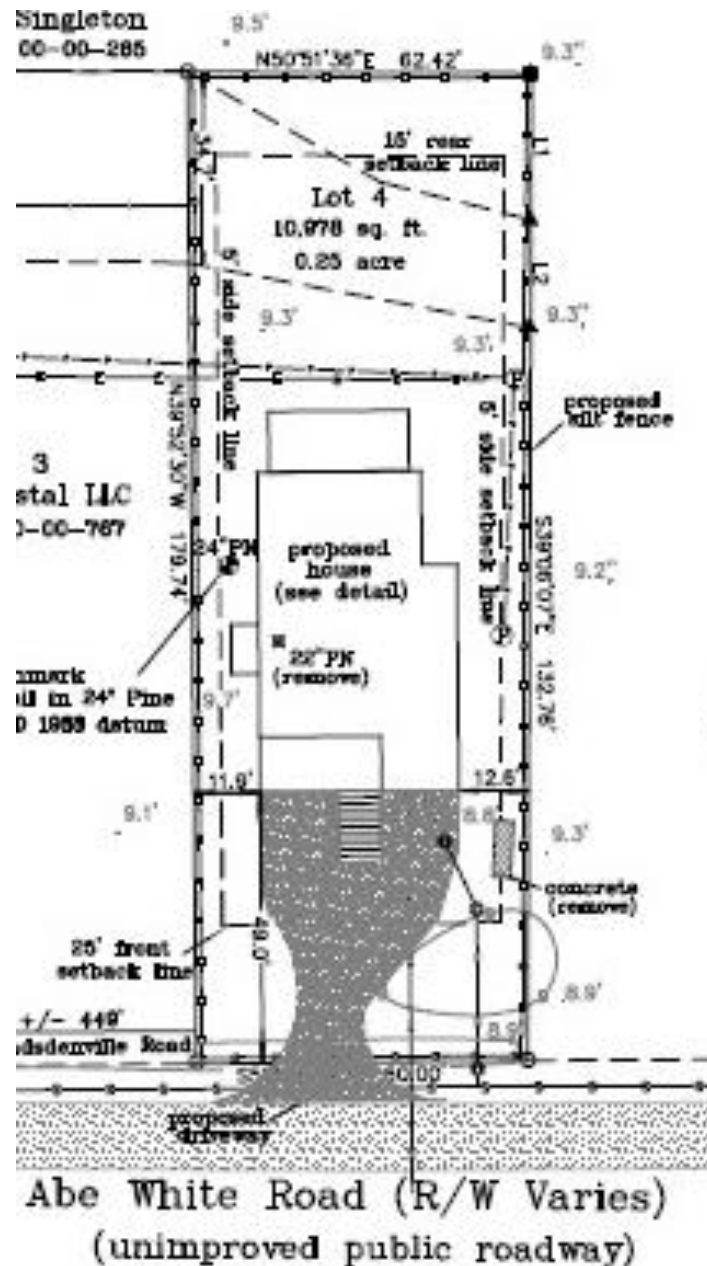


TMS 614-00-00-064
3863 Abe White Road

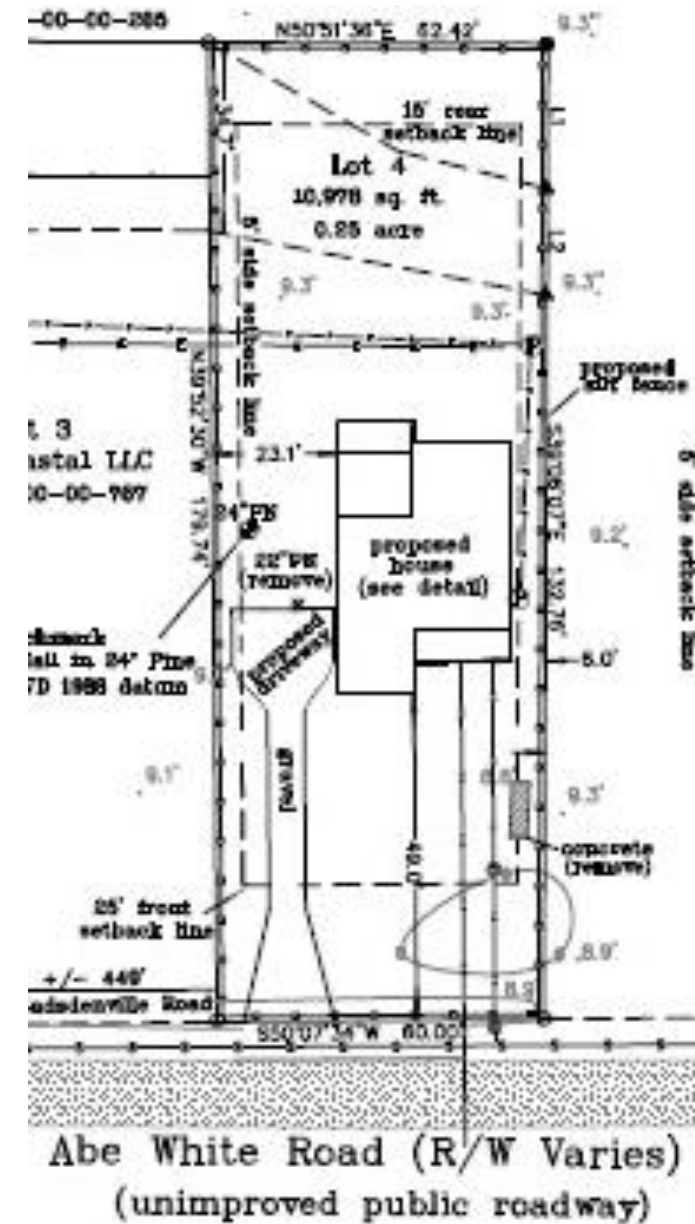
Site Plan



Previous Site Plan



New Site Plan



Front Elevation



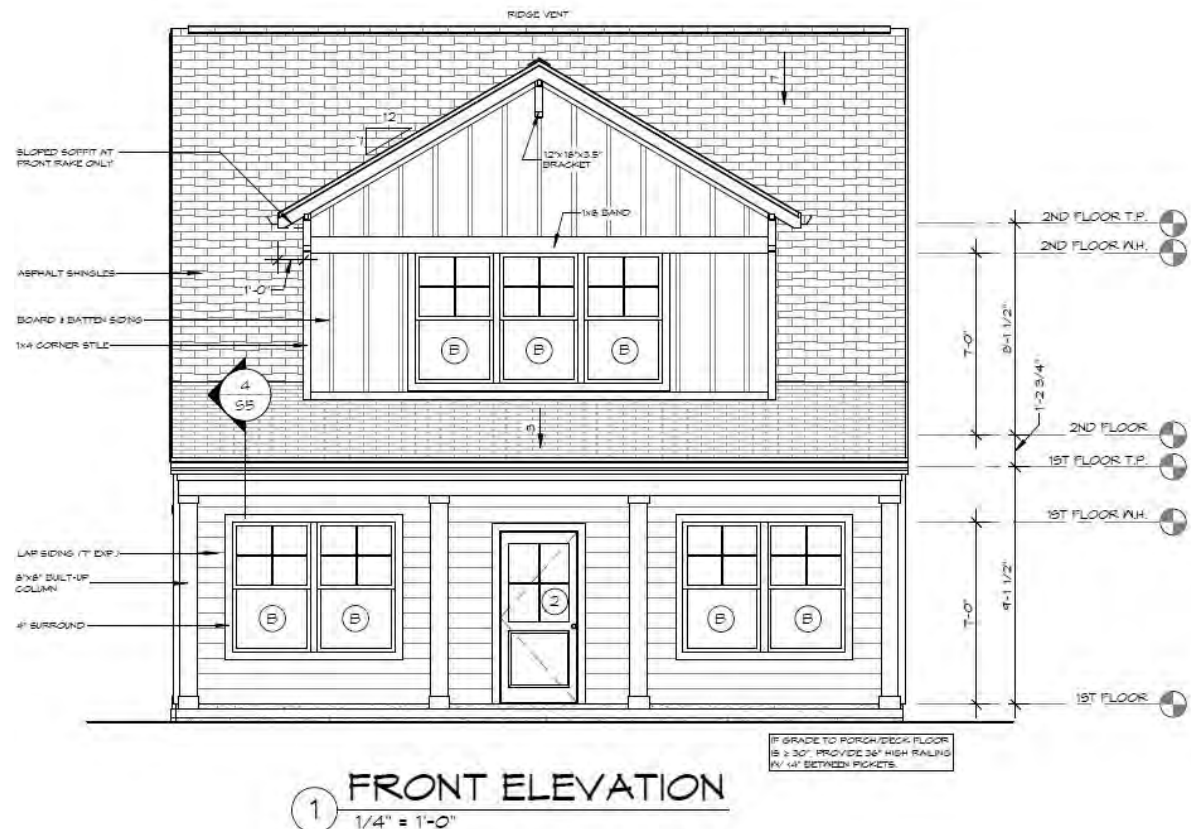
1 FRONT ELEVATION
1/4" = 1'-0"

IF GRADE TO PORCH/DECK FLOOR IS $\geq 30"$, PROVIDE 36" HIGH RAILING W/ 4" BETWEEN PICKETS.

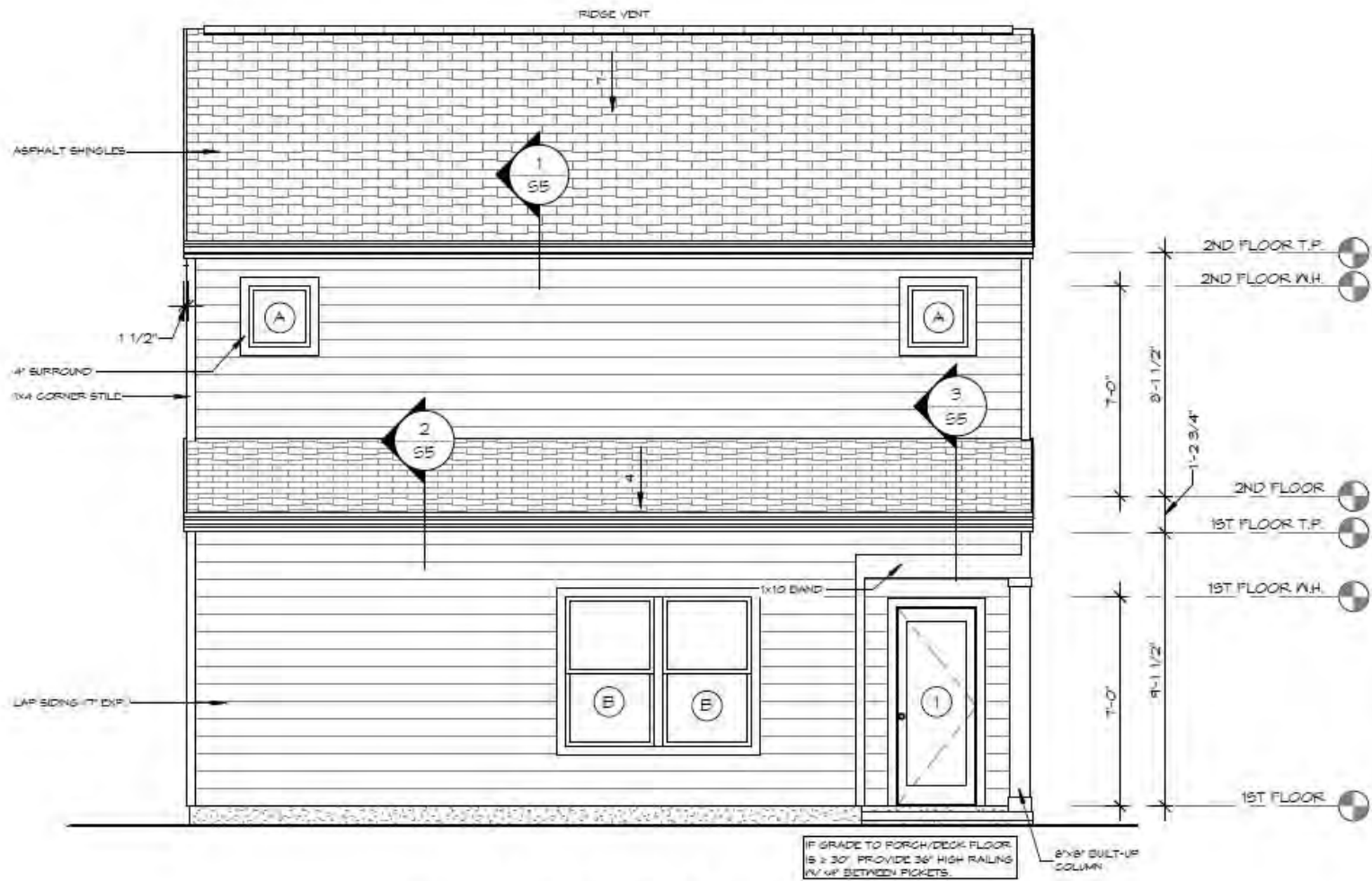
Previous Front Elevation



New Front Elevation



Rear Elevation



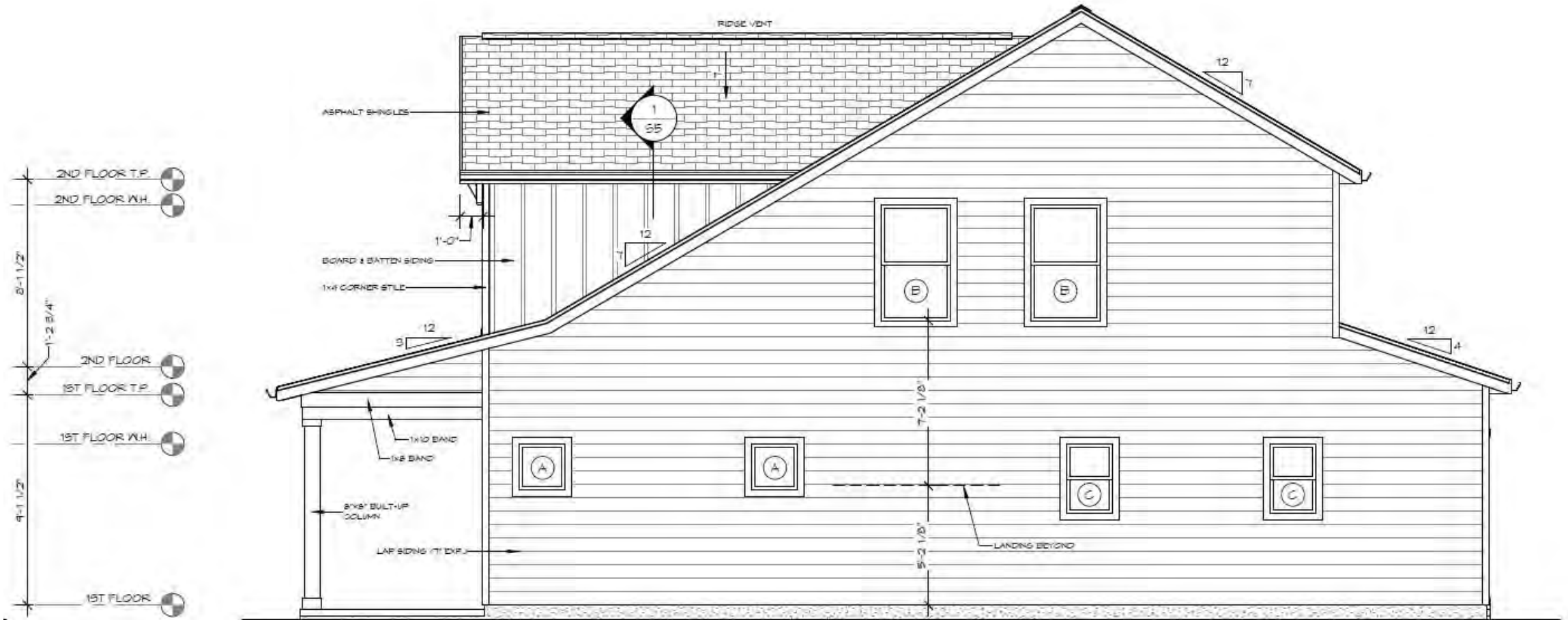
2 REAR ELEVATION
1/4" = 1'-0"

Left Elevation



3 LEFT SIDE ELEVATION
1/4" = 1'-0"

Right Elevation



4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

Approval Criteria

In granting Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:

- a. The historic, cultural, and architectural significance of the District, Site, Building, Structure, or Object under consideration;

Applicant Response: “The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mile Community. Many of the original Inhabitants of the Ten Mile Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823.”

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community’s character and history tied to the land.

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *“Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district.”*

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Staff Response: The applicant is proposing a one-and-a-half story, 2,024 single-family dwelling unit. The home would be on an 18” raised slab, which will require bringing in one foot of fill. The applicant has reduced the overall size of the home by 992 square feet and also lowered the height of the overall structure by thirteen feet. Additionally, by making these design changes, along with converting the proposed driveway from pavement to gravel, the impervious surface coverage of the lot has been reduced from 34% to 13%. The applicant has shown how the proposed design changes produce a new home that is more consistent with the existing homes in this area of the Ten Mile Community.

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: “We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district.”

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Staff Response: While previously staff felt the scale and mass of the proposed home had the potential to be in extreme contrast with the character of the historic district, which would be in opposition to the Secretary of the Interior's recommendations, the applicant has made changes to the design of the home that support its compatibility with the existing community. The applicant has lowered the overall height of the home by 13 feet and removed the drive-under garage bays from the proposed design, instead shifting the driveway to the side of the home.

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *“The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found In the district. Building materials will be of high quality, all natural wood products, no vinyl siding.”*

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Staff Response: There are currently four homes that utilize Abe White Road, a County Non-Standard Road, for access. Of those homes, half are manufactured housing units, and the other half are single-family dwelling units. The houses range in size from 978 to 1,496 square feet. The single-family dwelling units are ranch and bungalow style, with one story of living space. One mobile home is elevated one story. Developed lot sizes range from 0.5 to 16.05 acres. Building coverage ranges from 0.1% to 6.9%. While the applicant did not move the proposed home further back on the lot, the proposed home has been reduced in square footage to just over 2,000 square feet and reduced in height to one-and-a-half stories. The applicant has proposed design changes lean the home towards a craftsman style such as creating more of a window dormer in the center of the structure and the addition of bracket detailing. In combination, these changes demonstrate greater consistency with the pattern of development of lots in this area of the Ten Mile Community Historic District.

Approval Criteria

- e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: *“Not applicable.”*

Staff Response: Because there is no application for Site Plan Review, this criterion is not applicable.

Staff Recommendation: Based on the applicant's responses, the applicable approval criteria may have been satisfied. Therefore, Staff recommends approval.

Public Input

- **February 21, 2024:** 21 letters in opposition and a petition with 91 signatures opposing the request were received.
- **April 17, 2024:** Seven letters in opposition were received.
- **May 15, 2024:** None received.

Notifications

February 21, 2024 HPC Meeting:

- **February 2, 2024:** 748 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **February 2, 2024 :** This meeting was advertised in the Post and Courier.

April 17, 2024 HPC Meeting:

- **March 29, 2024:** 649 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **March 29, 2024 :** This meeting was advertised in the Post and Courier.

May 15, 2024 HPC Meeting:

- **April 26, 2024:** 649 letters were sent to owners of property located within the Ten Mile Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the East Cooper Interested Parties Lists.
- **April 26, 2024:** This meeting was advertised in the Post and Courier.

Certificate of Historic Appropriateness – Application Form

Owner Information

First Name: Nest Coastal, LLC *Last Name:*
Mailing Address: P.O. Box 3965, Mooresville, NC 28117
Home/Cell Phone #: 843-791-2240
Email Address: mlipsmeyer@nest-coastal.com

Applicant Information (if not being submitted by owner)

First Name: Mark *Last Name:* Lipsmeyer
Mailing Address: 1814 Crowne Commons Way, Ste E6, Johns Island, SC 29455
Home/Cell Phone: 843-296-3724
Email Address: mlipsmeyer@nest-coastal.com

Property Information

Address: 3864 Abe White Road, Awendaw, SC 29429
TMS #: 614-00-00-768 *Acres:* .25
Deed: 1132-327 *Plat:* L23-0321
Zoning: R4

Description of proposed activity requiring a Certificate of Historic Appropriateness:
Construsction of a single family home within the Historic Ten Mile Community.

I (we) certify that Mark Lipsmeyer is the authorized representative for my (our) Certificate of Historic Appropriateness application.

Mark Lipsmeyer
Signature of Owner(s)

11/13/2023
Date

Signature of Applicant (if other than owner)

Date

OFFICE USE ONLY

Invoice Number _____

Amount Received _____ ☐ Cash ☐ Check # _____ ☐ Credit Card ☐ Online Invoice

Staff Signature

Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a written description of the proposal which requires a Certificate of Historic Appropriateness and the Historic District or Property for which this process is required. Please attach additional paper if more room is needed.

The proposed new single family home has been designed according to the current zoning parameters set forth by Charleston County. Water and sewer Is served to the lot.

The proposed home is designed with Lowcountry characteristics found in the Charleston market and surrounding neighborhood, built in accordance with FEMA floodplain requirements.

Square Footage: 2,024

Stories: 2

Lot Coverage: 13%

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

1 a. Describe the historic, cultural, and architectural significance of the district, site, building, structure, or object which requires a Certificate of Historic Appropriateness to be obtained.

The Ten Mile Community historic district boundary spans both sides of Highway 17 North In the Awendaw area. The Ten Mile Community was recognized In the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mlle Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, The owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mlle Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mlle Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected In 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mlle Community. Many of the original Inhabitants of the Ten Mlle Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mlle Community that date back to 1823.

PART II continued.

1 b. Describe the proposed exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District.

Currently, there are no historic structures located on the property and the proposed modification to the property is a new, single-family residence. The proposed dwelling's exterior form and appearance does not affect any existing or adjacent structures. The construction of a single-family dwelling is consistent with the overall Historic District, and should have limited to no impact upon existing structures or the overall nature of the district.

1 c. Applications for new construction, alteration, repair, rehabilitation, or restoration, describe how the proposed work will use the Secretary of the Interior's Standards for the Treatment of Historic Properties.

We have reviewed the Standards for the Treatment of Historic Properties. The proposed home will be consistent with the overall characteristic nature of this district and historical southern Charleston architecture. This home includes lower 2-story massing, porches front and rear and an inviting entrance. The home size will be 2,200+/- sqft which is consistent with the average home sizes within the district based on the resources we have. It is a difficult task to blend the new with the historic especially because the variety of homes that exist throughout the district range from mobile homes to 2 story structures. Therefore, this plan/design does encompass the historical features found throughout the Lowcountry and this district.

PART II continued.

1 d. Describe how the proposal demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. (This criterion is only applicable to properties within a Historic District; or for Site Plan Review proposals within 300 feet of Historic Districts.)

The property in question is located in the Ten Mile Historic District. There have been several new homes built along Gadsdenville Road using modern construction materials and practices, specifically 1008, 994, 986, 914, and 910 Gadsdenville Road. The existing lot sizes vary from 1/8 acre up to several acres with most homes spaced out on larger lots. Additionally, there are more dense home sites scattered throughout the district. There are some homes toward the eastern part of the Ten Mile Community that appear to have mobile homes and mid-1900 style ranch homes on them. The proposed homes will be situated on lots with larger back yards as is generally found in the district. Building materials will be of high quality, all natural wood products, no vinyl siding.

2. Describe how the proposal minimizes potential negative impacts through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments, etc. (This criterion is only applicable for Site Plan Review proposals on or within 300 feet of a Historic Property).

Not applicable.



FOR APPROVAL STAMPS

RECORDED

DATE: 8/18/2023 TIME: 9:45:00 AM
Book-Page: L23 0321 DocType: Large Plat
Karen Hollings, Register of Deeds, Charleston County, SC

Record Fee: \$25.00
Postage: \$0.00
TOTAL: \$25.00
Drawer: [Signature]
Clerk: [Signature]
Location: BEE HIVE

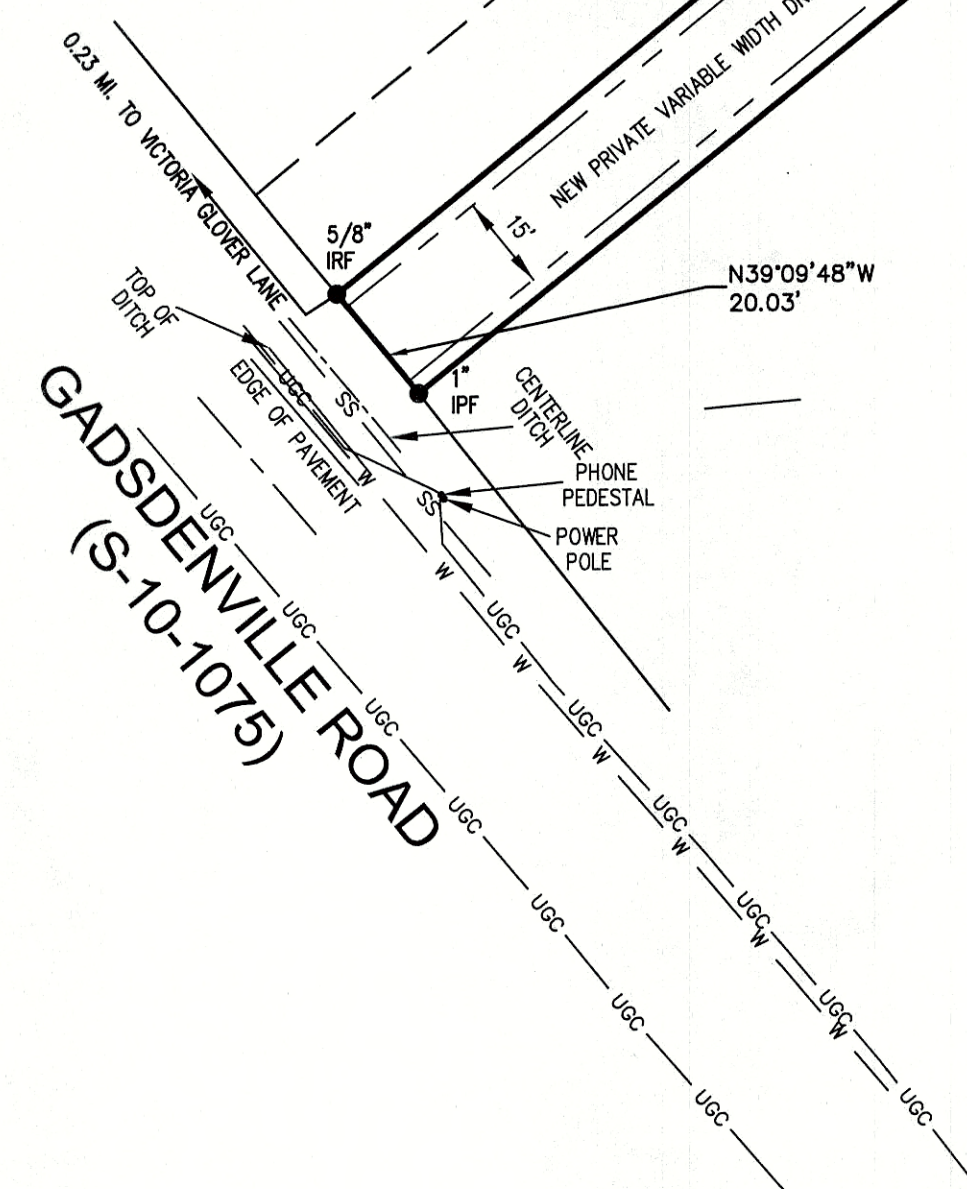
APPROVED PLAT

[Signature]
Director of Planning
Charleston County Planning Commission

SPDV-02112 08-17-23
Appl# Date

THE NEW VARIABLE WIDTH DRAINAGE EASEMENT IS HEREBY DEDICATED TO THE USE OF THE PUBLIC. THE PROPERTY OWNERS OF THESE LOTS GUARANTEE ITS MAINTENANCE UNTIL SUCH TIME AS IT IS ACCEPTED INTO A PUBLIC MAINTENANCE SYSTEM.

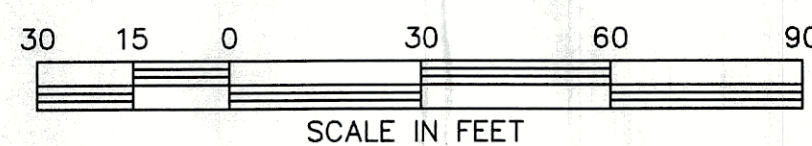
[Signature]



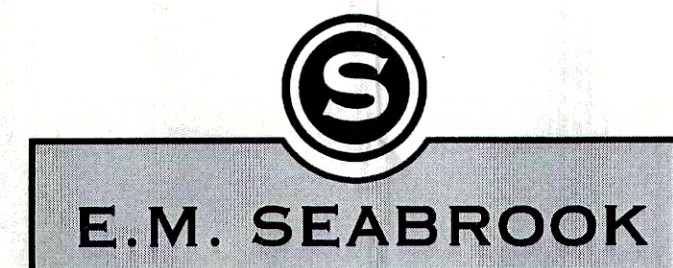
HENRY SINGLETON
JENNIE SINGLETON
TMS 614-00-00-133

BEE HIVE AREA CHRIST CHURCH PARISH CHARLESTON COUNTY, S. C.

PLAT OF THE SUBDIVISION OF LOT B (TMS 614-00-00-250)
CONTAINING 1.13 ACRES OWNED BY NEST COASTAL LLC
INTO LOT 2 CONTAINING 0.63 ACRE
AND LOTS 3 AND 4 BOTH CONTAINING 0.25 ACRE

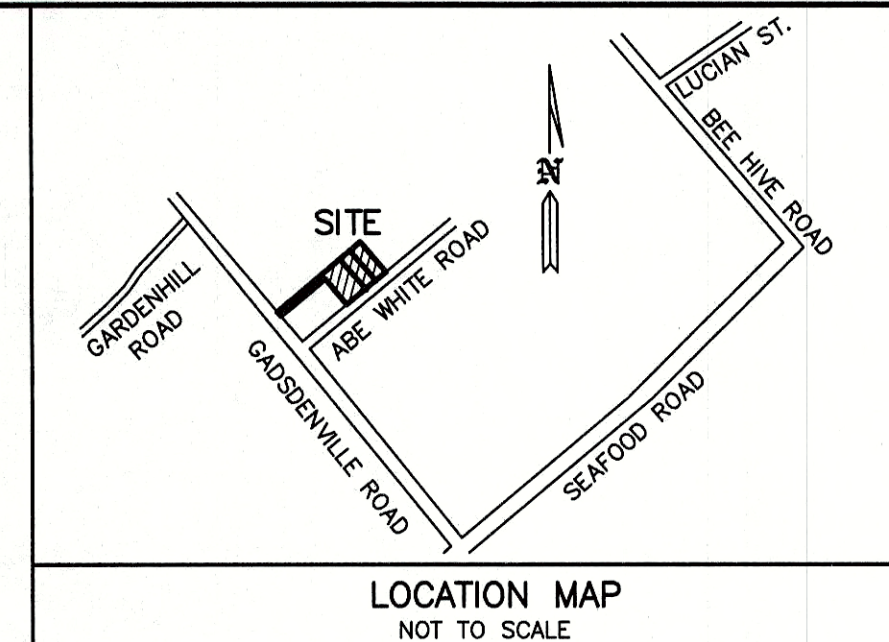


SCALE: 1" = 30'



E.M. SEABROOK
Engineers | Surveyors
1037 Chuck Dawley Blvd.
Building F - Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 884-4496
www.emseabrook.com

FEBRUARY 27, 2023
REVISED AUGUST 7, 2023



SSMH
TOP 10.31

LEGEND

IPF IRON PIPE FOUND
IRF IRON REBAR FOUND
IRS IRON REBAR SET
SSMH SANITARY SEWER MANHOLE
X9.3 EXISTING ELEVATION
OHP OVERHEAD POWER LINE
SS SANITARY SEWER LINE
UGC UNDERGROUND COMMUNICATIONS LINE
W WATER LINE

ZONING:

R-4
DENSITY/INTENSITY AND DIMENSIONAL STANDARDS
MAXIMUM DENSITY 4 DWELLING UNITS PER ACRE
MINIMUM LOT AREA 7,250 SQUARE FEET
WITH PUBLIC WATER AND SEWER 10,000 SQUARE FEET
WITHOUT PUBLIC WATER AND SEWER 14,500 SQUARE FEET
MINIMUM LOT WIDTH 60 FEET
MINIMUM SETBACKS
FRONT 25 FEET
INTERIOR SIDE 5 FEET
REAR 15 FEET
OCRM CRITICAL LINE 35 FEET
MAXIMUM BUILDING COVER 30% OF LOT
MAXIMUM HEIGHT 35 FEET

REFERENCES:

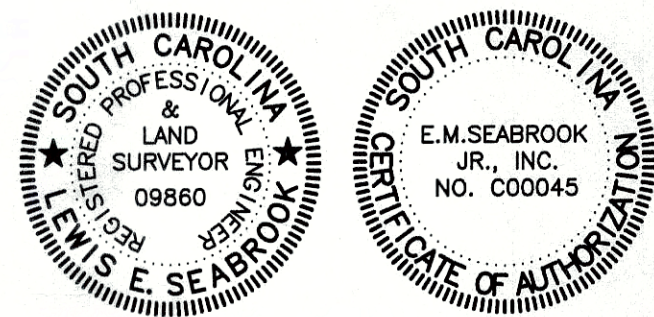
1. PLAT BY W. L. GAILLARD LAST REVISED JAN. 2, 1990, RECORDED IN CHARLESTON COUNTY RMC OFFICE IN PLAT BOOK BY PAGE 58
2. PLAT BY EDWARD GLEN CHEARS DATED MAY 18, 2012, PREPARED FOR CHARLESTON COUNTY PUBLIC WORKS RECORDED IN CHARLESTON COUNTY RMC OFFICE IN PLAT BOOK S13 PAGE 0086
3. PLAT BY E. M. SEABROOK, JR., INC. DATED MAY 3, 2022, NOT RECORDED

NOTES:

1. AREA DETERMINED BY COORDINATES
2. BASED ON INTERPRETATION OF FEMA FLOOD INSURANCE RATE MAP NUMBER 45019C 0365 K DATED JANUARY 29, 2021, THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE AE (ELEV. 11').
3. THERE IS NO OBSERVABLE EVIDENCE OF THE LOCATION OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY. SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING SUBSURFACE GRAVE SITES THAT MAY AFFECT THE USE OR FURTHER DEVELOPMENT OF THIS PROPERTY.
4. THERE IS PUBLIC WATER AND SEWER AVAILABLE IN ABE WHITE ROAD.
5. THERE ARE NO GRAND TREES ON THESE LOTS.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

[Signature] 2/15/23
LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. 09860
P. O. BOX 26
MOUNT PLEASANT, S. C. 29465
(843) 884-4496



NAVD 88

Helmsman Homes

Ballast - A

SHEET SCHEDULE	
CS	COVER SHEET
A1	FLOOR PLANS
A2	EXTERIOR ELEVATIONS
A3	CABINET ELEVATIONS, STAIR SECTION
S1c	CRAWL FOUNDATION PLAN
S1m	MONO-SLAB FOUNDATION PLAN
S1s	STEM-WALL SLAB FOUNDATION PLAN
S2	CEILING FRAMING PLANS
S3	ROOF PLAN
S4c	FOUNDATION SECTIONS - CRAWL
S4m	FOUNDATION SECTIONS - MONO-SLAB
S4s	FOUNDATION SECTIONS - STEM-WALL SLAB
S5	CORNICE SECTIONS, DETAILS
E1	ELECTRICAL PLANS

AREA SCHEDULE	
1ST FLOOR HEATED	1136 SF
2ND FLOOR HEATED	888 SF
*TOTAL HEATED	2024 SF
FRONT PORCH	224 SF
REAR PORCH	85 SF
*TOTAL UNHEATED	309 SF
TOTAL UNDER ROOF	2333 SF



Helmsman Homes

Ballast - A

THD

Tino Home Design, LLC

Residential Design and Drafting Services

Post Office Box 1178
Huntersville, North Carolina 28070
Phone: (704) 912-9091 Fax: (704) 912-9692
www.tinohomedesign.com

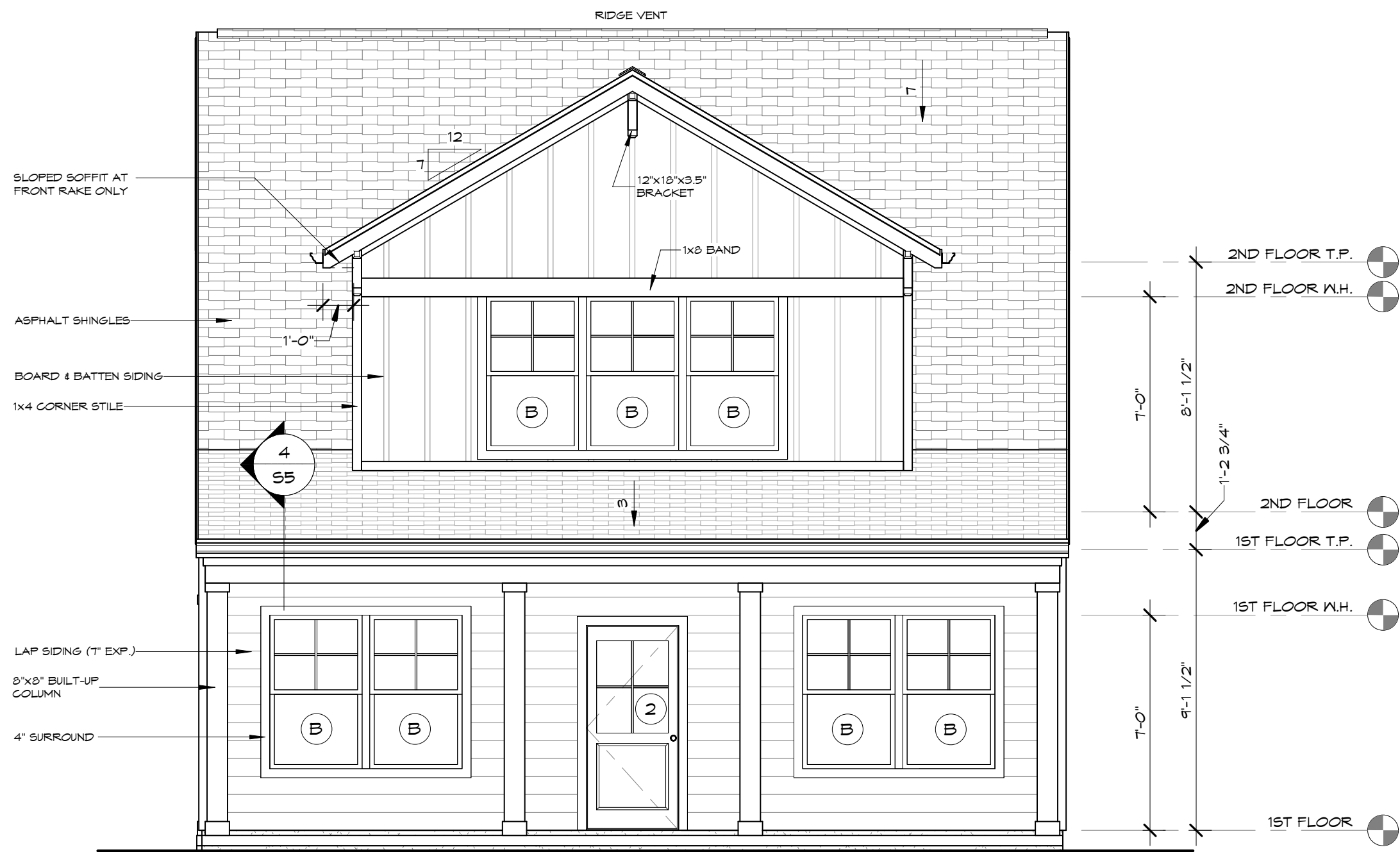
Hubbard Terrace

Plan Date:
3/21/2023

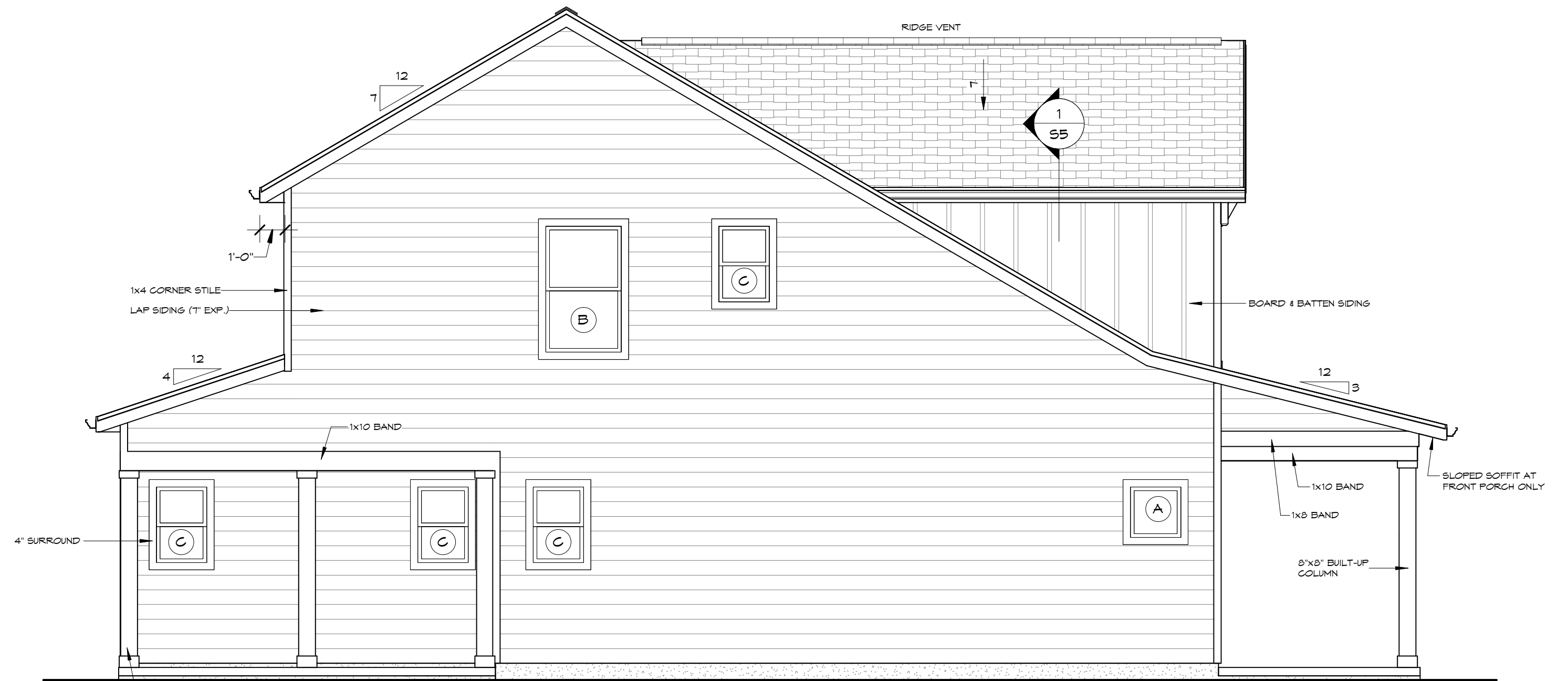
Revision Date:

Drawn By:
MT

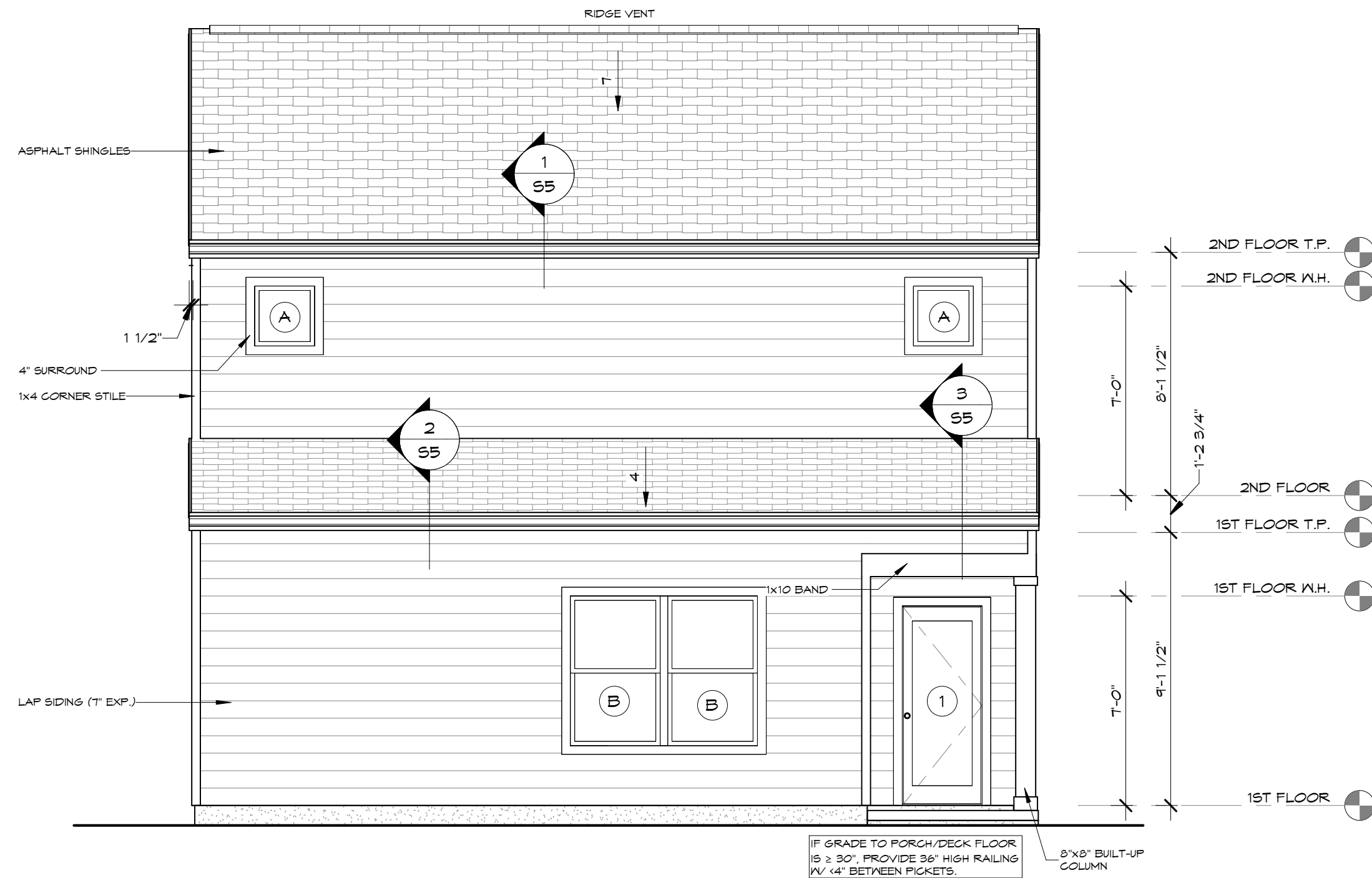
Sheet Number
CS



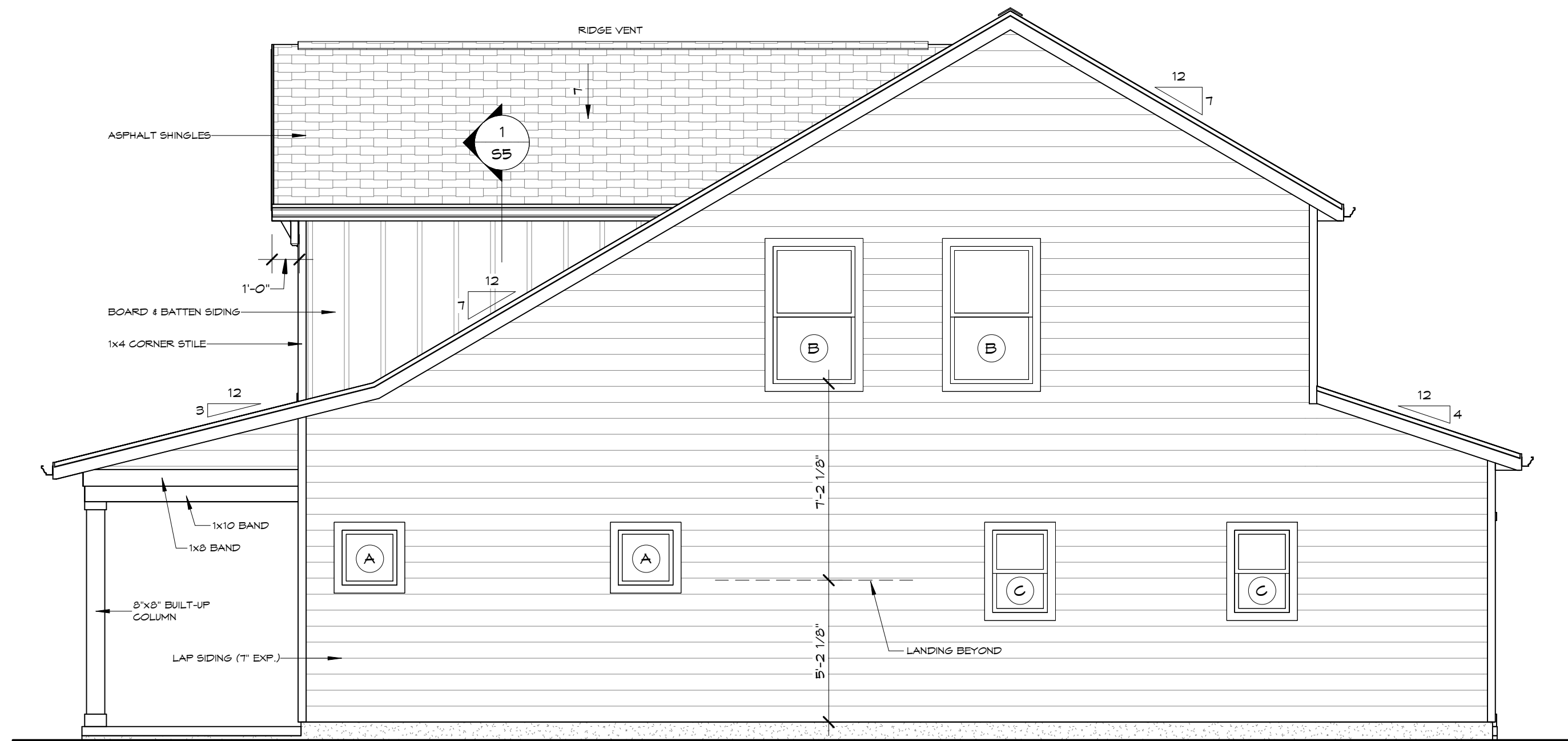
1 FRONT ELEVATION
1/4" = 1'-0"



3 LEFT SIDE ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

DOOR SCHEDULE		
TYPE	DOOR SIZE	DESCRIPTION
1	2'-8" x 6'-8" x 1 3/4"	1 LIGHT
2	3'-0" x 6'-8" x 1 3/4"	4 LIGHT, 1 PANEL
3	2'-8" x 6'-8" x 1 3/8"	6 PANEL
4	2'-6" x 6'-8" x 1 3/8"	6 PANEL
5	2'-4" x 6'-8" x 1 3/8"	6 PANEL

WINDOW SCHEDULE		
TYPE	WINDOW SIZE	DESCRIPTION
A	2'-0" x 2'-0"	FIXED
B	3'-0" x 5'-0"	SINGLE-HUNG
C	2'-0" x 3'-0"	SINGLE-HUNG

WINDOW NOTES:

- SEE PLAN FOR TEMPERED LOCATIONS.
- ENSURE $\frac{1}{4}$ " MANUFACTURER THAT EGRESS WINDOWS IN BEDROOMS MEET EGRESS REQUIREMENTS PER BUILDING CODE.
- PROVIDE FALL PROTECTION ON WINDOWS WHERE THE SILL IS LESS THAN 24" ABOVE THE FLOOR AND GREATER THAN 12" ABOVE GRADE.

GENERAL ELEVATION NOTES:

- DESIGN BASED ON 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 NORTH CAROLINA RESIDENTIAL CODE AND LOCAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS. DO NOT SCALE DIMENSIONS FROM PROJECT DRAWING. PLANS AND DETAILS MAY NOT ALWAYS PRINT TO SCALE. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- GRADE ELEVATIONS MAY VARY DUE TO TYPE OF FOUNDATION AND OTHER ON SITE CONSIDERATIONS.
- DOWNSPOUT SIZE AND LOCATION TO BE DETERMINED ON SITE BY GUTTER CONTRACTOR.
- FRAMING HEIGHTS:
 - A. FLOOR TO TOP PLATE FIRST FLOOR = 9'-1 1/2"
 - B. FLOOR TO TOP PLATE SECOND FLOOR = 8'-1 1/2"
 - C. FLOOR TO WINDOW HEAD FIRST FLOOR = 7'-0"
 - D. FLOOR TO WINDOW HEAD SECOND FLOOR = 7'-0"

PROVIDE CORROSION RESISTANT FLASHING AT ALL ROOF/WALL INTERSECTIONS PER R403.2.1.

TYP. DOOR/WINDOW TRIM

- 1x4 SURROUND

TYP. RAKE TRIM

- METAL DRIP EDGE
- 1x8 FASCIA
- 1x4 FRIEZE

0 2 4 6 SCALE: 1/4" = 1'-0"

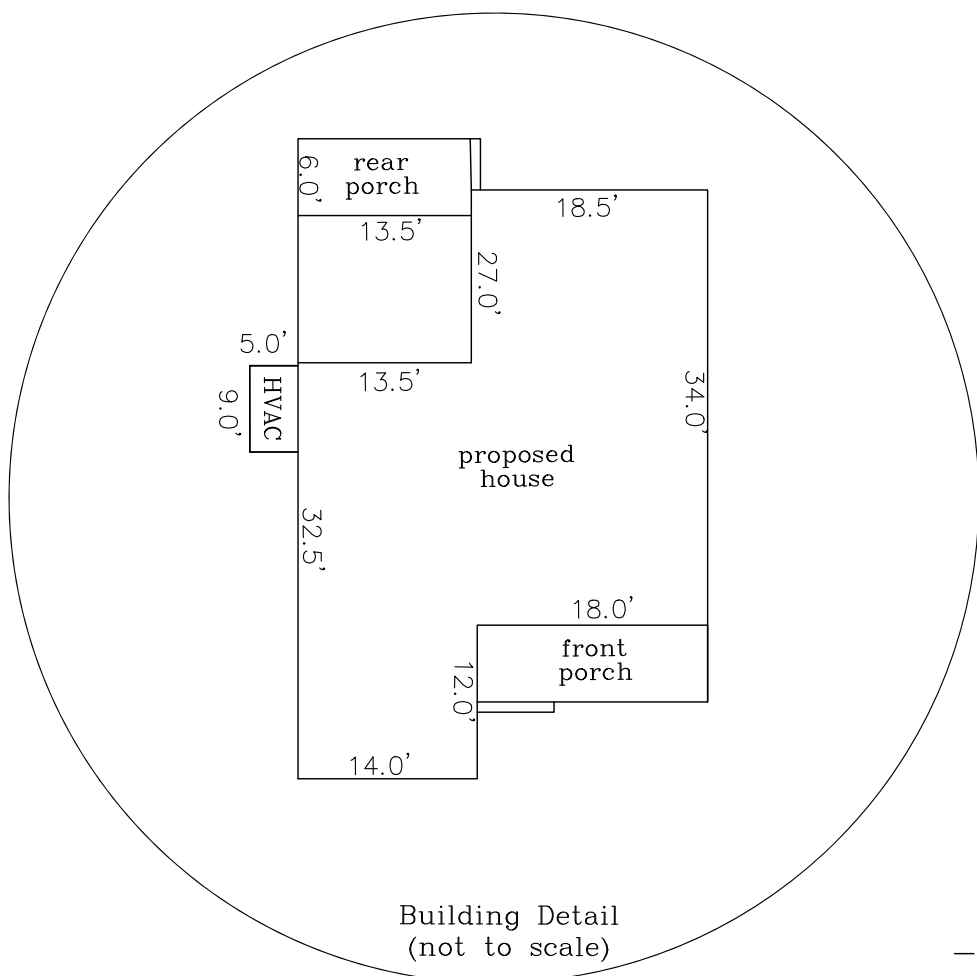
Helmsman Homes
Ballast - A

Tino Home Design, LLC
Residential Design and Drafting Services
Post Office Box 1778
Huntersville, North Carolina 28070
Phone: (704) 942-9011 Fax: (704) 942-9692
www.tinohomedesign.com

Plan Date:
3/21/2023
Revision Date:
MT
Sheet Number

A2

Hubbard Terrace



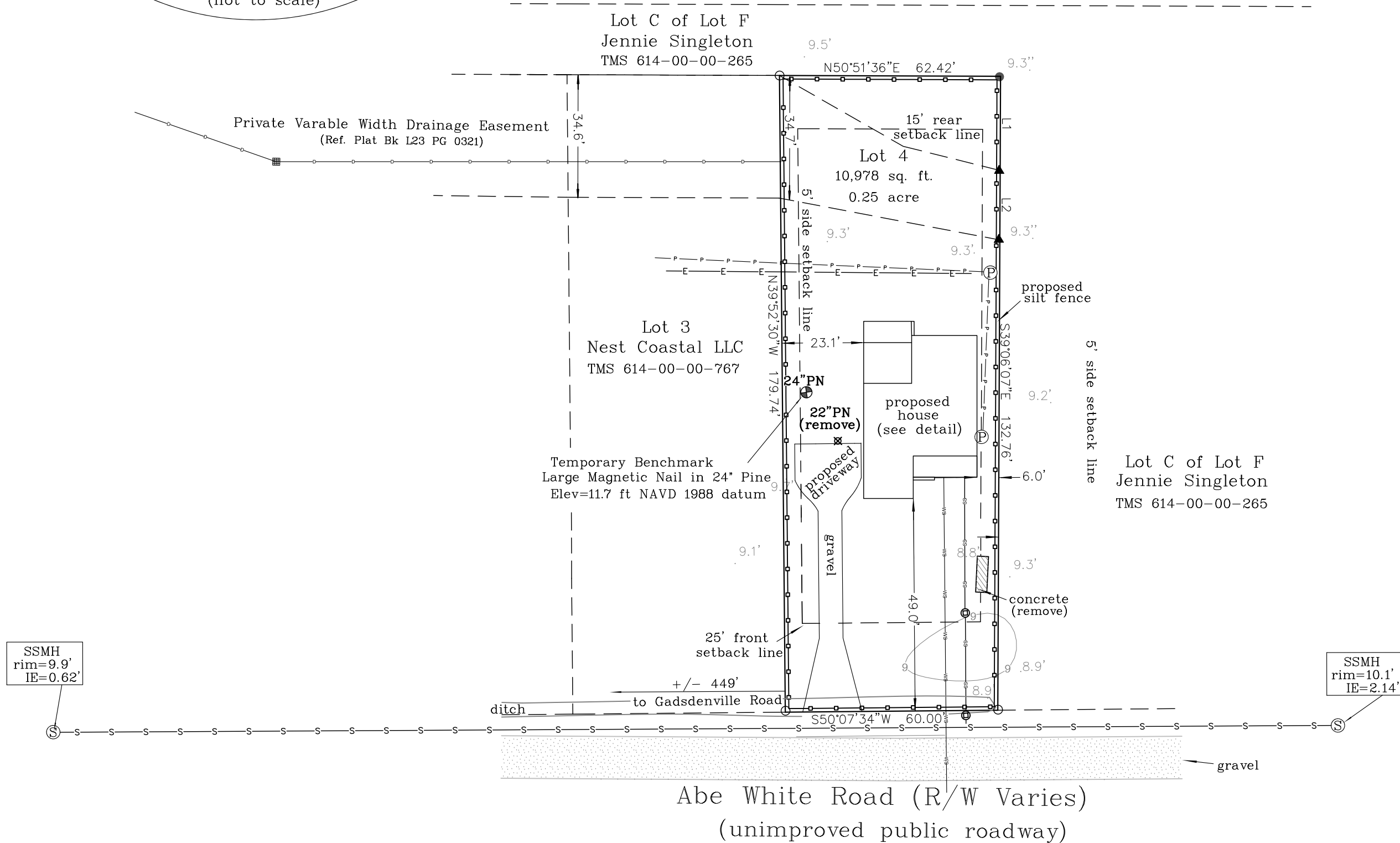
Lot Coverage
Structure Elements
House, Porches, HVAC Stand and Stairs... 1,470 Sq Ft
13.4% Coverage



NUM	BEARING	DISTANCE
L1	S39°06'07"E	26.60'
L2	S39°06'07"E	19.60'

- LEGEND:
- 1" open pipe found
 - 5/8" rebar found
 - 5/8" rebar set
 - Temporary Benchmark
 - sewer manhole
 - power pole
 - overhead powerline
 - private drainage easement
 - edge unimproved road
 - setback line
 - property line
 - proposed silt fence
 - proposed water service
 - proposed sewer line
 - proposed drainage line
 - underground sewer line
 - underground electric line
 - contour line
 - spot elevation
 - concrete
 - gravel
 - proposed drainage box
 - proposed sewer cleanout
 - PN = pine tree

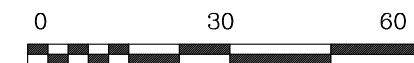
- NOTES:
- Reference Tax Map Number 614-00-00-768
 - Reference Plat Book L23, Page 0321
 - Property owner: Nest Coastal LLC
 - This property may be subject to various utility easements (i.e. power, telephone, water, gas, sewer, etc.) that were not noted in the plats referenced hereon, nor in the other title information noted hereon. This plat does not address any subterranean conditions of any nature, unless specifically noted otherwise.
 - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - Declaration is made to Original Purchaser of the survey. It is not transferable to additional institutions or subsequent owner.
 - This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge said lot is located in flood zone AE(11') FEMA Map No. 45019C0365 K 01/29/2021 Flood zone should be verified with the governing municipality before design and construction.
 - Subsurface and environmental conditions were not examined or considered as a part of this survey.
 - Property address: 3864 Abe White Road
 - Every effort has been made to accurately locate, label, and describe the size of the trees shown hereon. The trees identified on this survey are of our opinion only. The species and size should be verified by a certified arborist or the local governing authority. No canopies or tree leanings are shown. A preliminary site layout is recommended before final site design or construction.
 - Anything shown outside the defined boundary of this survey is for descriptive purposes only.
 - Verify Setbacks with Governing Municipality before Design and Construction
 - Project Elevation Datum NAVD 1988



Site Plan for Single Family Residence
Lot 4
Bee Hive Community
Located in
Christ Church Parish
Charleston County, South Carolina

Field Date: October 24, 2023
Drawing Date: November 6, 2023

SCALE 1"= 30'



11175SITEPLAN.DWG
Drawn by DCG

2551 ASHLEY RIVER ROAD
CHARLESTON, SC 29414
PHONE(843)571-5191
FAX(843)571-7447
palmettolandsurveying@gmail.com



I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown

James G. Penington, P.L.S. No. 10291
Palmetto Land Surveying, Inc.
2551 Ashley River Road
Charleston, S.C. 29414 571-5191

HIST-12-23-00105
February 21, 2024
Meeting
Public Input

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 3:12:29 PM
Attachments: [Opposition to HIST-12-23-00105 LetterFPW 21Feb2024.pdf](#)

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

Attached is a petition with signatures in opposition to the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768).

Regards,

Ms. Frances P. White

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Printed Name	Signature
Charles E. Smith	3961 Lucian St
Rose #18 #2 #3 #4 #5 #6 #7 #8 #9 #10 #11 #12 #13 #14 #15 #16 #17 #18 #19 #20 #21 #22 #23 #24 #25 #26 #27 #28 #29 #30 #31 #32 #33 #34 #35 #36 #37 #38 #39 #40 #41 #42 #43 #44 #45 #46 #47 #48 #49 #50 #51 #52 #53 #54 #55 #56 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #67 #68 #69 #70 #71 #72 #73 #74 #75 #76 #77 #78 #79 #80 #81 #82 #83 #84 #85 #86 #87 #88 #89 #90 #91 #92 #93 #94 #95 #96 #97 #98 #99 #100	Rose #18 #2 #3 #4 #5 #6 #7 #8 #9 #10 #11 #12 #13 #14 #15 #16 #17 #18 #19 #20 #21 #22 #23 #24 #25 #26 #27 #28 #29 #30 #31 #32 #33 #34 #35 #36 #37 #38 #39 #40 #41 #42 #43 #44 #45 #46 #47 #48 #49 #50 #51 #52 #53 #54 #55 #56 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #67 #68 #69 #70 #71 #72 #73 #74 #75 #76 #77 #78 #79 #80 #81 #82 #83 #84 #85 #86 #87 #88 #89 #90 #91 #92 #93 #94 #95 #96 #97 #98 #99 #100
LaShonda N. Middlebrooks	LaShonda N. Middlebrooks
Lucille M. Mitchell	Lucille M. Mitchell
Betty S. James	Betty S. James
Carmen L. James	Carmen L. James
Lourence Waiters	Lourence Waiters
Shirley J. Smith	Shirley J. Smith
Patrice Edwards Jones	Patrice Edwards Jones
SABRINA JENKINS	Sabrina Jenkins

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Printed Name	Signature
Kevin J. Brown	Kevin J. Brown
Phelma Brown	Phelma Brown
George Manigault	George Manigault
Charles Singleton	Charles Singleton
Leo Jenkins	Leo Jenkins
Izetta C. Swinton	Izetta C. Swinton
Peggy Jenkins	Peggy Jenkins
Danyelah Singleton	Danyelah Singleton
Inez Singleton	Inez Singleton
Jean Puckney	Jean Puckney
Jo Ann Howard	Jo Ann Howard
Betty P. White	Betty P. White
Francis White	Francis White
Clara Ravenel	Clara Ravenel
Jerom Bennett	Jerom Bennett
Mijshela Bennett	Mijshela Bennett
Carolyn Night-Bennett	Carolyn Night-Bennett
Cherylne Gillman	Cherylne Gillman

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Printed Name	Signature
Reggie Hutchinson	Reggie Hutchinson
Jeanette P. Singleton	Jeanette P. Singleton
Jermaine Gillard	Jermaine Gillard
Barbra Hilliard	Barbra Hilliard
Nathaniel Hilliard	Nathaniel Hilliard
Alifay Edwards	Alifay Edwards
Charnette Singleton	Charnette Singleton
EARSILEE NESBITT	EARSILEE NESBITT
Carolyn Wright	Carolyn Wright
Louis Wright	Louis Wright
Bridget White	Bridget White
Elaine Crowder	Elaine Crowder
Imogene	
Stanley Brown	Stanley Brown
Caseline Jenkins	Caseline Jenkins
Arlene H. Gray	Arlene H. Gray
Renee Lemmon	
Bessie Wrayne	Bessie Wrayne

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Printed Name	Signature
Rose Marie Brown	Rose Marie Brown
Leslie Brown	Leslie Brown
Victor Joe Hendrix	Victor J Hendrix
Shawn Brown	Shawn Brown
Wayne Brown	Wayne Brown
John Brown	John Brown
Alzono Bennett	Alzono Bennett
Walter Brown	Walter Brown
Jessica Swinton	Jessica Swinton
Tyler Swinton	Tyler Swinton
Judeia Campbell	Judeia Campbell

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Printed Name	Signature
Janie W. Matthews	Janie Matthews
Pauline Wright	Pauline Wright
Elizabeth Coleman	Elizabeth Coleman
Felicia J. Wright	Felicia J. Wright
Mary L. Quarles	Mary L. Quarles
Dana M. Coleman	Dana M. Coleman
Shonda J. Coleman	Shonda Coleman
Carla Pinckney	Carla Pinckney
Lois Ester Pinckney	Lois Ester Pinckney
Tara Pinckney	Tara Pinckney
Tonya E. Misuraca	Tonya E. Misuraca
Loumeray Wright	Loumeray Wright
Desmond Howard	Desmond Howard
Joye C. Taylor	Joye C. Taylor
Benjamin Mangum	Benjamin Mangum
Elthel Washington	Elthel Washington
Liz Jerky	Liz Jerky
Helen Hinton	Helen Hinton
Margery Sammons	Margery Sammons

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten
 Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Printed Name	Signature
Guendalyn C. Singler	Guendalyn C. Singler
Rashida Brown	Rashida Brown
Loon Sanders	Loon Sanders
Delbert H. Kuebel	Delbert H. Kuebel
Estelle Warren	Estelle Warren
Rochelle A. Jackson	Rochelle A. Jackson
Ryan E. Jackson	Ryan E. Jackson
Byron E. Jackson	Byron E. Jackson
Barbara Moss	Barbara Moss
Lorena Smith	Lorena Smith
Herbert L. Smith	Herbert L. Smith
Susan Manigault	Susan Manigault
June Fuller	June Fuller
Candice Sisco	Candice Sisco
Leser Smallis	Leser Smallis

From: [Moses](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Thursday, February 15, 2024 8:01:10 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Moses

From: [Carolyn Wright](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:56:46 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
C. Wright

From: [Lou Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:55:32 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Lou

From: [Carla Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Wednesday, February 14, 2024 9:54:29 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
C. Pinckney

From: [Bub](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Thursday, February 15, 2024 1:02:00 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,
Bub

From: [Treasure White](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Saturday, February 17, 2024 4:42:09 PM

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Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Treasure White
(843) 810-3763

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Saturday, February 17, 2024 2:51:11 PM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

The original lot size of 1.12 acres aligned to the community than this subdivided lot as the average lot size in the district is ~1 acre. The Site Plan shows the road is gravel. There might be gravel on a section of the road, but in general, it's a dirt road.

There are about 250 developed lots (lots with homes) total in the historic district so more than 200 of them are larger than 0.4 acres.

The lot coverage and building coverage would be much higher than most lots in the historic district.

The building coverage would be ~25% which is more than twice the average coverage for this historic district.



Square Footage: 3,016
Stories: 3
Lot Coverage: 22%

This style of home is predominate in some subdivisions such as those on Lieben Rd. It's also similar style to homes in subdivisions a developer is planning in the historic district. Those homes don't fit the prevailing character of the Historic District and neither does this home. Staff has pointed out the range in home sizes on Abe White Rd. which ranges up to ~1,500 sq ft. Average home size in the historic district is ~1,900 sq ft.



Located in a subdivision
off of Lieben Rd.



Located in a subdivision
off of Lieben Rd.



Proposed plan for a subdivision
in the historic district.

Most homes in the district have a larger front yard versus back yard as the homes sit further back from the road. According to the diagram, the distance

between the left and right sides of the home and the lot boundary is less than 13 ft. That's subdivision development pattern not Ten Mile Historic District pattern. Most homes in the district have greater side setbacks than that.

The homes elevation is higher than required. I agree with staff in the recommendation to disapprove.

Approval would promote additional lots to be split and developed in this manner as well as more uncharacteristic architectural styles in the district.

This type of development may not change the character of the community as blatantly and quickly as a major subdivision, but none-the-less, minor subdivisions placed here and there add up. If those subdivisions are out of character of the overall community, they begin to overtake the district like the major subdivisions until all traces of the historic character are gone. Please don't contribute to that.

Regards,

Ms. Frances P. White

From: [twinkle91066](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Saturday, February 17, 2024 2:11:26 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS [614-00-00-250](#)). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS [614-00-00-768](#)). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards

Tracy H. Evans

From: [John Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness
Date: Saturday, February 17, 2024 7:29:34 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

John A. Pinckney

3949

From: [Nick Misuraca](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 9:01:40 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Nick Misuraca
C: 8434082040

From: [Dana Coleman](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 10:43:19 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Thank you,

Elizabeth W. Coleman

930 Beehive Rd.

Awendaw, SC 29429

From: [Cejae White](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 2:36:20 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I, Cephus J White: grandson of Abraham White Sr., oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road. If my grandfather was alive he would never allow you to gain access down his street.

Regards,

Cephus J White

From: [Penny Wigfall](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Sunday, February 18, 2024 4:47:16 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Penny Wigfall
(404) 423-7280

From: [LaVon Heyward](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 5:28:30 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for **HIST-12-23-00103 (TMS 614-00-00-250)**. I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

I oppose the request for Certificate of Historic Appropriateness for **HIST-12-23-00105 (TMS 614-00-00-768)**. I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

LaVon Heyward

From: [Sharon](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 8:00:18 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

S. Frost

From: [Lenny](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 1:02:00 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Lenny

From: [Lillie G. Jackson](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) & HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 8:31:53 PM

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Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,

Mrs. Lillie Glover Jackson

Property Owner

Lewis Jackson Jr., Descendant of Lillie Glover Jackson

Dr. La Toya D. Jackson, Descendant of Lillie Glover Jackson

From: [Sammy](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, February 18, 2024 7:07:17 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Sammy

From: [Grace](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 10:07:27 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

G. Pinckney

From: [Elias](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for two Single-Family Dwelling Units in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 9:05:07 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the applications demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Regards,

Elias

From: [Craig Ascue](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, February 19, 2024 8:21:07 AM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768). I do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. It is obvious as we have provided several examples from the ACA. Homes that are deeper than they are wide is not common in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road. The subject developer has not made any attempt to discuss with homeowners or community members their commitment to community building or sustainability.

Craig Ascue
"A trusted name since 1968"
Cell 843-670-1717
Office 843-884-6862
tcraigascue@gmail.com

HIST-12-23-00105

April 17, 2024

Meeting

Public Input

From: [Jo Ann Howard](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250) and HIST-12-23-00105 (TMS 614-00-00-768)
Date: Sunday, April 14, 2024 11:20:06 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). A The applicant has made some changes, but I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in this historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). A The applicant has made some changes, however, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic

District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Thank you,

JoAnn Howard

From: [Fran W](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, April 15, 2024 9:19:06 AM
Attachments: [image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Please also refer to my previous email below as most of the points still apply.

Also please consider the petition previously provided for the February meeting. The comments and concerns are still valid.

Previous Front Elevation



New Front Elevation



of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

The original lot size of 1.12 acres aligned to the community than this subdivided lot as the average lot size in the district is ~1 acre. The Site Plan shows the road is gravel. There might be gravel on a section of the road, but in general, it's a dirt road.

There are about 250 developed lots (lots with homes) total in the historic district so more than 200 of them are larger than 0.4 acres.

The lot coverage and building coverage would be much higher than most lots in the historic district.

The building coverage would be ~25% which is more than twice the average coverage for this historic district.



1 FRONT ELEVATION
1/4"=1'-0"

Square Footage: 3,016

Stories: 3

Lot Coverage: 22%

This style of home is predominate in some subdivisions such as those on Lieben Rd. It's also similar style to homes in subdivisions a developer is planning in the historic district. Those homes don't fit the prevailing character of the Historic District and neither does this home. Staff has pointed out the range in home sizes on Abe White Rd. which ranges up to ~1,500 sq ft. Average home size in the historic district is ~1,900 sq ft.



Located in a subdivision
off of Lieben Rd.



Located in a subdivision
off of Lieben Rd.



Proposed plan for a subdivision
in the historic district.

Most homes in the district have a larger front yard versus back yard as the homes sit further back from the road. According to the diagram, the distance between the left and right sides of the home and the lot boundary is less than 13 ft. That's subdivision development pattern not Ten Mile Historic District pattern. Most homes in the district have greater side setbacks than that.

The homes elevation is higher than required. I agree with staff in the recommendation to disapprove.

Approval would promote additional lots to be split and developed in this manner as well as more uncharacteristic architectural styles in the district.

This type of development may not change the character of the community as blatantly and quickly as a major subdivision, but none-the-less, minor subdivisions placed here and there add up. If those subdivisions are out of character of the overall community, they begin to overtake the district like the major subdivisions until all traces of the historic character are gone. Please don't contribute to that.

Regards,

Ms. Frances P. White

From: [Carolyn Wright](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, April 15, 2024 2:17:49 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,
Carolyn

From: lewpinckney04@yahoo.com
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, April 15, 2024 2:14:38 PM

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Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,
Carla

From: [Angela Singleton](#)
To: [CCHPC](#)
Subject: Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00103 (TMS 614-00-00-250)
Date: Monday, April 15, 2024 2:09:13 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00103 (TMS 614-00-00-250). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide are not common in this historic district; this home is almost twice as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this settlement community especially with the deep style of homes. The home size does not fit in with the majority of this district and does not fit in with the existing homes on this road.

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Thank you

Angela M. Singleton

From: [Carla Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, April 15, 2024 2:04:01 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,
Carla Pinckney

From: [Lou Pinckney](#)
To: [CCHPC](#)
Subject: Opposition to Certificate of Historic Appropriateness for a Single-Family Dwelling Unit in Ten Mile - HIST-12-23-00105 (TMS 614-00-00-768)
Date: Monday, April 15, 2024 2:22:02 PM

CAUTION: This email originated outside of Charleston County. Do not click links or open attachments from unknown senders or suspicious emails. If you are not sure, please contact IT helpdesk.

Dear Charleston County Historic Preservation Commissioners,

I oppose the request for Certificate of Historic Appropriateness for HIST-12-23-00105 (TMS 614-00-00-768). Although the applicant has made some changes, I still do not believe the application demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, or architecture that are characteristic of the Ten Mile Historic District. Homes that are deeper than they are wide is not common in this historic district; this home is almost 1.5 times as deep as it is wide. The setbacks are not consistent with the majority of the homes in the historic district. The home's architectural style is characteristic of developers' subdivisions not of this community. The home size and lot size do not fit in with the majority of this district and do not fit in with the existing homes/lots on this road.

Regards,
Lou Ester

Certificate of Historic Appropriateness Application:

HIST-02-24-00106

- Case History**
- Presentation**
- Application**

CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-02-24-00106
CASE HISTORY

~~Historic Preservation Commission: April 17, 2024~~
Historic Preservation Commission: May 15, 2024

CASE INFORMATION

Location: 987 Theodore Road

Parcel Identification: 614-00-00-394

Council District: 2 - Kobrovsky

Property Size: 0.25 acres

Application: Certificate of Historic Appropriateness request for the installation of roof-mounted solar panels at TMS 614-00-00-394, 987 Theodore Road, a property within the Ten Mile Community Historic District.

Parcel Information and Area Description: The subject property is zoned Low Density Residential (R-4) and is the site of a 1,203 square foot single-family dwelling unit. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the Northeast, Southeast, and South are also zoned R-4 and contain single-family dwelling units. Properties to the West, North, and East are in the Town of Mt. Pleasant's jurisdiction, zoned R4 or CC, and contain single-family dwelling units or are vacant. The subject property is in the AE-11 flood zone.

Historic Significance: On June 21, 2022, Charleston County adopted the Ten Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.

- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedmen after emancipation.
- As with most African American settlement communities, Ten Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives, and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District:

HIST-11-22-00064	Denied	Request for construction of 21 Single-Family Dwelling Units	TMS 614-00-00-139
HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a	TMS 614-00-00-731

		Single-Family Dwelling Unit	
HIST-05-23-00083	Approved	Request for placement of a Mobile Home	TMS 614-00-00-733
HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-24-00106	Pending	Request for installation of Roof-Mounted Solar Panels	TMS 614-00-00-394

Property History:

Recent Applications:

- June 21, 2022: The Ten Mile Community was designated as a Charleston County Historic District (HIST-03-22-00053).
- September 18, 2023: Zoning Permit Application submitted for 6.48 kw PV Solar Panel Installation on Roof (ZonA-09-23-05104).

Project Description:

Applicant's Project Description: *"Installation of Utility Interactive Photovoltaic Solar System."*

Staff Response: Applicant is proposing to mount solar panels to the roof of the existing single-family residence at 987 Theodore Road. This "utility interactive" photovoltaic (PV) system is grid-connected and designed to operate in parallel with and interconnected to the electric utility grid.

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-4.B, Applicability, states, "A Certificate of Historic Appropriateness is required: a. Before the issuance of Zoning Permits for the demolition, alteration, modification, addition to, new construction, rehabilitation, relocation, or restoration to a Historic Property including construction of new structures in Historic Districts; and b. Before Subdivision Plat and Site Plan Review approvals for properties located within 300 feet of a Historic Property."

Sec. 20-4.F, Approval Criteria, states "In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider: a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration; b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District; c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and d. Certificate of

Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments."

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-4.F:

1. In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:

a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration;

Applicant Response: *"The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.*

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives, and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mile Community. Many of the original Inhabitants of the Ten Mile Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823."

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community's character and history tied to the land.

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *"We will be installing a 16 Panel Photovoltaic Solar System on the roof of this home. The Panels themselves will be mounted on the East and South-East facing Planes of the home. The panels will be mounted in a mixed orientation using both a landscape and portrait style orientation on the home. The panels will use a total area of 362.4 square feet on the roof of the home, which has a total area of 1828 square feet, using only 17.9% of the available roof space. Each panel itself if mounted in the Portrait*

Orientation will be 12" in length, while those that use the Landscape Orientation will be 18" in length. There should be no impact on other homes in the neighborhood."

Staff Response: The applicant is proposing a roof-mounted solar panel system, consisting of 16 panels, on an existing 1,203 square foot single-family dwelling unit. The home is elevated with one-story of living space. The proposed roof mounted solar collector will be located on the East and Southeast (front and left facing) sides of the home. According to the Department of Energy, facing roughly south and slanted between 15 and 40 degrees is the ideal position for solar panels in the continental United States. The solar panels will be partially hidden from the road right-of-way by the adjacent property, 985 Theodore Road, another elevated one-story single-family dwelling unit.

- c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and**

Applicant Response: *"Installing mechanical and service equipment on the roof (such as heating and air-conditioning units, elevator housing, or solar panels) when required for a new use so that they are inconspicuous on the site and from the public right-of-way and do not damage or obscure character-defining historic features."*

The solar panels installed on the roof will be flush-mounted to the home and will be similar in color to the existing shingle. This will in no way damage or alter the historically defined elements that already exist on the property."

Staff Response: The National Park Service website indicates that solar panels installed on historic properties located where they are inconspicuous from the ground tend to meet the Secretary of Interior's Standards for Rehabilitation, but that visibility from the ground does not necessarily preclude meeting the standards. The intent is that the solar system does not negatively impact the historic character of the property. Because this is a contemporary structure, built in 2017, there are no "character-defining historic features" to damage or obscure and, therefore, this request would be in line with the Secretary of Interior's Standards for the Treatment of Historic Properties.

- d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.**

Applicant Response: *"This Project will have roof mounted Solar Panels, so it should not change the existing lots, densities, spacing of the home, lot sizes and shape or other characteristics of the historic district beyond the proposed panels on the roof of the home."*

Staff Response: This application does not propose to change the existing lots, density, spacing, lot size and shape, or any other characteristic of the historic district. Further, it will not impact the historic fabric of nor detract from the existing historic district because the prevailing patterns mentioned above will remain intact. However, no other structures in the area were observed to have solar panels.

- e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.**

Applicant Response: *"Not applicable."*

Staff Response: The request does not involve an application for Site Plan Review, and therefore this criterion does not apply.

Based on the applicant's responses, the approval criteria may have been satisfied. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-4.F, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-4.F.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *Case # HIST-02-24-00106: Certificate of Historic Appropriateness request for the installation of roof mounted solar panels at TMS 614-00-00-394, 987 Theodore Road, a property within the Ten Mile Community Historic District.*

HISTORIC PRESERVATION COMMISSION MEETING: April 17, 2024

Notifications: 675 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on March 29, 2024. Additionally, the request was noticed in the Post & Courier on March 29, 2024.

Due to there being no quorum, the item was rescheduled for the May 15, 2024 Historic Preservation Commission meeting.

HISTORIC PRESERVATION COMMISSION MEETING: May 15, 2024

Notifications: 675 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District on April 26, 2024. Additionally, the request was noticed in the Post & Courier on April 26, 2024.

Certificate of Appropriateness Request HIST-02-24-00106

Parcel ID: 614-00-00-394

Acreage: 0.25 acres

Property Address: 987 Theodore Road

Area: East Cooper

Owner: Heather J. Broadhurst **Applicant:** Bryson Taylor, Blue Raven Solar

Request: Certificate of Historic Appropriateness request for the installation of roof mounted solar panels at 987 Theodore Road, TMS 614-00-00-394, a property within the Ten Mile Community Historic District.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District

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HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-731
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HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Pending	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-24-00106	Pending	Request for the installation of Roof-Mounted Solar Panels	TMS 614-00-00-394

Property History

Recent Applications:

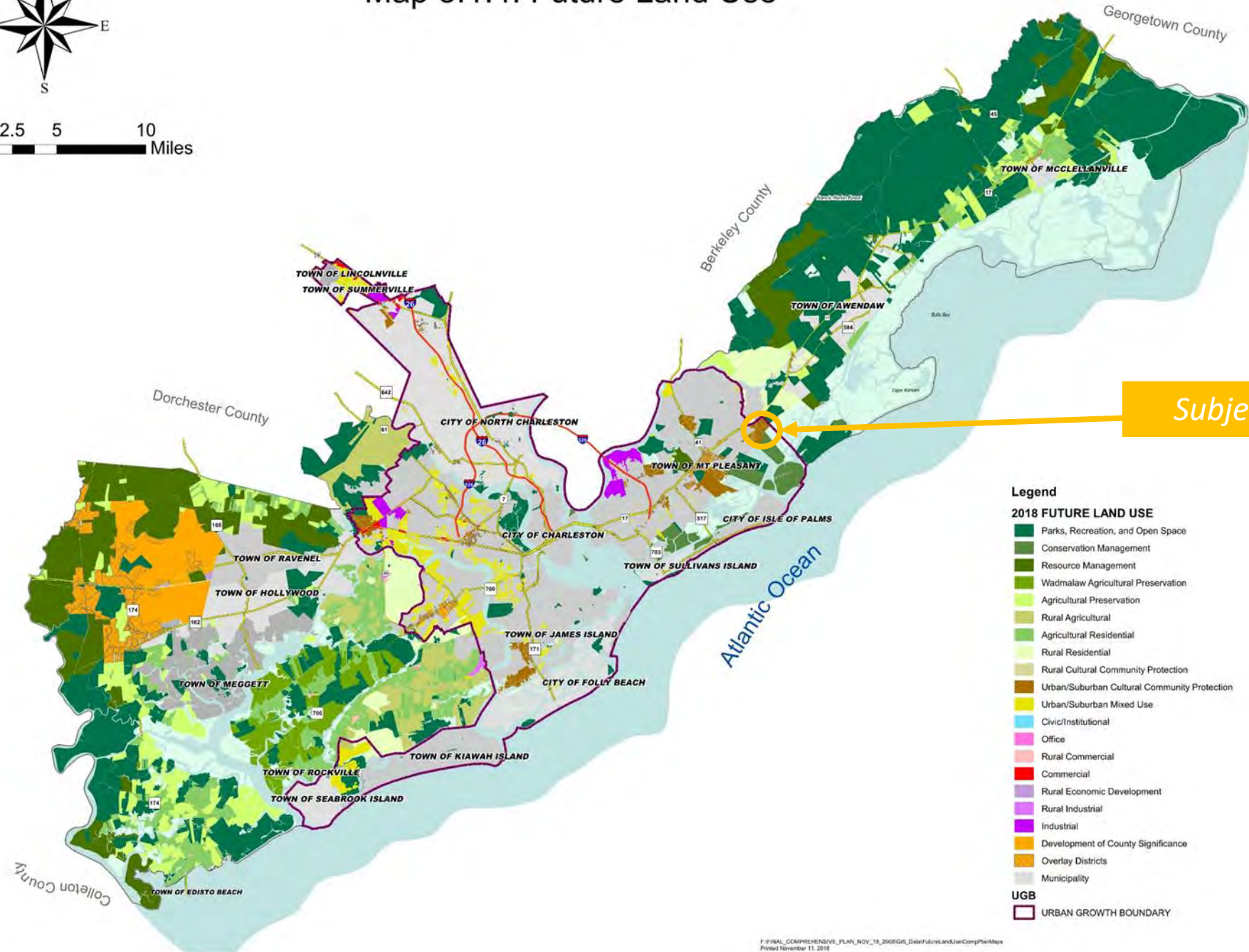
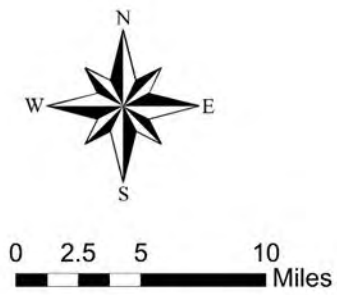
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- September 18, 2023: Zoning Permit Application submitted for 6.48 kw PV Solar Panel Installation on Roof (ZonA-09-23-05104).

Project Description

Applicant's Project Description: *“Installation of Utility Interactive Photovoltaic Solar System.”*

Staff Response: Applicant is proposing to mount solar panels to the roof of the existing single-family residence at 987 Theodore Road. This “utility interactive” photovoltaic (PV) system is grid-connected and designed to operate in parallel with and interconnected to the electric utility grid.

Map 3.1.4: Future Land Use



Subject Parcel

Legend

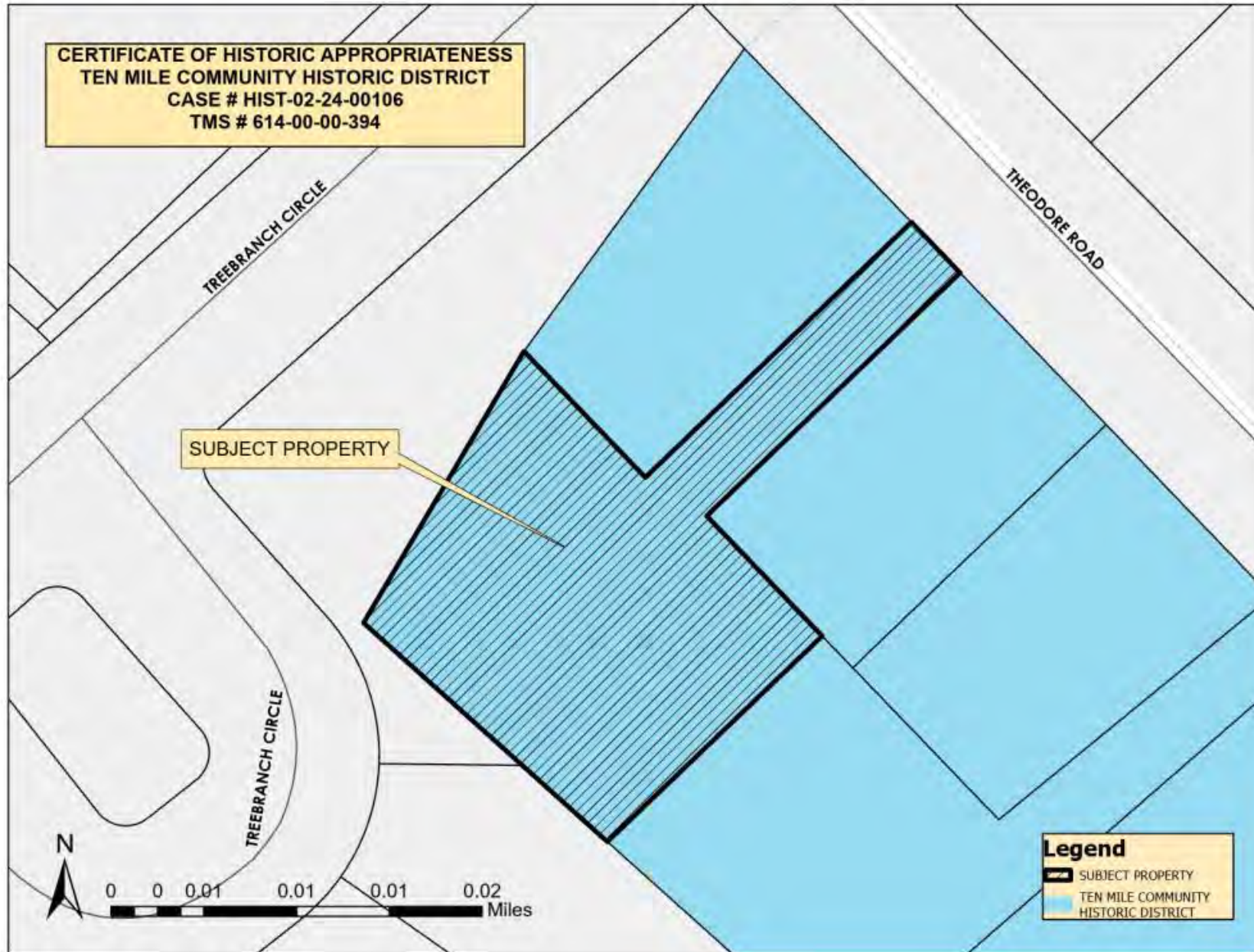
2018 FUTURE LAND USE

- Parks, Recreation, and Open Space
- Conservation Management
- Resource Management
- Wadmalaw Agricultural Preservation
- Agricultural Preservation
- Rural Agricultural
- Agricultural Residential
- Rural Residential
- Rural Cultural Community Protection
- Urban/Suburban Cultural Community Protection
- Urban/Suburban Mixed Use
- Civic/Institutional
- Office
- Rural Commercial
- Commercial
- Rural Economic Development
- Rural Industrial
- Industrial
- Development of County Significance
- Overlay Districts
- Municipality

UGB

- URBAN GROWTH BOUNDARY

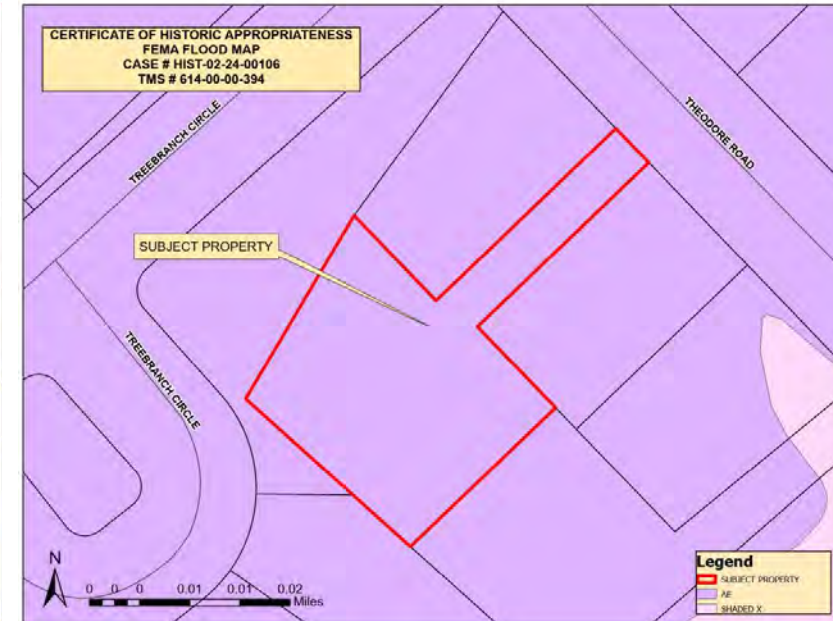
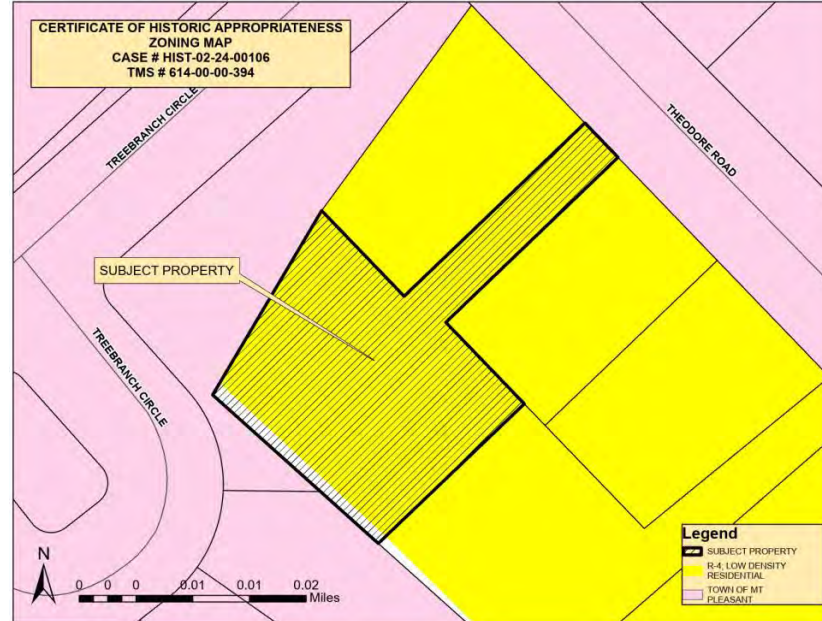
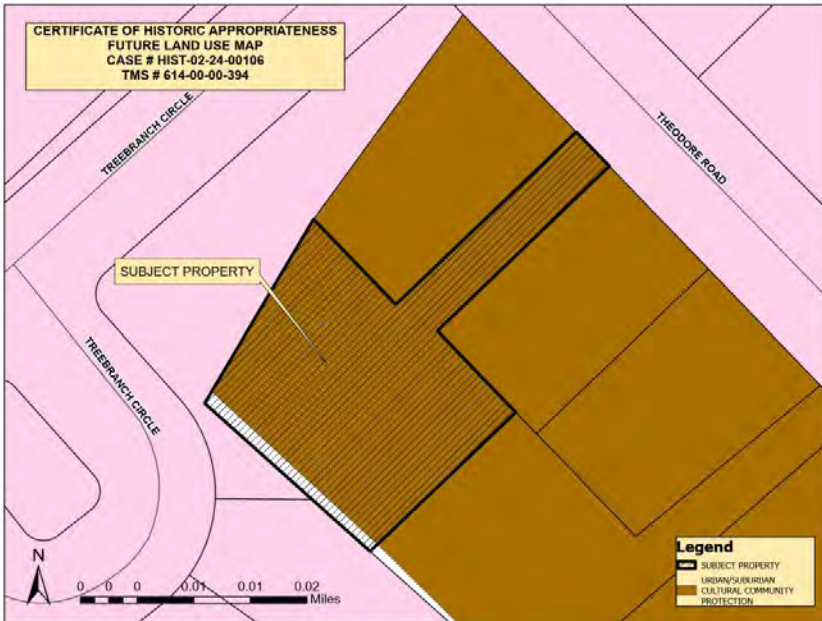
Ten Mile Community Historic District



10 Mile Community Historic Significance

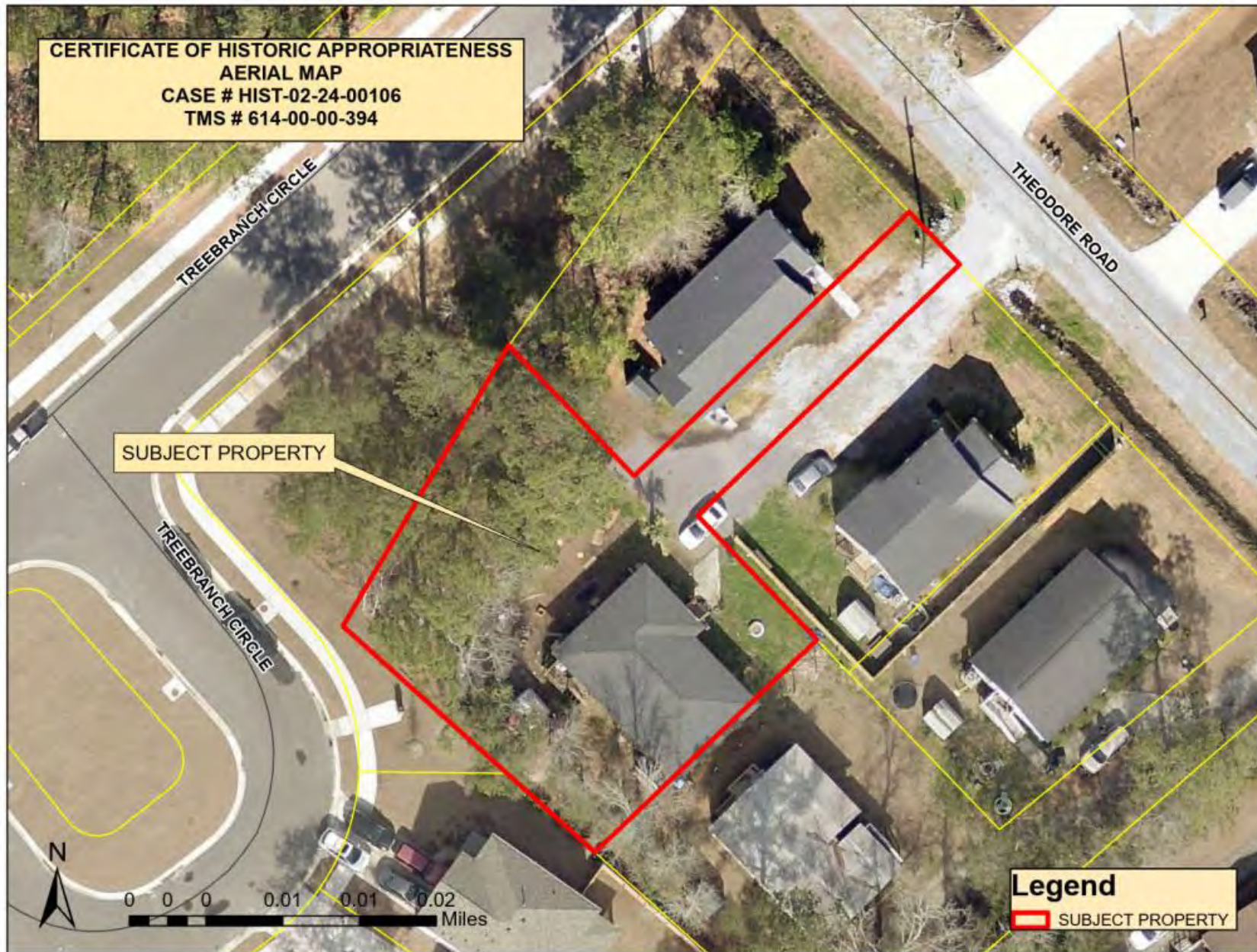
- On June 21, 2022, Charleston County adopted the 10 Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.
- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, 10 Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives, and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Future Land Use, Zoning, and FEMA Flood Designation



The subject property is zoned Low Density Residential (R-4) and is the site of a 1,203 square foot single-family dwelling unit. The Future Land Use designation is Urban/Suburban Cultural Community Protection. Properties to the Northeast, Southeast, and South are also zoned R-4 and contain single-family dwelling units. Properties to the West, North, and East are in the Town of Mt. Pleasant's jurisdiction, zoned R4 or CC, and contain single-family dwelling units or are vacant. The subject property is in the AE-11 flood zone.

Aerial View



Site Photos - Subject Property



TMS 614-00-00-394
987 Theodore Road



TMS 614-00-00-394
987 Theodore Road

Site Photos - Adjacent Properties



TMS 614-00-00-393
989 Theodore Road



TMS 614-00-00-567
985 Theodore Road

Site Photos - Surrounding Properties



TMS 614-00-00-615
984 Theodore Road

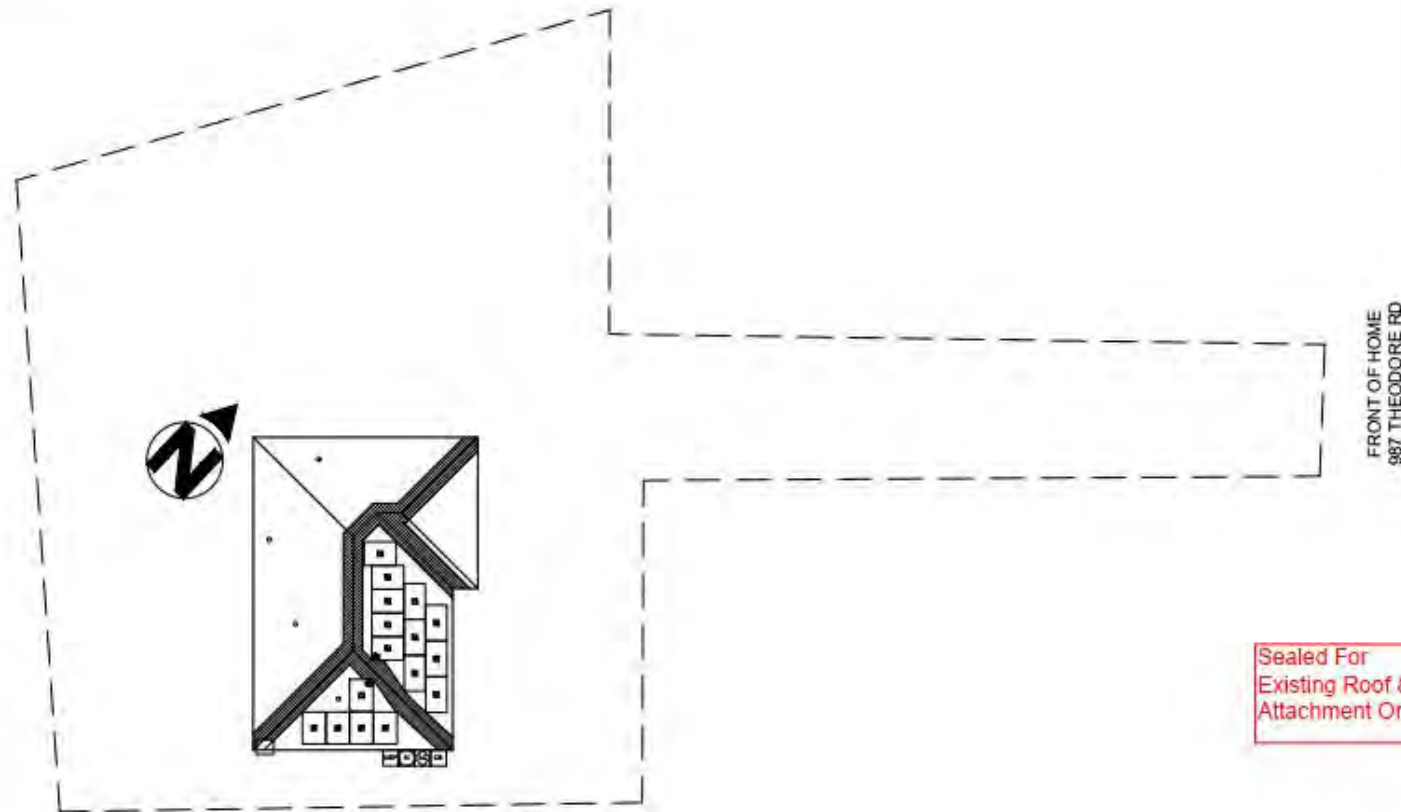


TMS 614-00-00-614 and -106
982 and 980 Theodore Road

Site Plan

PV SYSTEM SPECIFICATIONS
TOTAL NUMBER OF MODULES: 16
MODULE MAKE AND MODEL: Seraphim SEG-405-BMD-TB
MODULE WATTAGE: 405W DC

INVERTER MAKE AND MODEL: Enphase IQ8PLUS-72-2-US
INVERTER TYPE: Microinverter (1 Inverter per PV Module)
INVERTER CURRENT OUTPUT: 1.21A AC
INVERTER NOMINAL VOLTAGE: 240V
INVERTER WATTAGE: 290W AC



LEGEND

- JUNCTION BOX
- UTILITY METER
- MAIN SERVICE PANEL
- AC DISCONNECT
- COMBINER BOX
- LOAD CENTER
- SUBPANEL
- PV METER
- TRANSFER SWITCH
- SUNPOWER ESS
- SUNPOWER HUB+
- REMOTE POWER OFF
- FIRE SETBACK
- TRENCHING
- PROPERTY LINE

SCALE: 3/64" = 1'-0"

Sealed For
Existing Roof &
Attachment Only



9/14/23

Roof Plan

PV SYSTEM SPECIFICATIONS

TOTAL NUMBER OF MODULES: 16

MODULE MAKE AND MODEL: Seraphim SEG-405-BMD-TB

MODULE WATTAGE: 405W DC

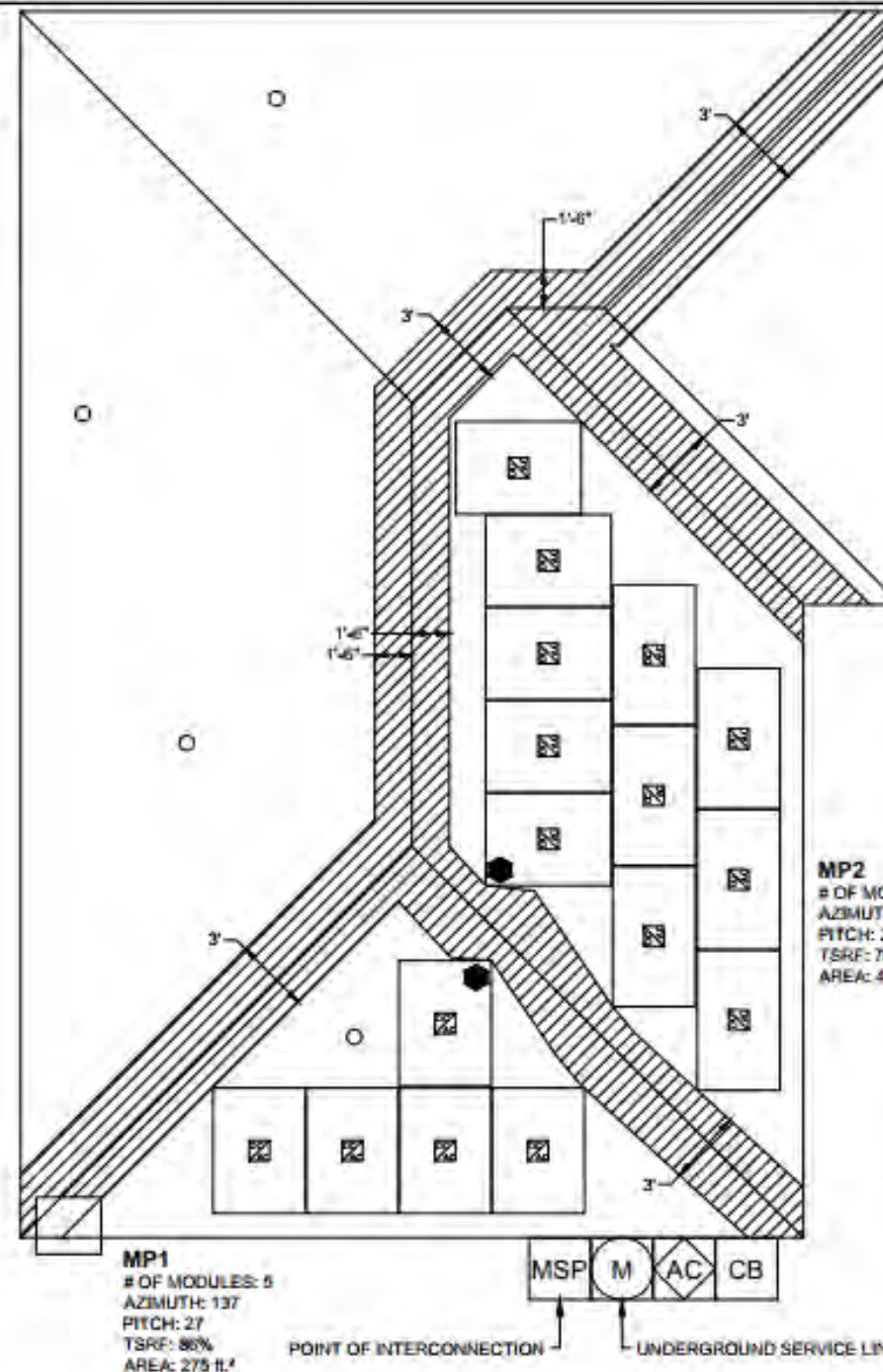
INVERTER MAKE AND MODEL: Enphase IQ8PLUS-72-2-US

INVERTER TYPE: Microinverter (1 Inverter per PV Module)

INVERTER CURRENT OUTPUT: 1.21A AC

INVERTER NOMINAL VOLTAGE: 240V

INVERTER WATTAGE: 290W AC



LEGEND

- JUNCTION BOX
- (M) UTILITY METER
- (MSP) MAIN SERVICE PANEL
- (AC) AC DISCONNECT
- (CB) COMBINER BOX
- (LC) LOAD CENTER
- (SUB) SUBPANEL
- (PV) PV METER
- (TS) TRANSFER SWITCH
- (ESS) SUNPOWER ESS
- (HUB) SUNPOWER HUB+
- (RPO) REMOTE POWER OFF
- [Hatched Box] FIRE SETBACK
- [Green Line] TRENCHING
- [Dashed Line] PROPERTY LINE

SCALE: 3/16" = 1'-0"

Sealed For
Existing Roof &
Attachment Only



W1423

Approval Criteria

In granting Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:

- a. The historic, cultural, and architectural significance of the District, Site, Building, Structure, or Object under consideration;

Applicant Response: “The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.

After slavery was abolished In the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today, the owners allowed African Americans to live on these Islands and work for them. After a major hurricane demolished several areas on these Islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also Important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. Is located at the same location on the northern boundary of the Ten Mile Community. Many of the original Inhabitants of the Ten Mile Community are buried at the Greater Zion AME Church cemetery. Additionally, there are grave markers within the 10 Mile Community that date back to 1823.”

Staff Response: The Ten Mile Community Historic District was adopted by County Council on June 21, 2022 in a community-wide effort to protect the historic African American settlement community’s character and history tied to the land.

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *“We will be installing a 16 Panel Photovoltaic Solar System on the roof of this home. The Panels themselves will be mounted on the East and South-East facing Planes of the home. The panels will be mounted in a mixed orientation using both a landscape and portrait style orientation on the home. The panels will use a total area of 362.4 square feet on the roof of the home, which has a total area of 1828 square feet, using only 17.9% of the available roof space. Each panel itself if mounted in the Portrait Orientation will be 12" in length, while those that use the Landscape Orientation will be 18" in length. There should be no impact on other homes in the neighborhood.”*

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Staff Response: The applicant is proposing a roof-mounted solar panel system, consisting of 16 panels, on an existing 1,203 square foot single-family dwelling unit. The home is elevated with one-story of living space. The proposed roof mounted solar collector will be located on the East and Southeast (front and left facing) sides of the home. According to the Department of Energy, facing roughly south and slanted between 15 and 40 degrees is the ideal position for solar panels in the continental United States. The solar panels will be partially hidden from the road right-of-way by the adjacent property, 985 Theodore Road, another elevated one-story single-family dwelling unit.

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: *“Installing mechanical and service equipment on the roof (such as heating and air-conditioning units, elevator housing, or solar panels) when required for a new use so that they are inconspicuous on the site and from the public right-of-way and do not damage or obscure character-defining historic features. The solar panels installed on the roof will be flush-mounted to the home and will be similar in color to the existing shingle. This will in no way damage or alter the historically defined elements that already exist on the property.”*

Staff Response: The National Park Service website indicates that solar panels installed on historic properties located where they are inconspicuous from the ground tend to meet the Secretary of Interior's Standards for Rehabilitation, but that visibility from the ground does not necessarily preclude meeting the standards. The intent is that the solar system does not negatively impact the historic character of the property. Because this is a contemporary structure, built in 2017, there are no “character-defining historic features” to damage or obscure and, therefore, this request would be in line with the Secretary of Interior's Standards for the Treatment of Historic Properties.

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *“This Project will have roof mounted Solar Panels, so it should not change the existing lots, densities, spacing of the home, lot sizes and shape or other characteristics of the historic district beyond the proposed panels on the roof of the home.”*

Staff Response: This application does not propose to change the existing lots, density, spacing, lot size and shape, or any other characteristic of the historic district. Further, it will not impact the historic fabric of nor detract from the existing historic district because the prevailing patterns mentioned above will remain intact. However, no other structures in the area were observed to have solar panels.

Approval Criteria

e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: *“Not applicable.”*

Staff Response: Because there is no application for Site Plan Review, this criterion is not applicable.

Staff Recommendation: Based on the applicant's responses, the approval criteria may have been satisfied. Therefore, Staff recommends approval.

Notifications

April 17, 2024 HPC Meeting:

- **March 29, 2024:** 675 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District.
- **March 29, 2024 :** This meeting was advertised in the Post and Courier.

May 15, 2024 HPC Meeting

- **April 26, 2024:** 675 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Commission and East Cooper Interested Parties lists, and property owners within the Ten Mile Community Historic District.
- **April 26, 2024 :** This meeting was advertised in the Post and Courier.

Certificate of Historic Appropriateness – Application Form

Owner Information

First Name: Heather *Last Name:* Broadhurst
Mailing Address: 987 Theodore Rd, Awendaw, South Carolina, 29429
Home/Cell Phone #: +18434754233
Email Address: heatherjbroadhurst@gmail.com

Applicant Information (if not being submitted by owner)

First Name: Bryson *Last Name:* Taylor
Mailing Address: 1403 N Research Way, Orem, Utah 84097
Home/Cell Phone: 385-482-0045
Email Address: permitting.department@blueravensolar.com

Property Information

Address: 987 Theodore Rd, Awendaw, South Carolina, 29429
TMS #: 6140000394 *Acres:*
Deed Book/Page Number: *Plat Book/Page Number:*
Zoning District:

Description of proposed activity requiring a Certificate of Historic Appropriateness:

INSTALLATION OF UTILITY INTERACTIVE PHOTOVOLTAIC SOLAR SYSTEM AND WORK NEEDED FOR INSTALLATION.

I (we) certify that Heather Broadhurst is the authorized representative for my (our) Certificate of Historic Appropriateness application.

Heather Broadhurst

Signature of Owner(s)

02 / 12 / 2024

Date

Bryson Taylor

Signature of Applicant (if other than owner)

02 / 09 / 2024

Date

OFFICE USE ONLY

Invoice Number _____

Amount Received _____ ☐ Cash ☐ Check # _____ ☐ Credit Card ☐ Online Invoice

Staff Signature _____

_____ Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a written description of the proposal which requires a Certificate of Historic Appropriateness and the Historic District or Property for which this process is required. Please attach additional paper if more room is needed.

INSTALLATION OF UTILITY INTERACTIVE PHOTOVOLTAIC SOLAR SYSTEM.

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

1 a. Describe the historic, cultural, and architectural significance of the district, site, building, structure, or object which requires a Certificate of Historic Appropriateness to be obtained.

The Ten Mile Community historic district boundary spans both sides of Highway 17 North in the Awendaw area. The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The majority of the Ten Mile Community, specifically the portion south of Highway 17, was formerly the Beehive Plantation. Based on the 1881 Plat of the Beehive Plantation, the southern portion of the community has retained the same boundaries today, less the areas that have been annexed into the Town of Mount Pleasant.

After slavery was abolished in the United States, many of the newly freed slaves, who were also ancestors of the current residents of the Ten Mile Community, settled on Goat Island and Capers Island, the Islands across the Intercoastal Waterway from the Ten Mile Community today. The owners allowed African Americans to live on these islands and work for them. After a major hurricane demolished several areas on these islands, the African Americans built canoes and sailed across the Intercoastal Waterway to the mainland. They then set up residence on the former Beehive Plantation, now known as the Ten Mile Community.

As with most African American settlement communities, the communities were self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs. Christianity was also important to the community. The original residents of the Ten Mile Community first gathered for church at their "Bush Tent." The residents then raised funds to build the first church. The first church was erected in 1881. The present church, Greater Zion A.M.E. is located at the same location on the northern boundary of the Ten Mile Community. Many of the original inhabitants of the Ten Mile Community are buried at the Greater Zion A.M.E. Church cemetery. Additionally, there are grave markers within the Ten Mile neighborhood that date back to 1823.

PART II continued.

1 b. Describe the proposed exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District.

We will be installing a 16 Panel Photovoltaic Solar System on the roof of this home. The Panels themselves will be mounted on the East and South-East facing Planes of the home. The panels will be mounted in a mixed orientation using both a landscape and portrait style orientation on the home. The panels will use a total area of 362.4 square feet on the roof of the home, which has a total area of 1828 square feet, using only 17.9% of the available roof space. Each panel itself if mounted in the Portrait Orientation will be 12" in length, while those that use the Landscape Orientation will be 18" in length. There should be no impact on other homes in the neighborhood.

1 c. Applications for new construction, alteration, repair, rehabilitation, or restoration, describe how the proposed work will use the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Installing mechanical and service equipment on the roof (such as heating and air-conditioning units, elevator housing, or solar panels) when required for a new use so that they are inconspicuous on the site and from the public right-of-way and do not damage or obscure character-defining historic features.

The solar panels installed on the roof will be flush-mounted to the home and will be similar in color to the existing shingle. This will in no way damage or alter the historically defined elements that already exist on the property.

PART II continued.

1 d. Describe how the proposal demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. (This criterion is only applicable to properties within a Historic District; or for Site Plan Review proposals within 300 feet of Historic Districts.)

This Project will have roof mounted Solar Panels, so it should not change the existing lots, densities, spacing of the home, lot sizes and shape or other characteristics of the historic district beyond the proposed panels on the roof of the home.

2. Describe how the proposal minimizes potential negative impacts through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments, etc. (This criterion is only applicable for Site Plan Review proposals on or within 300 feet of a Historic Property).

Not applicable

GENERAL NOTES

CODE AND STANDARDS

- 1. ALL WORK SHALL COMPLY WITH 2017 NATIONAL ELECTRIC CODE (NEC), 2018 INTERNATIONAL BUILDING CODE (IBC), 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 INTERNATIONAL PLUMBING CODE (IPC), AND ALL STATE AND LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- 2. DRAWINGS HAVE BEEN DETAILED ACCORDING TO UL LISTING REQUIREMENTS.

SITE NOTES / OSHA REGULATION

- 1. A LADDER SHALL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS.
- 2. THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE AND THIS SYSTEM IS A UTILITY INTERACTIVE SYSTEM.
- 3. THE SOLAR PV INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL, OR BUILDING ROOF VENTS.
- 4. ROOF COVERINGS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THIS CODE AND THE APPROVED MANUFACTURER'S INSTRUCTIONS SUCH THAT THE ROOF COVERING SHALL SERVE TO PROTECT THE BUILDING OR STRUCTURE.

SOLAR CONTRACTOR

- 1. MODULE CERTIFICATIONS WILL INCLUDE UL1703, IEC61646, IEC61730.
- 2. IF APPLICABLE, MODULE GROUNDING LUGS MUST BE INSTALLED AT THE MARKED GROUNDING LUG HOLES PER THE MANUFACTURER'S INSTALLATION REQUIREMENTS.
- 3. AS INDICATED BY DESIGN, OTHER NRTL LISTED MODULE GROUNDING DEVICES MAY BE USED IN PLACE OF STANDARD GROUNDING LUGS AS SHOWN IN MANUFACTURER DOCUMENTATION AND APPROVED BY THE AHJ.
- 4. CONDUIT AND WIRE SPECIFICATIONS ARE BASED ON MINIMUM CODE REQUIREMENTS AND ARE NOT MEANT TO LIMIT UP-SIZING AS REQUIRED BY FIELD CONDITIONS.
- 5. CONDUIT POINT OF PENETRATION FROM EXTERIOR TO INTERIOR TO BE INSTALLED AND SEALED WITH A SUITABLE SEALING COMPOUND.
- 6. DC WIRING LIMITED TO MODULE FOOTPRINT W/ ENPHASE AC SYSTEM.
- 7. ENPHASE WIRING SYSTEMS SHALL BE LOCATED AND SECURED UNDER THE ARRAY W/ SUITABLE WIRING CLIPS.
- 8. MAX DC VOLTAGE CALCULATED USING MANUFACTURER PROVIDED TEMP COEFFICIENT FOR VOC UNLESS NOT AVAILABLE.
- 9. ALL INVERTERS, MOTOR GENERATORS, PHOTOVOLTAIC MODULES, PHOTOVOLTAIC PANELS, AC PHOTOVOLTAIC MODULES, DC COMBINERS, DC-TO-DC CONVERTERS,SOURCE CIRCUIT COMBINERS, AND CHARGE CONTROLLERS INTENDED FOR USE IN A PHOTOVOLTAIC POWER SYSTEM WILL BE IDENTIFIED AND LISTED FOR THE APPLICATION PER NEC 690.4(B).
- 10. ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL BUILDING CODE.
- 11. TERMINALS AND LUGS WILL BE TIGHTENED TO MANUFACTURER TORQUE SPECIFICATIONS (WHEN PROVIDED) IN ACCORDANCE WITH NEC CODE 110.14(D) ON ALL ELECTRICAL CONNECTIONS.

EQUIPMENT LOCATIONS

- 1. PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL BE PROVIDED AS PER SECTION NEC 110.26.
- 2. EQUIPMENT INSTALLED IN DIRECT SUNLIGHT MUST BE RATED FOR EXPECTED OPERATING TEMPERATURE AS SPECIFIED BY NEC 690.31(A) AND NEC TABLE 310.15(B).
- 3. ALL EQUIPMENT SHALL BE INSTALLED ACCESSIBLE TO QUALIFIED PERSONNEL ACCORDING TO NEC APPLICABLE CODES.
- 4. ALL COMPONENTS ARE LISTED FOR THEIR PURPOSE AND RATED FOR OUTDOOR USAGE WHEN APPROPRIATE.

PROJECT INFORMATION:

NUMBER OF STORIES: 1
CONDUIT RUN: Interior
ECOBEE QTY: 0
LIGHT BULB QTY: 0
PV METER: Not Required

ROOF TYPE (1) INFORMATION:

ROOF TYPE: Comp Shingle
FRAMING TYPE: Manufactured Truss
SHEATHING TYPE: OSB
ATTACHMENT: Flashloc Duo
RACKING: Unirac Solarmount LT @ 12" OC Portrait / 18" OC Landscape
NUMBER OF ATTACHMENTS: 112

ROOF TYPE (2) INFORMATION (IF APPLICABLE):
*SEE PV4.2

SYSTEM TO BE INSTALLED INFORMATION:

DC SYSTEM SIZE: 6.48 kW DC
AC SYSTEM SIZE: 4.64 kW AC
MODULE TYPE: (16) Seraphim SEG-405-BMD-TB
INVERTER TYPE: Enphase IQ8PLUS-72-2-US
MONITORING: Enphase IQ Combiner 4 X-IQ-AM1-240-4

AERIAL VIEW



Sealed For
Existing Roof &
Attachment Only



DESIGN CRITERIA

WIND SPEED: 142 mph
GROUND SNOW LOAD: 5 lb/ft²
WIND EXPOSURE FACTOR: C
SEISMIC DESIGN CATEGORY: B

SITE SPECIFICATIONS

CONSTRUCTION - V-B
ZONING: RESIDENTIAL

SCOPE OF WORK

INSTALLATION OF UTILITY INTERACTIVE PHOTOVOLTAIC SOLAR SYSTEM AND ANY NECESSARY ADDITIONAL WORK NEEDED FOR INSTALLATION.

SHEET INDEX

PV1 - COVER SHEET
PV2 - SITE PLAN
PV3 - ROOF PLAN
PV4 - STRUCTURAL
PV5 - ELECTRICAL 3-LINE DIAGRAM
PV6 - ELECTRICAL CALCULATIONS
PV7 - WARNING LABELS AND LOCATIONS
SS - PRODUCT SPEC. SHEETS

9/14/23
Digitally signed by
John A. Calvert
Date: 2023.09.14
17:08:50 -06'00'

UTILITY COMPANY:

Berkeley Electric Cooperative (BEC)

PERMIT ISSUER:

Charleston County



1403 N. Research Way
Orem, UT 84097
800.377.4480
WWW.BLUERAVENSOLAR.COM

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PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
800-377-4480

CUSTOMER INFORMATION:
Heather Broadhurst
987 Theodore Rd
Awendaw South Carolina 29429
AC SYSTEM SIZE: 4.64 kW AC
DC SYSTEM SIZE: 6.48 kW DC

DRAWING BY:
Brendan Fillmore

PLOT DATE:
September 14, 2023

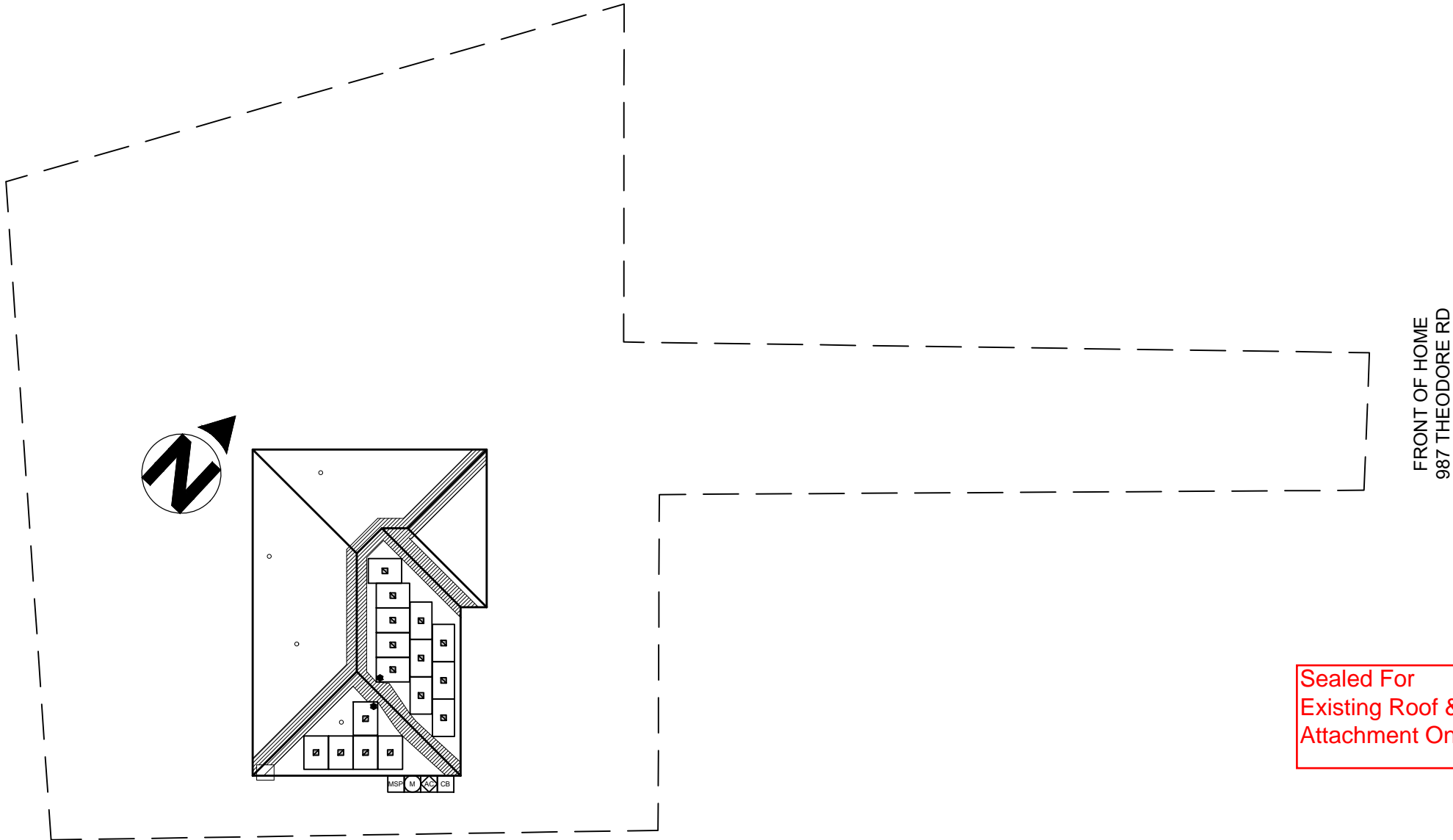
PROJECT NUMBER:
858317

SHEET NAME:
COVER SHEET

REVISION: 0
PAGE NUMBER: PV1

PV SYSTEM SPECIFICATIONS
TOTAL NUMBER OF MODULES: 16
MODULE MAKE AND MODEL: Seraphim SEG-405-BMD-TB
MODULE WATTAGE: 405W DC

INVERTER MAKE AND MODEL: Enphase IQ8PLUS-72-2-US
INVERTER TYPE: Microinverter (1 Inverter per PV Module)
INVERTER CURRENT OUTPUT: 1.21A AC
INVERTER NOMINAL VOLTAGE: 240V
INVERTER WATTAGE: 290W AC



LEGEND

- JUNCTION BOX
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- SUBPANEL
- PV METER
- TRANSFER SWITCH
- SUNPOWER ESS
- SUNPOWER HUB+
- REMOTE POWER OFF
- FIRE SETBACK
- TRENCHING
- PROPERTY LINE

SCALE: 3/64" = 1'-0"



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IN CONNECTION WITH THE SALE AND
USE OF THE RESPECTIVE EQUIPMENT,
WITHOUT THE WRITTEN PERMISSION
OF BLUE RAVEN SOLAR LLC.



CONTRACTOR:
BRS FIELD OPS
800-377-4480

CUSTOMER INFORMATION:
Heather Broadhurst
987 Theodore Rd
Awendaw South Carolina 29429
AC SYSTEM SIZE: 4.64 kW AC
DC SYSTEM SIZE: 6.48 kW DC

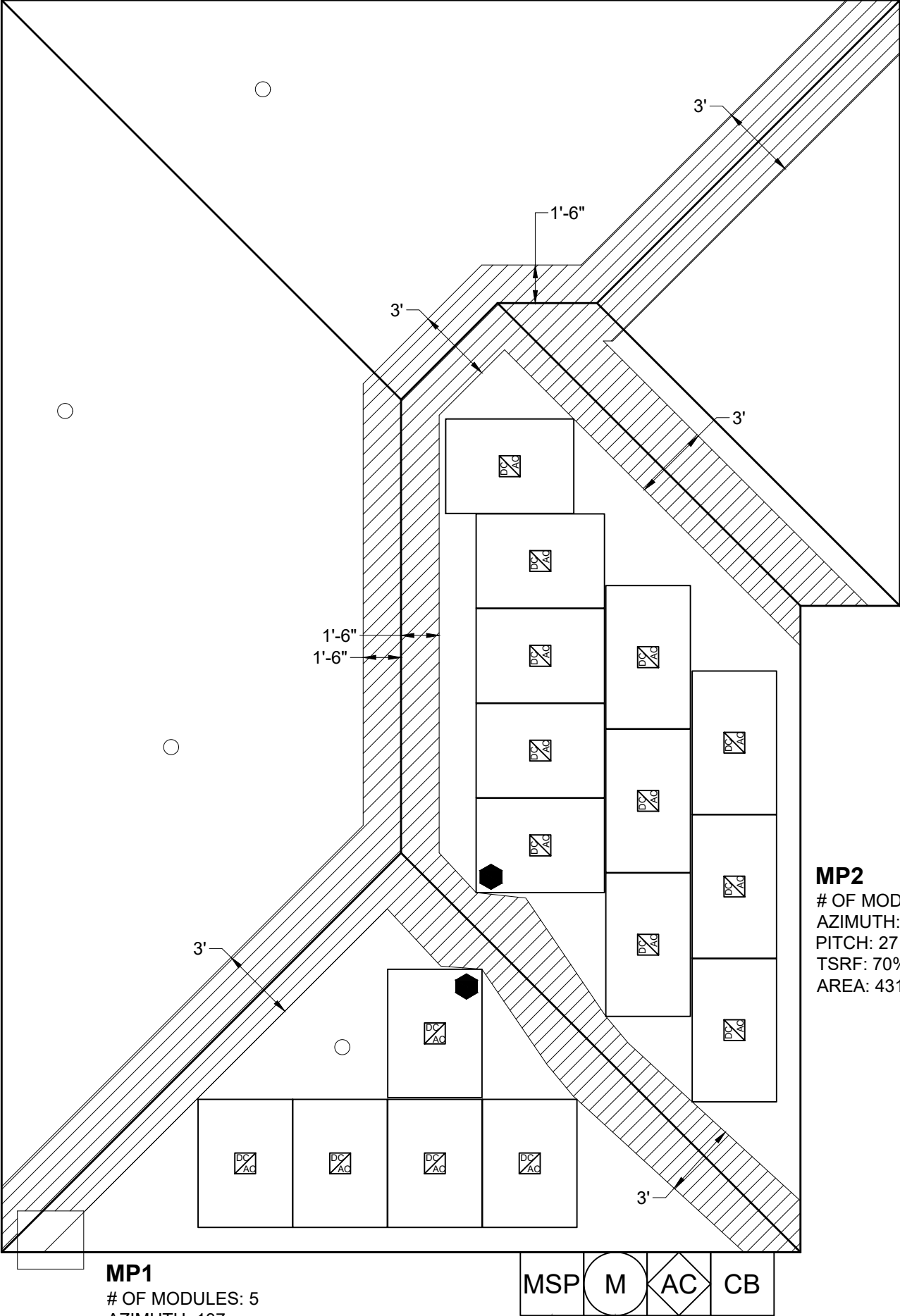
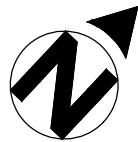


9/14/23

DRAWING BY: Brendan Fillmore	
PLOT DATE: September 14, 2023	
PROJECT NUMBER: 858317	
SHEET NAME: SITE PLAN	
REVISION: 0	PAGE NUMBER: PV2

PV SYSTEM SPECIFICATIONS
TOTAL NUMBER OF MODULES: 16
MODULE MAKE AND MODEL: Seraphim SEG-405-BMD-TB
MODULE WATTAGE: 405W DC

INVERTER MAKE AND MODEL: Enphase IQ8PLUS-72-2-US
INVERTER TYPE: Microinverter (1 Inverter per PV Module)
INVERTER CURRENT OUTPUT: 1.21A AC
INVERTER NOMINAL VOLTAGE: 240V
INVERTER WATTAGE: 290W AC



MP1
OF MODULES: 5
AZIMUTH: 137
PITCH: 27
TSRF: 86%
AREA: 275 ft.²

MP2
OF MODULES: 11
AZIMUTH: 47
PITCH: 27
TSRF: 70%
AREA: 431 ft.²

POINT OF INTERCONNECTION UNDERGROUND SERVICE LINE

FRONT OF HOME

Sealed For
Existing Roof &
Attachment Only



9/14/23

LEGEND

JUNCTION BOX

UTILITY METER

MAIN SERVICE PANEL

AC DISCONNECT

COMBINER BOX

LOAD CENTER

SUBPANEL

PV METER

TRANSFER SWITCH

SUNPOWER ESS

SUNPOWER HUB+

REMOTE POWER OFF

FIRE SETBACK

TRENCHING

PROPERTY LINE

SCALE: 3/16" = 1'-0"

1403 N. Research Way
Orem, UT 84097
800.377.4480
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OF BLUE RAVEN SOLAR LLC.

PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
800-377-4480

CUSTOMER INFORMATION:
Heather Broadhurst
987 Theodore Rd
Awendaw South Carolina 29429
AC SYSTEM SIZE: 4.64 kW AC
DC SYSTEM SIZE: 6.48 kW DC

DRAWING BY:
Brendan Fillmore

PLOT DATE:
September 14, 2023

PROJECT NUMBER:
858317

SHEET NAME:
ROOF PLAN

REVISION:
0

PAGE NUMBER:
PV3

PV4

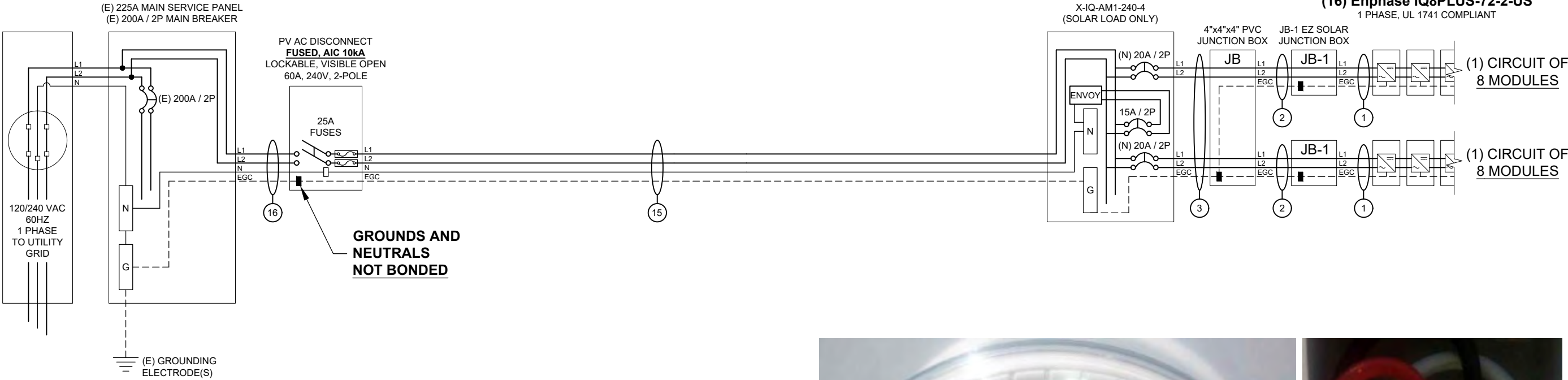
15	(1) 10 AWG THHN/THWN-2, CU., BLACK (L1)	19.4 A AC	3	(2) 10 AWG THHN/THWN-2, CU., BLACK (L1)	MAX 9.7 A AC	2	(1) 10 AWG THHN/THWN-2, CU., BLACK (L1)	MAX 9.7 A AC	1	(1) 12-2 TC-ER, THHN/THWN-2, CU.	MAX 9.7 A AC
	(1) 10 AWG THHN/THWN-2, CU., RED (L2)	240 V AC		(2) 10 AWG THHN/THWN-2, CU., RED (L2)	240 V AC		(1) 10 AWG THHN/THWN-2, CU., RED (L2)	240 V AC		(1) 6 AWG BARE, CU (EGC)	240 V AC
	(1) 6 AWG THHN/THWN-2, CU., WHITE (N)			(1) 10 AWG THHN/THWN-2, CU., GREEN (EGC)			(1) 10 AWG THHN/THWN-2, CU., GREEN (EGC)				
	(1) 10 AWG THHN/THWN-2, CU., GREEN (EGC)						OR 10- 2 UF-B W/G (OR NM-B), THHN/THWN-2, SOLID CU.				
16	(1) 3/4 INCH EMT	EXTERIOR		(1) 3/4 INCH EMT	EXTERIOR		(1) 3/4 INCH EMT (Not Required for UF-B or NM-B Cable)	INTERIOR			EXTERIOR
	(1) 6 AWG THHN/THWN-2, CU., BLACK (L1)	19.4 A AC									
	(1) 6 AWG THHN/THWN-2, CU., RED (L2)	240 V AC									
	(1) 6 AWG THHN/THWN-2, CU., WHITE (N)										
	(1) 8 AWG THHN/THWN-2, CU., GREEN (EGC)										
	(1) 3/4 INCH EMT	EXTERIOR									

DESIGNER NOTES:

SUPPLY SIDE TAP, EXTERIOR POI.

ELECTRICAL NOTES:

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INTERCONNECTION NOTES

705.11 AN ELECTRIC POWER PRODUCTION SOURCE, WHERE CONNECTED TO THE SUPPLY SIDE OF THE SERVICE DISCONNECTING MEANS AS PERMITTED IN 230.82(6), SHALL COMPLY WITH 705.11 (A) THROUGH (E).




UTILITY COMPANY: Berkeley Electric Cooperative (BEC) PERMIT ISSUER: Charleston County



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DC SYSTEM SIZE: 6.48 kW DC

DRAWING BY: Brendan Fillmore	
PLOT DATE: September 14, 2023	
PROJECT NUMBER: 858317	
SHEET NAME: ELECTRICAL	
REVISION: 0	PAGE NUMBER: PV5

MODULE SPECIFICATIONS	Seraphim SEG-405-BMD-TB
RATED POWER (STC)	405 W
MODULE VOC	37.22 V DC
MODULE VMP	30.93 V DC
MODULE IMP	13.1 A DC
MODULE ISC	13.7 A DC
VOC CORRECTION	-0.26 %/°C
VMP CORRECTION	-0.34 %/°C
SERIES FUSE RATING	25 A DC
ADJ. MODULE VOC @ ASHRAE LOW TEMP	40.3 V DC
ADJ. MODULE VMP @ ASHRAE 2% AVG. HIGH TEMP	26.6 V DC

MICROINVERTER SPECIFICATIONS	Enphase IQ8+ Microinverters		
POWER POINT TRACKING (MPPT) MIN/MAX	30 -	58	V DC
MAXIMUM INPUT VOLTAGE			60 V DC
MAXIMUM DC SHORT CIRCUIT CURRENT			15 A DC
MAXIMUM USABLE DC INPUT POWER			440 W
MAXIMUM OUTPUT CURRENT			1.21 A AC
AC OVERCURRENT PROTECTION			20 A
MAXIMUM OUTPUT POWER			290 W
CEC WEIGHTED EFFICIENCY			97 %

AC PHOTOVOLTAIC MODULE MARKING (NEC 690.52)		
NOMINAL OPERATING AC VOLTAGE		240 V AC
NOMINAL OPERATING AC FREQUENCY	47 - 68 HZ AC	
MAXIMUM AC POWER		240 VA AC
MAXIMUM AC CURRENT		1.0 A AC
MAXIMUM OCPD RATING FOR AC MODULE		20 A AC

DESIGN LOCATION AND TEMPERATURES	
TEMPERATURE DATA SOURCE	ASHRAE 2% AVG. HIGH TEMP
STATE	South Carolina
CITY	Awendaw
WEATHER STATION	CHARLESTON INTL ARPT
ASHRAE EXTREME LOW TEMP (°C)	-7
ASHRAE 2% AVG. HIGH TEMP (°C)	34

SYSTEM ELECTRICAL SPECIFICATIONS	CIR 1	CIR 2	CIR 3	CIR 4	CIR 5	CIR 6
NUMBER OF MODULES PER MPPT	8	8				
DC POWER RATING PER CIRCUIT (STC)	3240	3240				
TOTAL MODULE NUMBER	16					
STC RATING OF ARRAY	6480					
AC CURRENT @ MAX POWER POINT (IMP)	9.7	9.7				
MAX. CURRENT (IMP X 1.25)	12.1	12.1				
OCPD CURRENT RATING PER CIRCUIT	20	20				
MAX. COMB. ARRAY AC CURRENT (IMP)	19.4					
MAX. ARRAY AC POWER	4640W AC					

AC VOLTAGE RISE CALCULATIONS	DIST (FT)	COND.	√RISE(V)	VEND(V)	%VRISE
VRISE SEC. 1 (MICRO TO JBOX)	28.8	12 Cu.	0.93	240.93	0.39%
VRISE SEC. 2 (JBOX TO COMBINER BOX)	30	10 Cu.	0.74	240.74	0.31%
VRISE SEC. 3 (COMBINER BOX TO POI)	10	10 Cu.	0.49	240.49	0.20%
TOTAL VRISE			2.16	242.16	0.90%

PHOTOVOLTAIC AC DISCONNECT OUTPUT LABEL (NEC 690.54)	
AC OUTPUT CURRENT	19.4 A AC
NOMINAL AC VOLTAGE	240 V AC

CONDUCTOR SIZE CALCULATIONS			
MICROINVERTER TO JUNCTION BOX (1)	MAX. SHORT CIRCUIT CURRENT (ISC) =	9.7 A AC	
	MAX. CURRENT (ISC X1.25) =	12.1 A AC	
	CONDUCTOR (TC-ER, COPPER (90°C)) =	12 AWG	
	CONDUCTOR RATING =	30 A	
	AMB. TEMP. AMP. CORRECTION =	0.96	
	ADJUSTED AMP. =	28.8	> 12.1
JUNCTION BOX TO JUNCTION BOX (2)	MAX. SHORT CIRCUIT CURRENT (ISC) =	9.7 A AC	
	MAX. CURRENT (ISC X1.25) =	12.1 A AC	
	CONDUCTOR (UF-B, COPPER (60°C)) =	10 AWG	
	CONDUCTOR RATING =	30 A	
	CONDUIT FILL DERATE =	1	
	AMB. TEMP. AMP. CORRECTION =	0.96	
JUNCTION BOX TO COMBINER BOX (3)	MAX. SHORT CIRCUIT CURRENT (ISC) =	9.7 A AC	
	MAX. CURRENT (ISC X1.25) =	12.1 A AC	
	CONDUCTOR (UF-B, COPPER (60°C)) =	10 AWG	
	CONDUCTOR RATING =	30 A	
	CONDUIT FILL DERATE =	0.8	
	AMB. TEMP. AMP. CORRECTION =	0.96	
COMBINER BOX TO MAIN PV OCPD (15)	INVERTER RATED AMPS =	19.4 A AC	
	MAX. CURRENT (RATED AMPS X1.25) =	24.2 A AC	
	CONDUCTOR (THWN-2, COPPER (75°C TERM.)) =	10 AWG	
	CONDUCTOR RATING =	35 A	
	CONDUIT FILL DERATE =	1	
	AMB. TEMP. AMP. CORRECTION =	0.96	
	ADJUSTED AMP. =	33.6	> 24.2



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GROUNDING NOTES

1. A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH [NEC 690.47] AND [NEC 250.50-60] SHALL BE PROVIDED. PER [NEC 690.47], THE GROUNDING ELECTRODE SYSTEM OF AN EXISTING BUILDING MAY BE USED AND BE BONDED AT THE SERVICE ENTRANCE. IF EXISTING SYSTEM IS INACCESSIBLE, OR INADEQUATE, OR IS ONLY METALLIC WATER PIPING, A SUPPLEMENTAL GROUNDING ELECTRODE WILL BE USED AT THE INVERTER LOCATION CONSISTING OF A UL LISTED 8 FT GROUND ROD WITH ACORN CLAMP.
2. THE GROUNDING ELECTRODE CONDUCTOR SHALL BE PROTECTED FROM PHYSICAL DAMAGE BETWEEN THE GROUNDING ELECTRODE AND THE PANEL (OR INVERTER) IF SMALLER THAN #6 AWG COPPER WIRE PER [NEC 250.64(B)]. THE GROUNDING ELECTRODE CONDUCTOR WILL BE CONTINUOUS, EXCEPT FOR SPLICES OR JOINTS AT BUSBARS WITHIN LISTED EQUIPMENT PER [NEC 250.64(C)].
3. GROUNDING ELECTRODE CONDUCTORS SHALL BE NO LESS THAN 8 AWG AND NO GREATER THAN 6 AWG COPPER AND BONDED TO THE EXISTING GROUNDING ELECTRODE TO PROVIDE FOR A COMPLETE SYSTEM.
4. PV SYSTEM SHALL BE GROUNDED IN ACCORDANCE TO [NEC 250.21], [NEC TABLE 250.122], AND ALL METAL PARTS OR MODULE FRAMES ACCORDING TO [NEC 690.46].
5. MODULE SOURCE CIRCUITS SHALL BE GROUNDED IN ACCORDANCE TO [NEC 690.42].
6. THE GROUNDING CONNECTION TO A MODULE SHALL BE ARRANGED SUCH THAT THE REMOVAL OF A MODULE DOES NOT INTERRUPT A GROUNDED CONDUCTOR TO ANOTHER MODULE.
7. EACH MODULE WILL BE GROUNDED USING THE SUPPLIED CONNECTION POINTS IDENTIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. ENCLOSURES SHALL BE PROPERLY PREPARED WITH REMOVAL OF PAINT/FINISH AS APPROPRIATE WHEN GROUNDING EQUIPMENT WITH TERMINATION GROUNDING LUGS.
9. GROUNDING SYSTEM COMPONENTS SHALL BE LISTED FOR THEIR PURPOSE, AND GROUNDING DEVICES EXPOSED TO THE ELEMENTS SHALL BE RATED FOR DIRECT BURIAL.
10. GROUNDING AND BONDING CONDUCTORS SHALL BE COPPER, SOLID OR STRANDED, AND BARE WHEN EXPOSED.
11. EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED ACCORDING TO [NEC 690.45] AND BE A MINIMUM OF 10 AWG WHEN NOT EXPOSED TO DAMAGE (6 AWG SHALL BE USED WHEN EXPOSED TO DAMAGE).
12. GROUNDING AND BONDING CONDUCTORS, IF INSULATED, SHALL BE COLOR CODED GREEN (OR MARKED GREEN IF 4 AWG OR LARGER).
13. ALL CONDUIT BETWEEN THE UTILITY AC DISCONNECT AND THE POINT OF CONNECTION SHALL HAVE GROUNDED BUSHINGS AT BOTH ENDS.
14. SYSTEM GEC SIZED ACCORDING TO [NEC 690.47], [NEC TABLE 250.66], DC SYSTEM GEC SIZED ACCORDING TO [NEC 250.166], MINIMUM 8 AWG WHEN INSULATED, 6 AWG WHEN EXPOSED TO DAMAGE.
15. EXPOSED NON-CURRENT CARRYING METAL PARTS OF MODULE FRAMES, EQUIPMENTS, AND CONDUCTOR ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH [NEC 250.134] OR [NEC 250.136(A)] REGARDLESS OF VOLTAGE.

WIRING & CONDUIT NOTES

1. ALL CONDUIT SIZES AND TYPES, SHALL BE LISTED FOR ITS PURPOSE AND APPROVED FOR THE SITE APPLICATIONS.
2. BOLTED CONNECTION REQUIRED IN DC DISCONNECTS ON THE WHITE GROUNDED CONDUCTOR (USE POLARIS BLOCK OR NEUTRAL BAR).
3. ANY CONNECTION ABOVE LIVE PARTS MUST BE WATERTIGHT. REDUCING WASHERS DISALLOWED ABOVE LIVE PARTS, MEYERS HUBS RECOMMENDED
4. UV RESISTANT CABLE TIES (NOT ZIP TIES) USED FOR PERMANENT WIRE MANAGEMENT OFF THE ROOF SURFACE IN ACCORDANCE WITH [NEC 110.2.110.3(A-B)].
5. SOLADECK JUNCTION BOXES MOUNTED FLUSH WITH ROOF SURFACE TO BE USED FOR WIRE MANAGEMENT AND AS FLASHED ROOF PENETRATIONS FOR INTERIOR CONDUIT RUNS.
6. ALL PV CABLES AND HOMERUN WIRES BE TYPE USE-2, AND SINGLE-CONDUCTOR CABLE LISTED AND IDENTIFIED AS PV WIRE, TYPE TC-ER, OR EQUIVALENT; ROUTED TO SOURCE CIRCUIT COMBINER BOXES AS REQUIRED.
7. ALL CONDUCTORS AND OCPD SIZES AND TYPES SPECIFIED ACCORDING TO [NEC 690.8] FOR MULTIPLE CONDUCTORS.
8. ALL PV DC CONDUCTORS IN CONDUIT EXPOSED TO SUNLIGHT SHALL BE INSTALLED AT LEAST 7/8" ABOVE THE ROOF SURFACE AND DERATED ACCORDING TO [NEC TABLE 310.15 (B)(2)(A)], [NEC TABLE 310.15(B)(3)(A)],& [NEC 310.15(B)(3)(C)].
9. EXPOSED ROOF PV DC CONDUCTORS SHALL BE USE-2, 90°C RATED, WET AND UV RESISTANT, AND UL LISTED RATED FOR 600V, UV RATED SPIRAL WRAP SHALL BE USED TO PROTECT WIRE FROM SHARP EDGES.
10. PHASE AND NEUTRAL CONDUCTORS SHALL BE DUAL RATED THHN/THWN-2 INSULATED, 90°C RATED, WET AND UV RESISTANT, RATED FOR 600V
11. 4-WIRE DELTA CONNECTED SYSTEMS HAVE THE PHASE WITH THE HIGHER VOLTAGE TO GROUND MARKED ORANGE OR IDENTIFIED BY OTHER EFFECTIVE MEANS.
12. ALL SOURCE CIRCUITS SHALL HAVE INDIVIDUAL SOURCE CIRCUIT PROTECTION
13. VOLTAGE DROP LIMITED TO 2% FOR DC CIRCUITS AND 3% FOR AC CIRCUITS
14. NEGATIVE GROUNDED SYSTEMS DC CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS: DC POSITIVE- RED (OR MARKED RED), DC NEGATIVE- GREY (OR MARKED GREY)
15. POSITIVE GROUNDED SYSTEMS DC CONDUCTORS COLOR CODED: DC POSITIVE- GREY (OR MARKED GREY), DC NEGATIVE- BLACK (OR MARKED BLACK)
16. AC CONDUCTORS >4AWG COLOR CODED OR MARKED: PHASE A OR L1- BLACK, PHASE B OR L2- RED, PHASE C OR L3- BLUE, NEUTRAL- WHITE/GRAY
- * USE-2 IS NOT INDOOR RATED BUT PV CABLE IS RATED THWN/THWN-2 AND MAY BE USED INSIDE
- ** USE-2 IS AVAILABLE AS UV WHITE
17. RIGID CONDUIT, IF INSTALLED, (AND/OR NIPPLES) MUST HAVE A PULL BUSHING TO PROTECT WIRES.
18. IF CONDUIT DETERMINED TO BE RAN THROUGH ATTIC IN FIELD THEN CONDUIT WILL BE EITHER EMT, FMC, OR MC CABLE IF DC CURRENT COMPLYING WITH [NEC 690.31], [NEC 250.118(10)]. DISCONNECTING MEANS SHALL COMPLY WITH [NEC 690.13] AND [NEC 690.15].
19. CONDUIT RAN THROUGH ATTIC WILL BE AT LEAST 18" BELOW ROOF SURFACE COMPLYING WITH [NEC 230.6(4)] AND SECURED NO GREATER THAN 6' APART PER [NEC 330.30(B)].

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DC SYSTEM SIZE: 6.48 kW D

DRAWING BY:

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PLOT DATE:
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SHEET NAME:

ELEC CALCS

REVISION:	PAGE NUMBER:
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STANDARD LABELS

⚠️

WARNING

ELECTRIC SHOCK HAZARD

TERMINALS ON THE LINE AND
LOAD SIDES MAY BE ENERGIZED
IN THE OPEN POSITION

PHOTOVOLTAIC SYSTEM

⚠️

AC DISCONNECT

⚠️

RATED AC OUTPUT CURRENT 19.36 A
NOMINAL OPERATING AC VOLTAGE 240 V

⚠️

WARNING

DUAL POWER SUPPLY

SOURCES: UTILITY GRID AND
PV SOLAR ELECTRIC SYSTEM

⚠️

WARNING

POWER SOURCE OUTPUT CONNECTION

DO NOT RELOCATE
THIS OVERCURRENT
DEVICE

⚠️

WARNING

THIS EQUIPMENT FED BY MULTIPLE
SOURCES. TOTAL RATING OF ALL
OVERCURRENT DEVICES, EXCLUDING
MAIN SUPPLY OVERCURRENT
DEVICE, SHALL NOT EXCEED
AMPACITY OF BUSBAR.

SOLAR PV SYSTEM EQUIPPED
WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN
SWITCH TO THE
"OFF" POSITION TO
SHUT DOWN PV SYSTEM
AND REDUCE
SHOCK HAZARD
IN THE ARRAY

RAPID SHUTDOWN
SWITCH FOR
SOLAR PV SYSTEM

LABELING NOTES

1) LABELS CALLED OUT ACCORDING TO ALL COMMON CONFIGURATIONS. ELECTRICIAN TO DETERMINE EXACT REQUIREMENTS IN THE FIELD PER CURRENT NEC AND LOCAL CODES AND MAKE APPROPRIATE ADJUSTMENTS.

2) LABELING REQUIREMENTS BASED ON THE 2017 & 2020 NEC CODE, OSHA STANDARD 19010.145, ANSIZ535.

3) MATERIAL BASED ON THE REQUIREMENTS OF THE AHJ.

4) LABELS TO BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED AND SHALL NOT BE HANDWRITTEN [NEC 110.21]

LABEL 1

FOR PV SYSTEM DISCONNECTING MEANS WHERE THE LINE AND LOAD TERMINALS MAY BE ENERGIZED IN THE OPEN POSITION.

[2017 NEC 690.13(B)]
[2020 NEC 690.13(B)]

LABEL 2

SHALL BE MARKED AT AN ACCESSIBLE LOCATION AT THE DISCONNECTING MEANS AS A POWER SOURCE AND WITH THE RATED AC OUTPUT CURRENT AND THE NOMINAL OPERATING AC VOLTAGE.

[2017 NEC 690.54]
[2020 NEC 690.54]

LABEL 3

IF INTERCONNECTING LOAD SIDE, INSTALL THIS LABEL ANYWHERE THAT IS POWERED BY BOTH THE UTILITY AND THE SOLAR PV SYSTEM, IE. MAIN SERVICE PANEL AND SUBPANELS.

[2017 NEC 705.12(B)(3)]
[2020 NEC 705.12(B)(3)]

LABEL 4

APPLY TO THE DISTRIBUTION EQUIPMENT ADJACENT TO THE BACK-FED BREAKER FROM THE POWER SOURCE.

[2017 NEC 705.12(B)(2)(3)(b)]
[2020 NEC 705.12(B)(3)(2)]

LABEL 5

APPLY TO THE PV COMBINER BOX

[2017 NEC 705.12(B)(2)(3)(c)]
[2020 NEC 705.12(B)(3)(3)]

LABEL 6

BUILDINGS WITH PV SYSTEMS SHALL HAVE A PERMANENT LABEL LOCATED AT EACH SERVICE EQUIPMENT LOCATION TO WHICH THE PV SYSTEMS ARE CONNECTED OR AT AN APPROVED READILY VISIBLE LOCATION AND SHALL INDICATE THE LOCATION OF RAPID SHUTDOWN INITIATION DEVICES.

[2017 NEC 690.56(C)(1)(a)]
[2020 NEC 690.56(C)]

LABEL 7

SIGN LOCATED AT RAPID SHUT DOWN DISCONNECT SWITCH

[2017 NEC 690.56(C)(3)]
[2020 NEC 690.56(C)(2)]

⚠️

WARNING

MAIN DISTRIBUTION UTILITY DISCONNECT(S)

POWER TO THIS BUILDING IS ALSO SUPPLIED
FROM A ROOF MOUNTED SOLAR ARRAY WITH
A RAPID SHUTDOWN DISCONNECTING MEANS
GROUPED AND LABELED WITHIN LINE OF SITE
AND 10 FT OF THIS LOCATION

⚠️

WARNING

POWER TO THIS BUILDING IS ALSO
SUPPLIED FROM MAIN DISTRIBUTION
UTILITY DISCONNECT LOCATED

⚠️

WARNING

POWER TO THIS BUILDING IS ALSO SUPPLIED
FROM A ROOF MOUNTED SOLAR ARRAY. SOLAR
ARRAY RAPID SHUTDOWN DISCONNECT IS
LOCATED OUTSIDE NEXT TO THE UTILITY METER.

⚠️

WARNING

PHOTOVOLTAIC SYSTEM
COMBINER PANEL

DO NOT ADD LOADS

LABEL 8

PERMANENT PLAQUE OR DIRECTORY DENOTING THE LOCATION OF ALL ELECTRIC POWER SOURCE DISCONNECTING MEANS ON OR IN THE PREMISES SHALL BE INSTALLED AT EACH SERVICE EQUIPMENT LOCATION AND AT THE LOCATION(S) OF THE SYSTEM DISCONNECT(S) FOR ALL ELECTRIC POWER PRODUCTION SOURCES CAPABLE OF BEING INTERCONNECTED.

[2017 NEC 705.10]
[2020 NEC 705.10]

LABEL 9

PERMANENT PLAQUE OR DIRECTORY DENOTING THE LOCATION OF ALL ELECTRIC POWER SOURCE DISCONNECTING MEANS ON OR IN THE PREMISES SHALL BE INSTALLED AT EACH SERVICE EQUIPMENT LOCATION AND AT THE LOCATION(S) OF THE SYSTEM DISCONNECT(S) FOR ALL ELECTRIC POWER PRODUCTION SOURCES CAPABLE OF BEING INTERCONNECTED.

[2017 NEC 705.10]
[2020 NEC 705.10]

LABEL 10

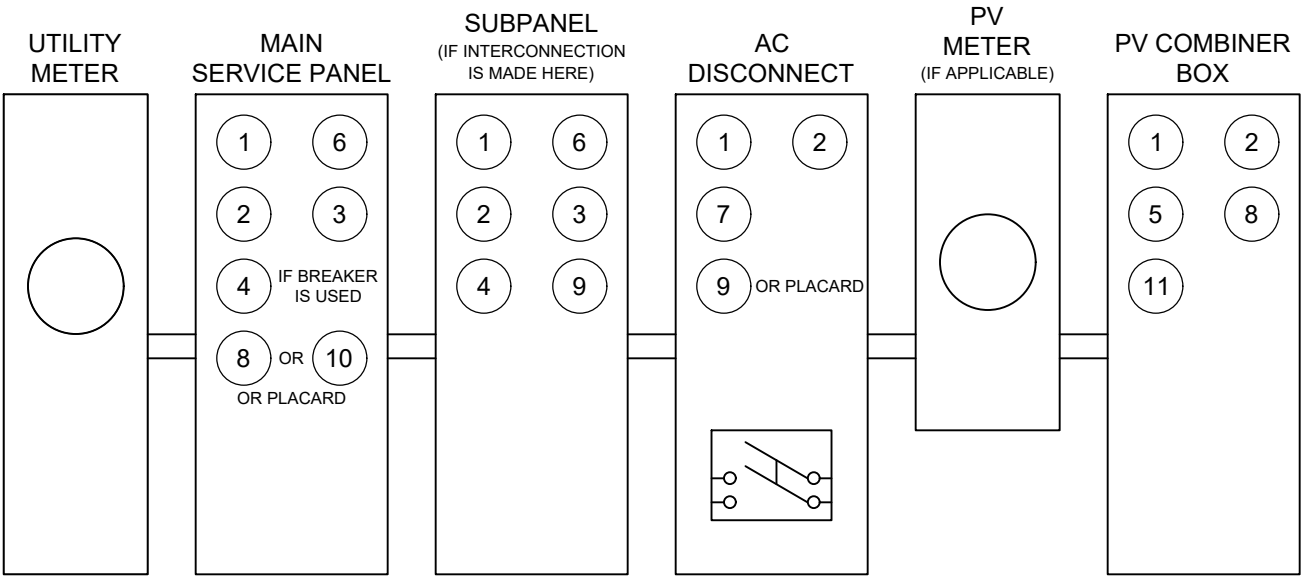
PERMANENT PLAQUE OR DIRECTORY TO BE LOCATED AT MAIN SERVICE EQUIPMENT DENOTING THE LOCATION OF THE RAPID SHUTDOWN SYSTEM DISCONNECTING MEANS IF SOLAR ARRAY RAPID SHUTDOWN DISCONNECTING SWITCH IS NOT GROUPED AND WITHIN LINE OF SITE OF MAIN SERVICE DISCONNECTING MEANS.

[2017 NEC 705.10 AND 690.56(C)(1)(a)]
[2020 NEC 705.10 AND 690.56(C)]

LABEL 11

PERMANENT PLAQUE OR DIRECTORY TO BE LOCATED AT AC COMBINER PANEL.

[2017 NEC 110.21(B)]
[2020 NEC 110.21(B)]



*ELECTRICAL DIAGRAM SHOWN ABOVE IS FOR LABELING PURPOSES ONLY. NOT AN ACTUAL REPRESENTATION OF EQUIPMENT AND CONNECTIONS TO BE INSTALLED. LABEL LOCATIONS PRESENTED MAY VARY DEPENDING ON TYPE OF INTERCONNECTION METHOD AND LOCATION PRESENTED ON 3 LINE DIAGRAM. 3 LINE DIAGRAM ON PV5 TO REFLECT ACTUAL REPRESENTATION OF PROPOSED SCOPE OF WORK.



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PV7



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CONTRACTOR:
BRS FIELD OPS
385-498-6700

DRAWING BY:

PLOT DATE:

PROJECT NUMBER:

SHEET NAME:

SPEC SHEET

REVISION:

PAGE NUMBER:

SS

SIV SERIES

Small Changes, Big Accomplishments

405-420W



• SIV SERIES

SEG Solar INC. (SEG) redefined the high-efficiency module series by integrating 182mm silicon wafers with multi-busbar and half-cut cell technologies. SEG panel combined creative technology effectively and extremely improved the module efficiency and power output.

• KEY FEATURES

- The transmittance of 400~1100nm band in the transparent region is ≥90%
- Using POE or EVA package, there is no need to worry about component power attenuation caused by PID
- A transparent backsheet reduces module weight by 30%, resulting in reduced shipping and installation costs
- Through ultraviolet 500kWh/m2 strict test, fully meet the requirements of 25 years of use of the modules
- Timely release of packaging material decomposition of acetic acid, effectively reduce the concentration of aceticacid modules
- PVEL Consistent with conventional component production process, no need to modify production equipment

• PRODUCT CERTIFICATION

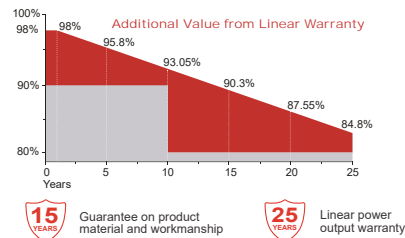
IEC61215:2016; IEC 61730:2016; UL1703; UL61730/CSA/CEC	
IEC62804	PID
IEC61701	Salt Mist
IEC62716	Ammonia Resistance
IEC60068	Dust and Sand
IEC61215	Hailstone(25mm)
Fire Type (UL61730):1/29 (Type1-HV Type29-BG)	
ISO14001:2015; ISO9001:2015; ISO45001:2018	



• INSURANCE



• WARRANTY



Mechanical Specifications

External Dimension	1722 x 1134 x 30 mm
Weight	21.5 kg
Solar Cells	PERC Mono crystalline(108 pcs)
Front Glass	3.2 / mm AR coating semi-tempered glass / low iron
Backsheet	Transparent backsheet
Frame	Black anodized aluminium alloy
Junction Box	IP68 / 3 diodes
Connector Type	MC4
Cable Type / Length	12 AWG PV Wire (UL/IEC) / 1200 mm
Mechanical Load(Front)	5400 Pa / 113 psf*
Mechanical Load(Rear)	3600 Pa / 75 psf*

*Refer to SEG installation Manual for details

Packing Configuration

Container	20'GP	40'HQ
Pieces per Pallet	40	36
Pallets per Container	6	26
Pieces per Container	240	936

For details, please consult SEG.

Electrical Characteristics

Module Type	SEG-405-BMD-TB			SEG-410-BMD-TB			SEG-415-BMD-TB			SEG-420-BMD-TB		
	Front STC	Front NOCT	Back STC	Front STC	Front NOCT	Back STC	Front STC	Front NOCT	Back STC	Front STC	Front NOCT	Back STC
Maximum Power -P _{mp} (W)	405	304	284	410	308	287	415	311	291	420	314	294
Open Circuit Voltage -V _{oc} (V)	37.22	34.73	37.20	37.32	34.81	37.30	37.42	34.90	37.40	37.52	34.99	37.50
Short Circuit Current -I _{sc} (A)	13.70	11.07	9.66	13.80	11.15	9.73	13.90	11.23	9.80	14.00	11.31	9.87
Maximum Power Voltage -V _{mp} (V)	30.93	28.91	30.98	31.05	29.05	31.03	31.16	29.19	31.17	31.28	29.33	31.29
Maximum Power Current -I _{mp} (A)	13.10	10.51	9.17	13.21	10.59	9.25	13.32	10.66	9.34	13.43	10.73	9.42
Module Efficiency STC-η _m (%)	20.74			21.00			21.25			21.51		
Power Tolerance (W)	(0, +4.99)											
Pmax Temperature Coefficient	-0.34 %/°C											
Voc Temperature Coefficient	-0.26 %/°C											
Isc Temperature Coefficient	+0.05 %/°C											

STC: Irradiance 1000 W/m² module temperature 25°C AM=1.5
NOCT: Irradiance 800W/m² ambient temperature 20°C module temperature 45°C wind speed: 1m/s
Power measurement tolerance: +/-3%

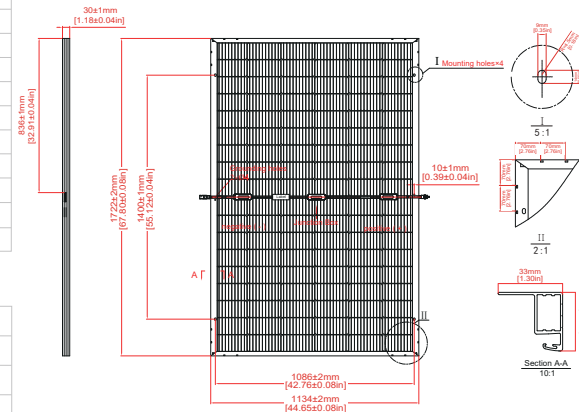
Rear Side Power Gain(SEG-410-BMD-TB)

Power Gain	10%	15%	20%	25%	30%
Maximum Power -P _{mp} (W)	451	472	492	513	533
Open Circuit Voltage -V _{oc} (V)	37.22	37.22	37.22	37.22	37.22
Short Circuit Current -I _{sc} (A)	15.18	15.87	16.56	17.25	17.94
Maximum Power Voltage -V _{mp} (V)	31.05	31.05	31.05	31.05	31.05
Maximum Power Current -I _{mp} (A)	14.53	15.19	15.85	16.51	17.17

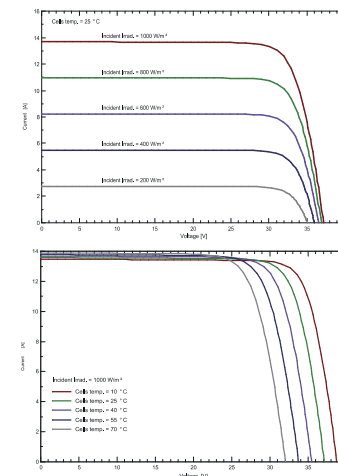
Application Conditions

Maximum System Voltage	1500V DC
Maximum Series Fuse Rating	25 A
Operating Temperature	-40~+85 °C
Nominal Operating Cell Temperature	45±2 °C
Bifaciality	70%±10%

Technical Drawing



I-V Curve



Specifications are subject to change without further notification SEG-DS-EN-2022V1.0 © Copyright 2022 SEG

SEG SOLAR INC. (SEG)

SEG Headquarter California office: 6200 Stoneridge Mall Rd., Ste 300 Pleasanton, CA 94588
SEG San Antonio, Texas office: 973 Isom Road San Antonio, TX 78216
Tel: 925-468-4198 Web: www.segsolar.com

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DATA SHEET



IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry’s first microgrid-forming, software-defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application-specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has super-fast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the Enphase IQ Battery, Enphase IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL Listed as PV Rapid Shut Down Equipment and conform with various regulations, when installed according to manufacturer’s instructions.

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IQ8SP-DS-0002-01-EN-US-2022-03-17

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) requirements

* Only when installed with IQ System Controller 2, meets UL 1741.

** IQ8 and IQ8Plus supports split phase, 240V installations only.

IQ8 and IQ8+ Microinverters

INPUT DATA (DC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Commonly used module pairings ¹	W	235 – 350	235 – 440
Module compatibility		60-cell/120 half-cell	60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell
MPPT voltage range	V	27 – 37	29 – 45
Operating range	V	25 – 48	25 – 58
Min/max start voltage	V	30 / 48	30 / 58
Max input DC voltage	V	50	60
Max DC current ² [module Isc]	A	15	
Overvoltage class DC port		II	
DC port backfeed current	mA	0	
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Peak output power	VA	245	300
Max continuous output power	VA	240	290
Nominal (L-L) voltage/range ³	V	240 / 211 – 264	
Max continuous output current	A	1.0	1.21
Nominal frequency	Hz	60	
Extended frequency range	Hz	50 – 68	
AC short circuit fault current over 3 cycles	Arms	2	
Max units per 20 A (L-L) branch circuit ⁴		16	13
Total harmonic distortion		<5%	
Overvoltage class AC port		III	
AC port backfeed current	mA	30	
Power factor setting		1.0	
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging	
Peak efficiency	%	97.5	97.6
CEC weighted efficiency	%	97	97
Night-time power consumption	mW	60	
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (HxWxD)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
		CA Rule 21 (UL 1741-SA), UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01	
Certifications		This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.	

(1) No enforced DC/AC ratio. See the compatibility calculator at <https://link.enphase.com/module-compatibility>
(2) Maximum continuous input DC current is 10.6A (3) Nominal voltage range can be extended beyond nominal if required by the utility. (4) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

IQ8SP-DS-0002-01-EN-US-2022-03-17



1403 N. Research Way
Orem, UT 84097

800.377.4480
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PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
385-498-6700

DRAWING BY:

PLOT DATE:

PROJECT NUMBER:

SHEET NAME:

SPEC SHEET

REVISION:

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Enphase Q Cable Accessories

The **Enphase Q Cable™** and accessories are part of the latest generation Enphase IQ System™. These accessories provide simplicity, reliability, and faster installation times.



Enphase Q Cable

- Two-wire, double-insulated Enphase Q Cable is 50% lighter than the previous generation Enphase cable
- New cable numbering and plug and play connectors speed up installation and simplify wire management
- Link connectors eliminate cable waste

Field-Wireable Connectors

- Easily connect Q cables on the roof without complex wiring
- Make connections from any open connector and center feed any section of cable within branch limits
- Available in male and female connector types





Enphase Q Cable Accessories

CONDUCTOR SPECIFICATIONS	
Certification	UL3003 (raw cable), UL 9703 (cable assemblies), DG cable
Flame test rating	FT4
Compliance	RoHS, OIL RES I, CE, UV Resistant, combined UL for Canada and United States
Conductor type	THHN/THWN-2 dry/wet
Disconnecting means	The AC and DC bulkhead connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.

Q CABLE TYPES / ORDERING OPTIONS				
Connectorized Models	Size / Max Nominal Voltage	Connector Spacing	PV Module Orientation	Connector Count per Box
Q-12-10-240	12 AWG / 277 VAC	1.3 m (4.2 ft)	Portrait	240
Q-12-17-240	12 AWG / 277 VAC	2.0 m (6.5 ft)	Landscape (60-cell)	240
Q-12-20-200	12 AWG / 277 VAC	2.3 m (7.5 ft)	Landscape (72-cell)	200

ENPHASE Q CABLE ACCESSORIES		
Name	Model Number	Description
Raw Q Cable	Q-12-RAW-300	300 meters of 12 AWG cable with no connectors
Field-wireable connector (male)	Q-CONN-10M	Make connections from any open connector
Field-wireable connector (female)	Q-CONN-10F	Make connections from any Q Cable open connector
Cable Clip	Q-CLIP-100	Used to fasten cabling to the racking or to secure looped cabling
Disconnect tool	Q-DISC-10	Disconnect tool for Q Cable connectors, DC connectors, and AC module mount
Q Cable sealing caps (female)	Q-SEAL-10	One needed to cover each unused connector on the cabling
Terminator	Q-TERM-10	Terminator cap for unused cable ends
Enphase EN4 to MC4 adaptor ¹	ECA-EN4-S22	Connect PV module using MC4 connectors to IQ micros with EN4 (TE PV4-S SOLARLOK). 150mm/5.9" to MC4.
Enphase EN4 non-terminated adaptor ¹	ECA-EN4-FW	For field wiring of UL certified DC connectors. EN4 (TE PV4-S SOLARLOK) to non-terminated cable. 150mm/5.9"
Enphase EN4 to MC4 adaptor (long) ¹	ECA-EN4-S22-L	Longer adapter cable for EN4 (TE PV4-S SOLARLOK) to MC4. Use with split cell modules or PV modules with short DC cable. 600mm/23.6"
Replacement DC Adaptor (MC4)	Q-DCC-2	DC adaptor to MC4 (max voltage 100 VDC)
Replacement DC Adaptor (UTX)	Q-DCC-5	DC adaptor to UTX (max voltage 100 VDC)

1. Qualified per UL subject 9703.

	TERMINATOR Terminator cap for unused cable ends, sold in packs of ten (Q-TERM-10)		SEALING CAPS Sealing caps for unused aggregator and cable connections (Q-BA-CAP-10 and Q-SEAL-10)
	DISCONNECT TOOL Plan to use at least one per installation, sold in packs of ten (Q-DISC-10)		CABLE CLIP Used to fasten cabling to the racking or to secure looped cabling, sold in packs of one hundred (Q-CLIP-100)

To learn more about Enphase offerings, visit enphase.com

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2020-06-26



DRAWING NUMBER:

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IQ Combiner 4/4C



To learn more about Enphase offerings, visit enphase.com
IQ-C-4-4C-DS-0103-EN-US-12-29-2022

The **IQ Combiner 4/4C** with IQ Gateway and integrated LTE-M1 cell modem (included only with IQ Combiner 4C) consolidates interconnection equipment into a single enclosure. It streamlines IQ Microinverters and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

Smart

- Includes IQ Gateway for communication and control
- Includes Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C
- Includes solar shield to match Enphase IQ Battery aesthetics and deflect heat
- Supports Wi-Fi, Ethernet, or cellular connectivity
- Optional AC receptacle available for PLC bridge
- Provides production metering and consumption monitoring

Simple

- Mounts on single stud with centered brackets
- Supports bottom, back and side conduit entry
- Allows up to four 2-pole branch circuits for 240VAC plug-in breakers (not included)
- 80A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year limited warranty
- Two years labor reimbursement program coverage included for both the IQ Combiner SKU's
- UL listed
- X2-IQ-AM1-240-4 and X2-IQ-AM1-240-4C comply with IEEE 1547:2018 (UL 1741-SB, 3rd Ed.)



IQ Combiner 4/4C

MODEL NUMBER	
IQ Combiner 4 X-IQ-AM1-240-4 X2-IQ-AM1-240-4 (IEEE 1547:2018)	IQ Combiner 4 with IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 ± 0.5%) and consumption monitoring (± 2.5%). Includes a silver solar shield to match the IQ Battery and IQ System Controller 2 and to deflect heat.
IQ Combiner 4C X-IQ-AM1-240-4C X2-IQ-AM1-240-4C (IEEE 1547:2018)	IQ Combiner 4C with IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 ± 0.5%) and consumption monitoring (± 2.5%). Includes Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), a plug-and-play industrial-grade cell modem for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Includes a silver solar shield to match the IQ Battery and IQ System Controller and to deflect heat.
ACCESSORIES AND REPLACEMENT PARTS (not included, order separately)	
Supported microinverters	IQ6, IQ7, and IQ8. (Do not mix IQ6/7 Microinverters with IQ8)
Communications Kit COMMS-CELLMODEM-M1-06 CELLMODEM-M1-06-SP-05 CELLMODEM-M1-06-AT-05	- Includes COMMS-KIT-01 and CELLMODEM-M1-06-SP-05 with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year AT&T data plan
Circuit Breakers BRK-10A-2-240V BRK-15A-2-240V BRK-20A-2P-240V BRK-15A-2P-240V-B BRK-20A-2P-240V-B	Supports Eaton BR210, BR215, BR220, BR230, BR240, BR250, and BR260 circuit breakers Circuit breaker, 2 pole, 10A, Eaton BR210 Circuit breaker, 2 pole, 15A, Eaton BR215 Circuit breaker, 2 pole, 20A, Eaton BR220 Circuit breaker, 2 pole, 15A, Eaton BR215B with hold down kit support Circuit breaker, 2 pole, 20A, Eaton BR220B with hold down kit support
XA-SOLARSHIELD-ES	Replacement solar shield for IQ Combiner 4/4C
XA-PLUG-120-3	Accessory receptacle for Power Line Carrier in IQ Combiner 4/4C (required for EPLC-011)
X-IQ-NA-HD-125A	Hold-down kit for Eaton circuit breaker with screws
Consumption monitoring CT (CT-200-SPLIT/CT-200-CLAMP)	A pair of 200A split core current transformers
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
System voltage	120/240VAC, 60 Hz
Eaton BR series busbar rating	125A
Max. continuous current rating	65A
Max. continuous current rating (input from PV/storage)	64A
Max. fuse/circuit rating (output)	90A
Branch circuits (solar and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. total branch circuit breaker rating (input)	80A of distributed generation/95A with IQ Gateway breaker included
IQ Gateway breaker	10A or 15A rating GE/Siemens/Eaton included
Production metering CT	200A solid core pre-installed and wired to IQ Gateway
MECHANICAL DATA	
Dimensions (WxHxD)	37.5 cm x 49.5 cm x 16.8 cm (14.75 in x 19.5 in x 6.63 in). Height is 53.5 cm (21.06 in) with mounting brackets.
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40°C to +46°C (-40°F to 115°F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	- 20A to 50A breaker inputs: 14 to 4 AWG copper conductors - 60A breaker branch input: 4 to 1/0 AWG copper conductors - Main lug combined output: 10 to 2/0 AWG copper conductors - Neutral and ground: 14 to 1/0 copper conductors - Always follow local code requirements for conductor sizing.
Altitude	Up to 3,000 meters (9,842 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	IEEE 802.11b/g/n
Cellular	CELLMODEM-M1-06-SP-05, CELLMODEM-M1-06-AT-05 (4G based LTE-M1 cellular modem). Note that an Mobile Connect cellular modem is required for all Enphase Energy System installations.
Ethernet	Optional, IEEE 802.3, Cat5E (or Cat6) UTP Ethernet cable (not included)
COMPLIANCE	
Compliance, IQ Combiner	CA Rule 21 (UL 1741-SA) IEEE 1547:2018 - UL 1741-SB, 3 rd Ed. (X2-IQ-AM1-240-4 and X2-IQ-AM1-240-4C) CAN/CSA C22.2 No. 107.1, Title 47 CFR, Part 15, Class B, ICES 003 Production metering: ANSI C12.20 accuracy class 0.5 (PV production) Consumption metering: accuracy class 2.5
Compliance, IQ Gateway	UL 60601-1/CANCSA 22.2 No. 61010-1

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IQ-C-4-4C-DS-0103-EN-US-12-29-2022



1403 N. Research Way
Orem, UT 84097

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PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
385-498-6700

SHEET NAME:

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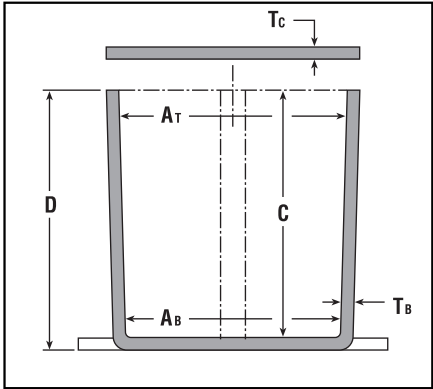
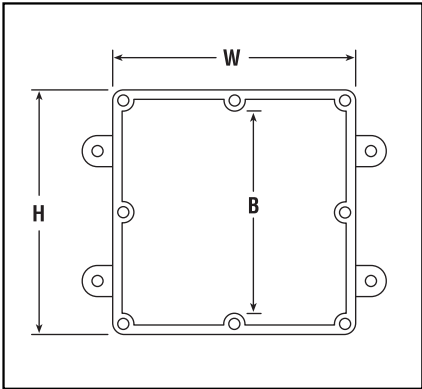
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Rigid Nonmetallic Conduit – Junction Boxes

Molded Nonmetallic Junction Boxes
6P Rated

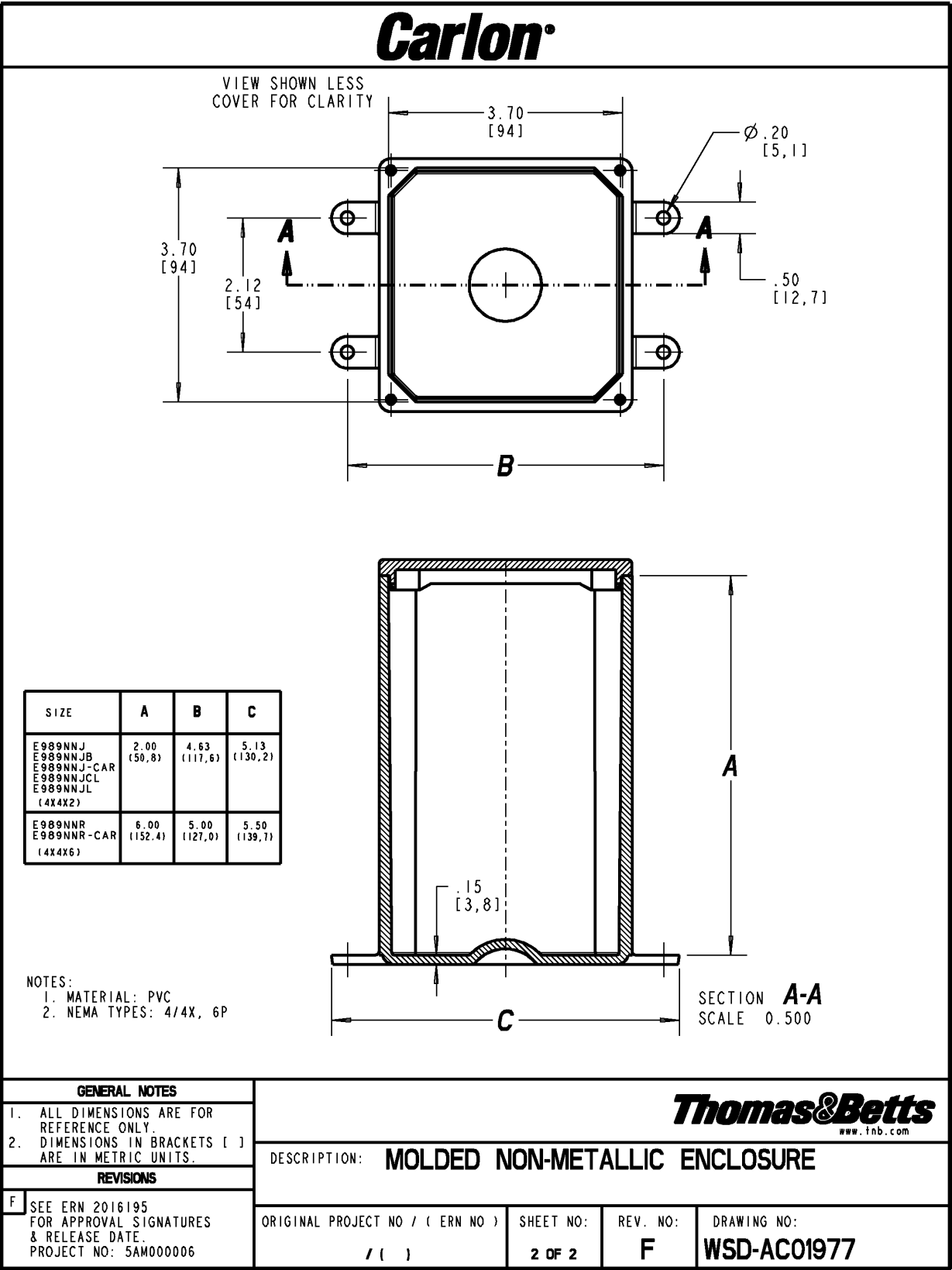
It's another first from Carlon® - the first nonmetallic junction boxes UL Listed with a NEMA 6P rating per Section 314.29, Exception of the National Electrical Code. Manufactured from PVC or PPO thermoplastic molding compound and featuring foam-in-place gasketed lids attached with stainless steel screws, these rugged enclosures offer all the corrosion resistance and physical properties you need for direct burial applications.

Type 6P enclosures are intended for indoor or outdoor use, primarily to provide a degree of protection against contact with enclosed equipment, falling dirt, hose-directed water, entry of water during prolonged submersion at a limited depth, and external ice formation.



- All Carlon Junction Boxes are UL Listed and maintain a minimum of a NEMA Type 4/4x Rating.
- Parts numbers with an asterisk (*) are UL Listed and maintain a NEMA Type 6P Rating and Type 4/4X Rating.

Part No.	Size in Inches H x W x D	Std. Ctn. Qty.	Min. A _T	Min. A _B	Min. B	Min. C	T _a	T _c Typical	Material		Std. Ctn. Wt. (Lbs.)
									PVC	Thermo-plastic	
E989NNJ-CAR*	4 x 4 x 2	5	3 11/16	3 5/8	N/A	2	.160	.155	X		3
E987N-CAR*	4 x 4 x 4	5	3 11/16	3 1/2	N/A	4	.160	.155	X		4
†E989NNR-CAR*	4 x 4 x 6	4	3 11/16	3 3/8	N/A	6	.160	.200	X		5
E989PPJ-CAR*	5 x 5 x 2	4	4 11/16	4 1/2	N/A	2	.110	.150		X	3
E987R-CAR*	6 x 6 x 4	2	6	5 5/8	N/A	4	.190	.190		X	3
E989RRR-UPC*	6 x 6 x 6	8	5 5/8	5 3/8	N/A	6	.160	.150		X	14
E989N-CAR	8 x 8 x 4	1	8	8	N/A	4	.185	.190		X	2
E989SSX-UPC	8 x 8 x 7	2	7 21/32	7 5/16	N/A	7	.160	.150		X	6
E989UUN	12 x 12 x 4	3	11 5/8	11 1/2	11 1/8	4	.160	.150		X	12
E989R-UPC	12 x 12 x 6	2	11 5/16	11 7/8	11 7/16	6	.265	.185		X	10



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Orem, UT 84097
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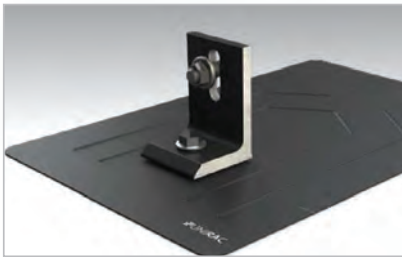
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SOLARMOUNT is the professionals' choice for residential PV mounting applications. Every aspect of the system is designed for an easier, faster installation experience. **SOLARMOUNT** is a complete solution with revolutionary universal clamps, **FLASHKIT PRO**, full system UL 2703 certification and 25-year warranty. Not only is **SOLARMOUNT** easy to install, but best-in-class aesthetics make it the most attractive on any block!



New & Improved:
THE PROFESSIONALS' CHOICE
With Superior Aesthetics



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The Complete Roof Attachment Solution
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NOW WITH UNIVERSAL MIDCLAMPS
Accommodates 30mm-51mm module frames
One tool, one-person installs are here!



REVOLUTIONARY NEW ENDCLAMPS
Concealed design and included End Caps

THE PROFESSIONALS' CHOICE FOR RESIDENTIAL RACKING

BEST INSTALLATION EXPERIENCE • CURB APPEAL • COMPLETE SOLUTION • UNIRAC SUPPORT

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BETTER DESIGNS

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Start the design process for every project in our U-Builder on-line design tool. It's a great way to save time and money.

BETTER SYSTEMS

ONE SYSTEM - MANY APPLICATIONS

Quickly set modules flush to the roof on steep pitched roofs. Orient a large variety of modules in Portrait or Landscape. Tilt the system up on flat or low slope roofs. Components available in mill, clear, and dark finishes to optimize your design financials and aesthetics.

BETTER RESULTS

MAXIMIZE PROFITABILITY ON EVERY JOB

Trust Unirac to help you minimize both system and labor costs from the time the job is quoted to the time your teams get off the roof. Faster installs. Less Waste. More Profits.

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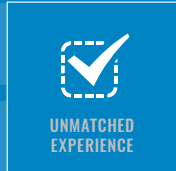
Professional support for professional installers and designers. You have access to our technical support and training groups. Whatever your support needs, we've got you covered. Visit Unirac.com/solarmount for more information.



UL2703

BONDING & GROUNDING
MECHANICAL LOADING
SYSTEM FIRE CLASSIFICATION

UNIRAC CUSTOMER SERVICE MEANS THE HIGHEST LEVEL OF PRODUCT SUPPORT



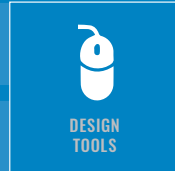
TECHNICAL SUPPORT

Unirac's technical support team is dedicated to answering questions & addressing issues in real time. An online library of documents including engineering reports, stamped letters and technical data sheets greatly simplifies your permitting and project planning process.



CERTIFIED QUALITY PROVIDER

Unirac is the only PV mounting vendor with ISO certifications for 9001:2008, 14001:2004 and OHSAS 18001:2007, which means we deliver the highest standards for fit, form, and function. These certifications demonstrate our excellence and commitment to first class business practices.



BANKABLE WARRANTY

Don't leave your project to chance. Unirac has the financial strength to back our products and reduce your risk. Have peace of mind knowing you are providing products of exceptional quality. SOLARMOUNT is covered by a 25 year limited product warranty and a 5 year limited finish warranty.



ENHANCE YOUR REPUTATION WITH QUALITY RACKING SOLUTIONS BACKED BY ENGINEERING EXCELLENCE AND A SUPERIOR SUPPLY CHAIN

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PV INSTALLATION
PROFESSIONAL

Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
385-498-6700

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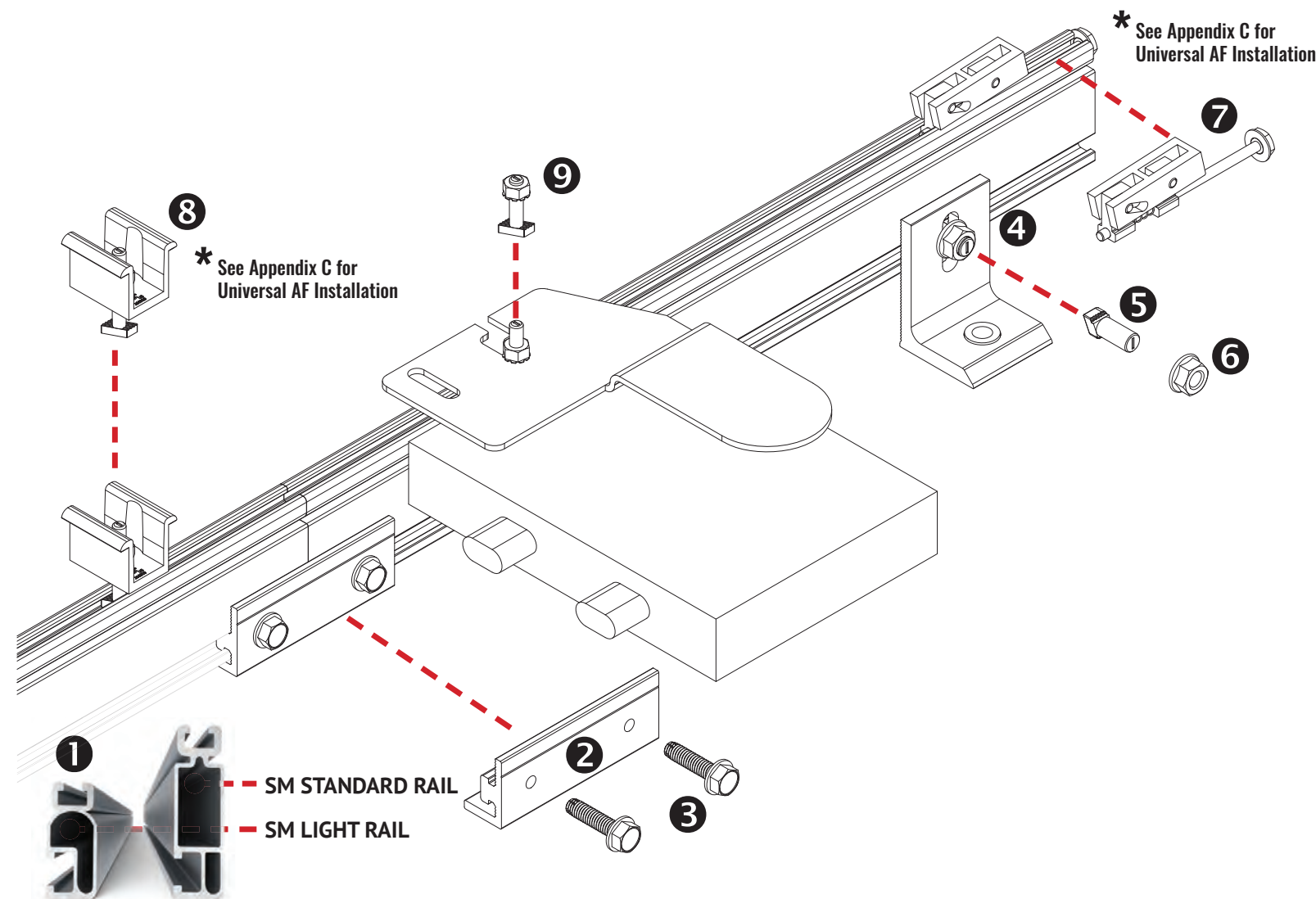
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1 RAIL: Supports PV modules. Use at least two per row of modules. Aluminum extrusion, available in mill, clear anodized, or dark anodized.

2 3 RAIL SPLICE: Non structural splice joins, aligns, and electrically bonds rail sections into single length of rail. Forms a rigid splice joint, 4 inches long, preassembled with bonding hardware. Available in dark anodized or mill finish.

4 L-FOOT: Use to secure rails through roofing material to building structure. Refer to loading tables or U-Builder for spacing.

5 L-FOOT T- BOLT: (3/8" x 3/4" or 1") – Use one per L-foot to secure rail to L-foot. Stainless steel. Supplied with L-foot in combination with flange nut, provides electrical bond between L-foot and rail.

6 SERRATED FLANGE NUT : Use one per L-foot to secure and bond rail to Lfoot. Stainless steel. Supplied with L-foot.

7 MODULE ENDCLAMP: Pre-assembled universal clamp that secures module to rail at module flange by tightening 1/2" hex head bolt.

8 MODULE MIDCLAMP: Pre-assembled clamp provides module to module and module to rail bond. Aluminum clamp with stainless steel bonding pins and T-bolt. Available in clear or dark finish.

9 MICROINVERTER MOUNTING BOLT: Preassembled bolt, nut, and captive star washer attaches and bonds microinverter to rail.

NOTE - POSITION INDICATOR: T-bolts have a slot in the hardware end corresponding to the direction of the T-Head.

NOTE - Pro Series Mid and End Clamps are single use only

Wrenches and Torque		
	Wrench or Socket Size	Recommended Torque (ft-lbs)
Mid Clamp 8	1/2"	11
MLPE Mount 9	1/2"	10
End Clamp 7	1/2"	5
L-Foot to Rail 6	1/2"	30
Rail Splice 3	1/2"	10

Anti-Seize 6 9
Stainless steel hardware can seize up, a process called galling. To significantly reduce its likelihood:
1. Apply minimal lubricant to bolts only where indicated in installation process, preferably Anti-Seize commonly found at auto parts stores (Anti-seize has been factory applied to mid clamp bolts)
2. Shade hardware prior to installation, and
3. Avoid spinning stainless nuts onto bolts at high speed.

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CODE COMPLIANCE NOTES

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INSTALLATION GUIDE

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PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
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SYSTEM LEVEL FIRE CLASSIFICATION

The system fire class rating requires installation in the manner specified in the SOLARMOUNT Installation Guide. SOLARMOUNT has been classified to the system level fire portion of UL2703. SOLARMOUNT has achieved system level performance for steep sloped roofs. The fire classification rating is only valid on roof pitches greater than 2:12 (slopes ≥ 2 inches per foot, or 9.5 degrees). The system is to be mounted over fire resistant roof covering rated for the application. There is no required minimum or maximum height limitation above the roof deck to maintain the system fire rating for SOLARMOUNT. Module Types, System Level Fire Ratings, and Mitigation Requirements are listed below:

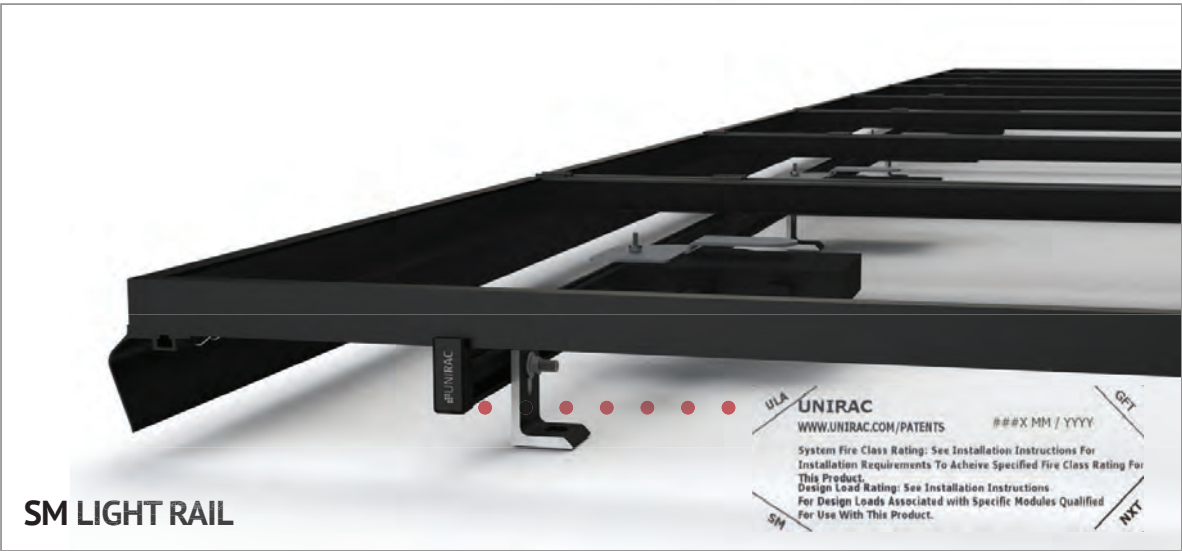
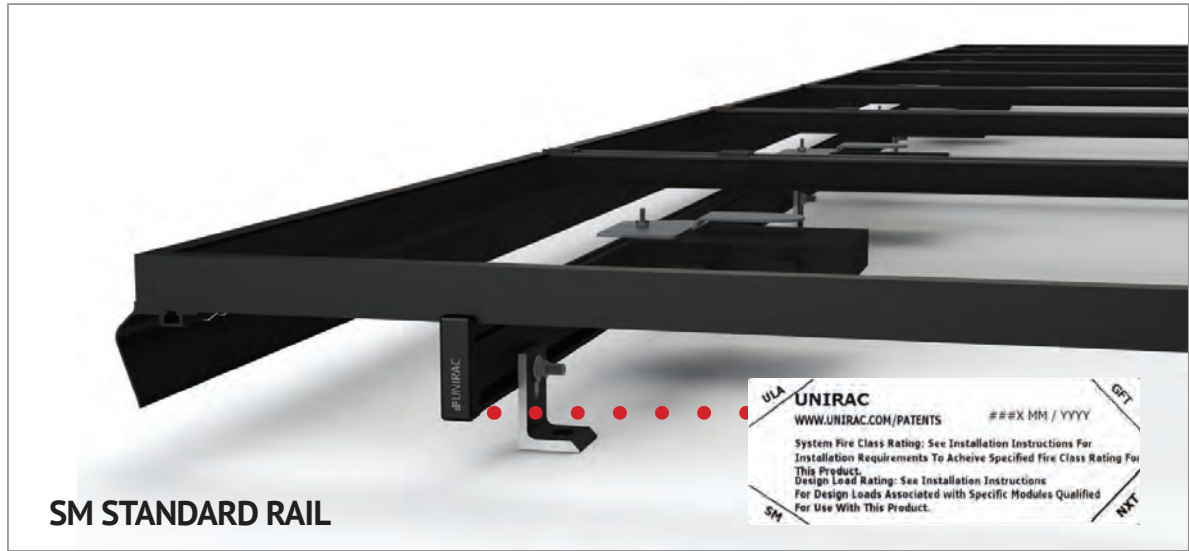
Rail Type	Module Fire Types	System Level Fire Rating	Rail Direction	Module Orientation	Mitigation Required
Standard & HD Rails	1, 2, 3 with Metal Frame, 10 with Metal Frame, 19, 22, 25, 29, & 30	Class A, Class B & Class C	East-West	Landscape OR Portrait	None Required
			North-South	Landscape OR Portrait	None Required
Light Rail	1 & 2	Class A, Class B & Class C	East-West	Landscape OR Portrait	None Required
			North-South	Landscape OR Portrait	None Required
Standard, Light, & HD Rails	4 & 5	Class A, Class B & Class C	East-West	Landscape OR Portrait	Trim installation per Solar Mount Installation Guide
			North-South	Landscape OR Portrait	

This racking system may be used to ground and/or mount a PV module complying with UL1703 or UL61730 only when the specific module has been evaluated for grounding and/or mounting in compliance with the included instructions.

UL2703 CERTIFICATION MARKING LABEL

Unirac SOLARMOUNT is listed to UL 2703. Certification marking is embossed on all mid clamps as shown. Labels with additional information will be provided .After the racking system is fully assembled, a single label should be applied to the SOLARMOUNT rail at the edge of the array. **Before applying the label, the corners of the label that do not pertain to the system being installed must be removed so that only the installed system type is showing.**

Note: The sticker label should be placed such that it is visible, but not outward facing.



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MICROINVERTER SYSTEM GROUNDING

INSTALLATION GUIDE

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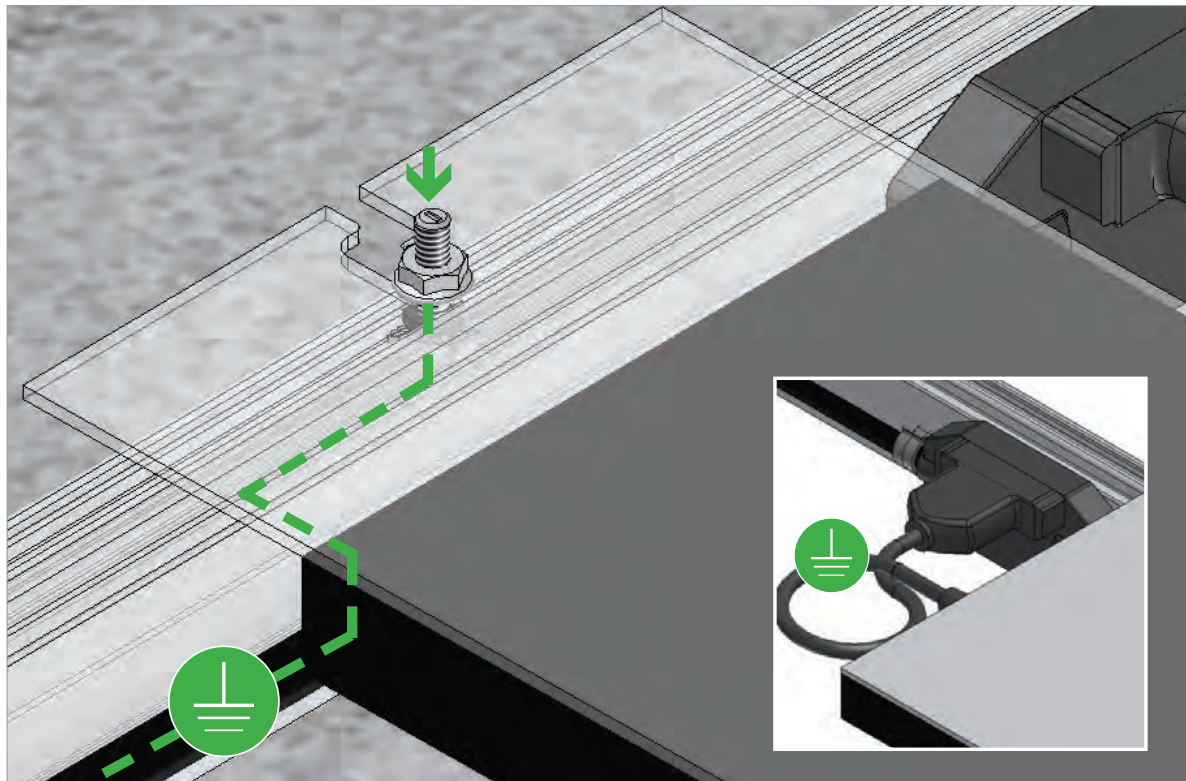
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Scott Gurney
#PV-011719-015866

CONTRACTOR:
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SM EQUIPMENT GROUNDING THROUGH ENPHASE MICROINVERTERS

The Enphase M215 and M250 microinverters have integrated grounding capabilities built in. In this case, the DC circuit is isolated from the AC circuit, and the AC equipment grounding conductor (EGC) is built into the Enphase Engage integrated grounding (IG) cabling.

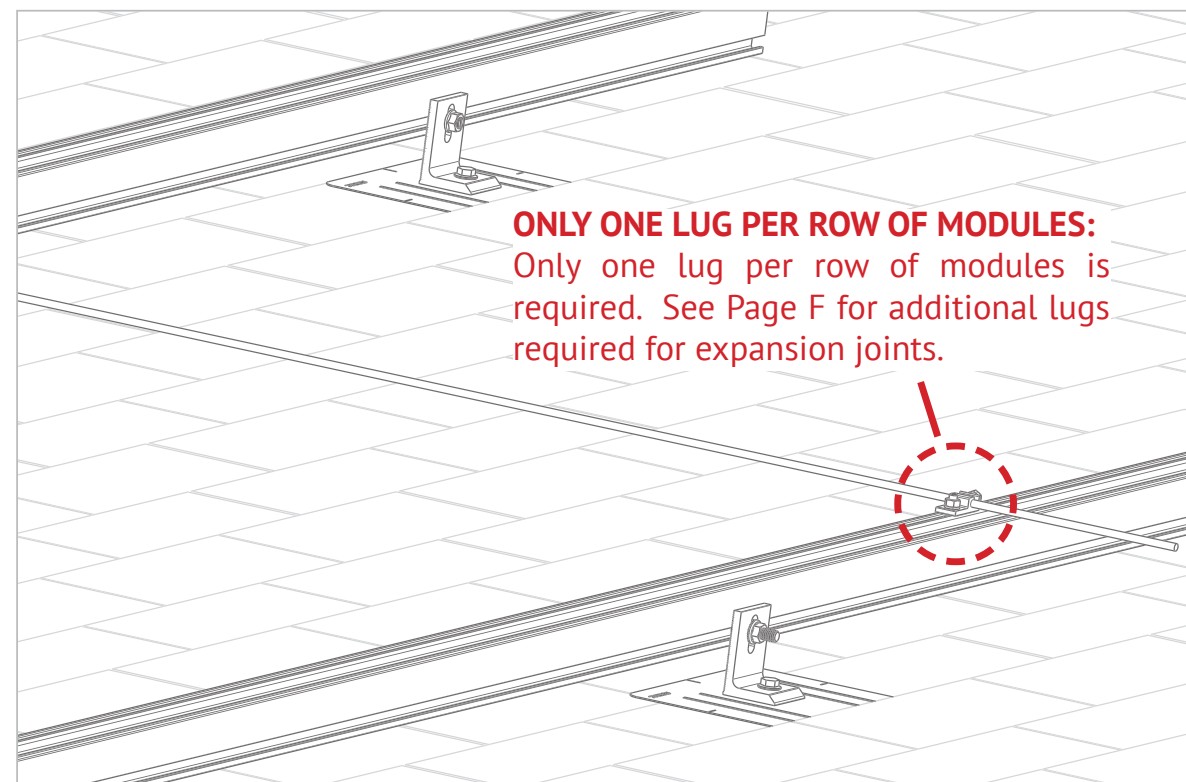
In order to ground the SOLARMOUNT racking system through the Enphase microinverter and Engage cable assembly, there must be a minimum of three PV modules connected to the same trunk cable within a continuous row. Continuous row is defined as a grouping of modules installed and bonded per the requirements of this installation guide sharing the same two rails. The microinverters are bonded to the SOLARMOUNT rail via the mounting hardware. Complete equipment grounding is achieved through the Enphase Engage cabling with integrated grounding (IG). No additional EGC grounding cables are required, as all fault current is carried to ground through the Engage cable.

SOLARMOUNT INTEGRATED BONDING ADVANTAGE

WITH SYSTEM GROUNDING THROUGH ENPHASE MICROINVERTERS AND TRUNK CABLES

LOSE ALL THE COPPER & LUGS

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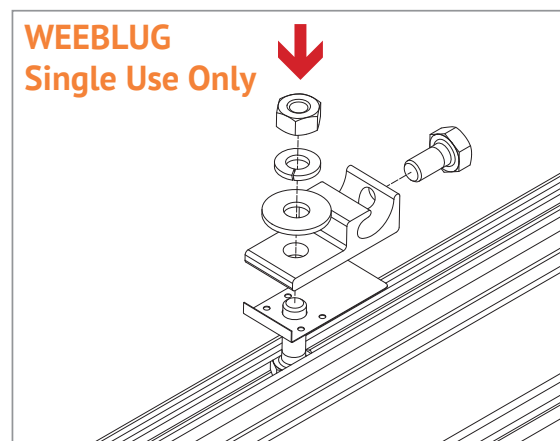


GROUNDING LUG MOUNTING DETAILS:

Details are provided for both the WEEB and IlSCO products. The WEEBLug has a grounding symbol located on the lug assembly. The IlSCO lug has a green colored set screw for grounding indication purposes. Installation must be in accordance with NFPA NEC 70, however the electrical designer of record should refer to the latest revision of NEC for actual grounding conductor cable size.

Required if not using approved integrated grounding microinverters

GROUNDING LUG - BOLT SIZE & DRILL SIZE		
GROUND LUG	BOLT SIZE	DRILL SIZE
WEEBLug	1/4"	N/A - Place in Top SM Rail Slot
ILSCO Lug	#10-32	7/32"
<ul style="list-style-type: none"> Torque value depends on conductor size. See product data sheet for torque value. 		

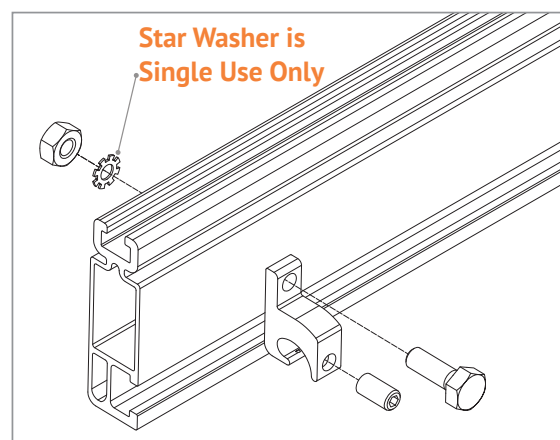
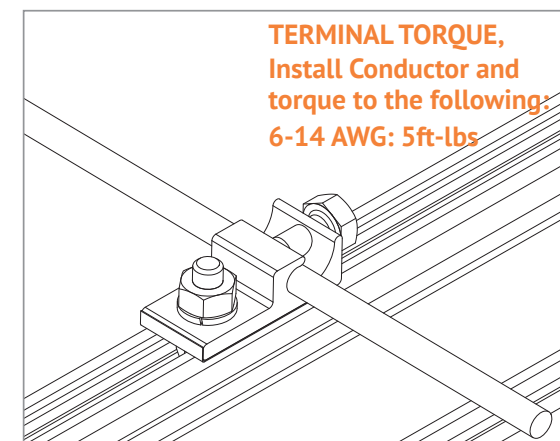


WEEBLUG CONDUCTOR - UNIRAC P/N 008002S:

Apply Anti Seize and insert a bolt in the aluminum rail and through the clearance hole in the stainless steel flat washer. Place the stainless steel flat washer on the bolt, oriented so the dimples will contact the aluminum rail. Place the lug portion on the bolt and stainless steel flat washer. Install stainless steel flat washer, lock washer and nut. Tighten the nut until the dimples are completely embedded into the rail and lug.

TORQUE VALUE 10 ft lbs. (See Note on PG. A)

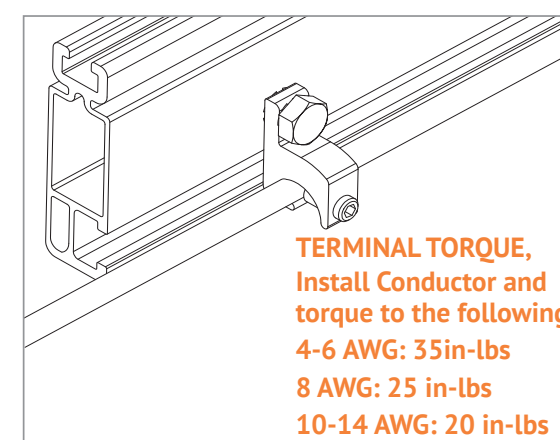
See product data sheet for more details, Model No. WEEB-LUG-6.7



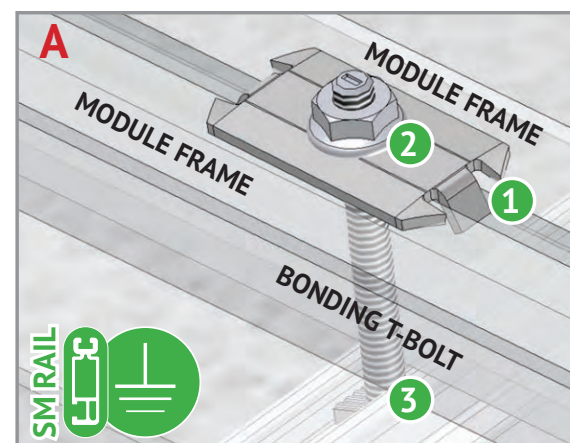
ILSCO LAY-IN LUG CONDUCTOR - UNIRAC P/N 008009P: Alternate Grounding Lug - Drill, deburr hole and bolt thru both rail walls per table.

TORQUE VALUE 5 ft lbs. (See Note on PG. A)

See ILSCO product data sheet for more details, Model No. GBL-4DBT.

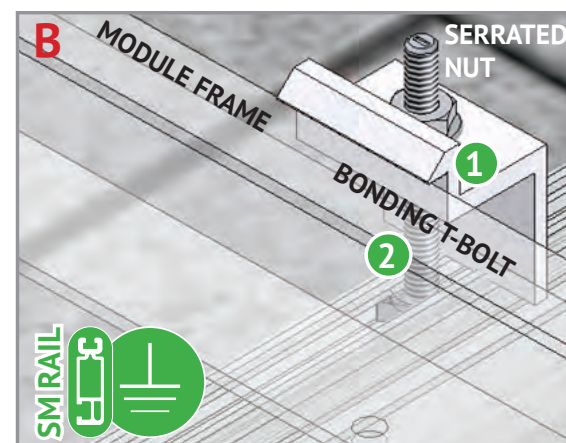


NOTE: ISOLATE COPPER FROM ALUMINUM CONTACT TO PREVENT CORROSION



BONDING MIDCLAMP ASSEMBLY

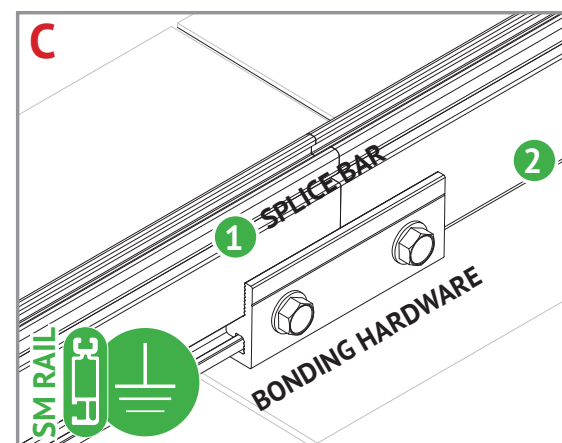
- 1 Stainless steel Midclamp points, 2 per module, pierce module frame anodization to bond module to module through clamp.
- 2 Serrated flange nut bonds stainless steel clamp to stainless steel T-bolt
- 3 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, clamp, and modules to grounded SM rail.



ENDCLAMP ASSEMBLY

- 1 Serrated flange nut bonds aluminum Endclamp to stainless steel T-bolt
- 2 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, and Endclamp to grounded SM rail

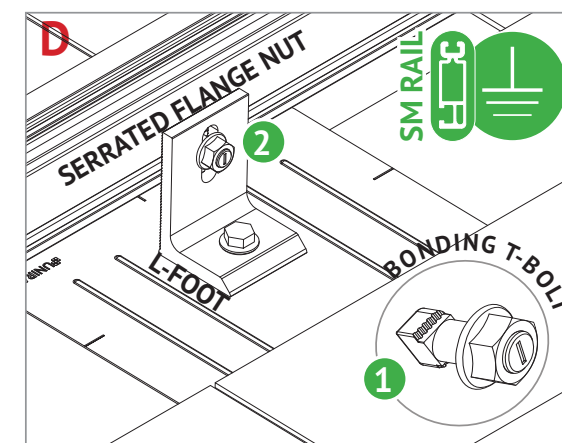
Note: End clamp does not bond to module frame.



BONDING RAIL SPLICE BAR

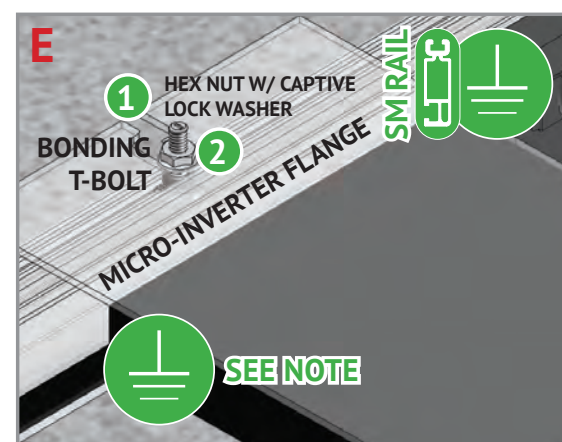
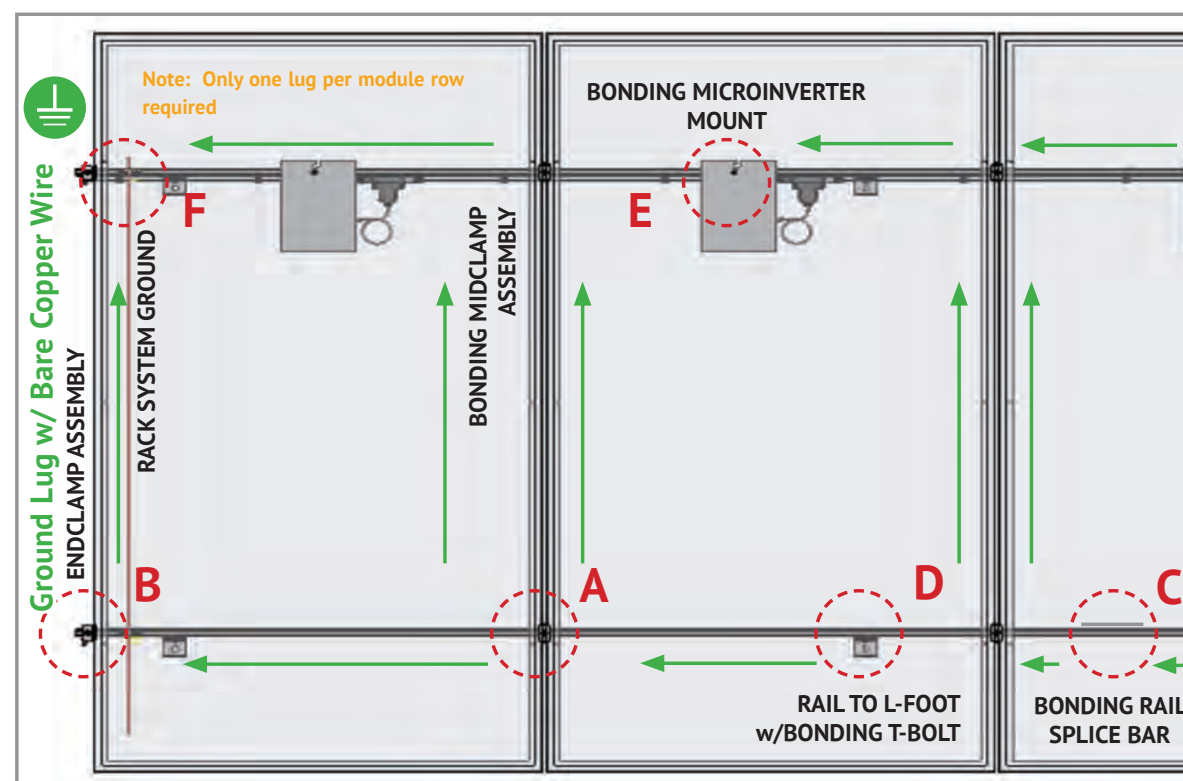
- 1 Bonding Hardware creates bond between splice bar and each rail section
- 2 Aluminum splice bar spans across rail gap to create rail to rail bond. Rail on at least one side of splice will be grounded.

Note: Splice bar and bolted connection are non-structural. The splice bar function is rail alignment and bonding.



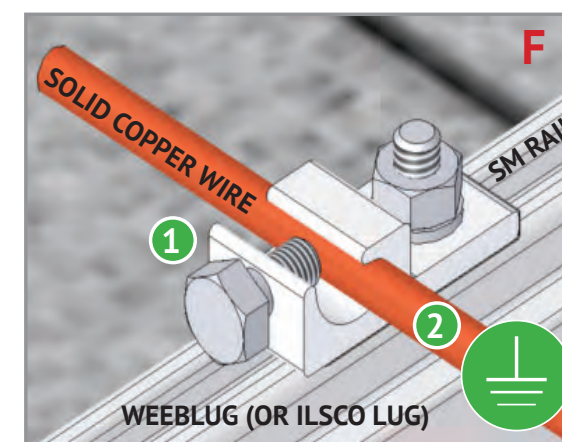
RAIL TO L-FOOT w/BONDING T-BOLT

- 1 Serrated flange nut removes L-foot anodization to bond L-Foot to stainless steel T-bolt
- 2 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, and L-foot to grounded SM rail



BONDING MICROINVERTER MOUNT

- 1 Hex nut with captive lock washer bonds metal microinverter flange to stainless steel T-bolt
 - 2 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, and L-foot to grounded SM rail
- System ground including racking and modules may be achieved through the trunk cable of approved microinverter systems. See page J for details**



RACK SYSTEM GROUND

- 1 WEEB washer dimples pierce anodized rail to create bond between rail and lug
- 2 Solid copper wire connected to lug is routed to provide final system ground connection.

NOTE: IlSCO lug can also be used when secured to the side of the rail. See page K for details

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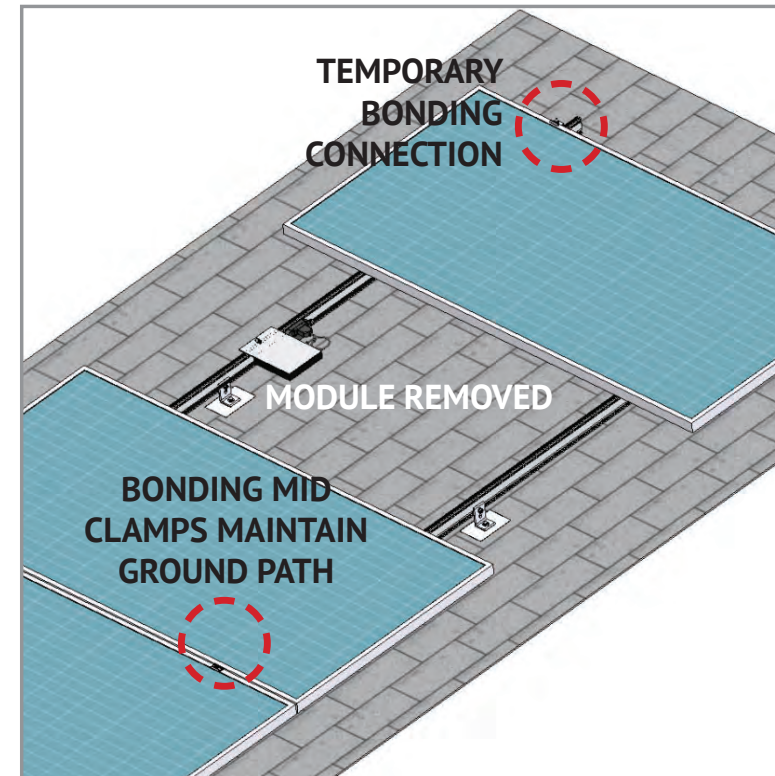
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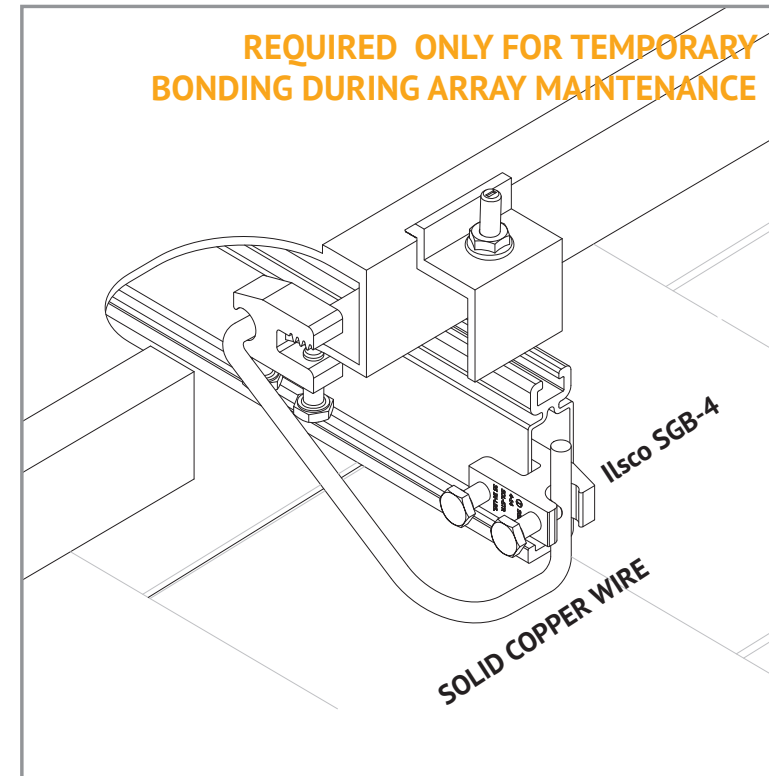
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TEMPORARY BONDING CONNECTION DURING ARRAY MAINTENANCE

When removing modules for replacement or system maintenance, any module left in place that is secured with a bonding Midclamp will be properly grounded. If a module adjacent to the end module of a row is removed or if any other maintenance condition leaves a module without a bonding mid clamp, a temporary bonding connection must be installed as shown

- Attach Ilsco SGB4 to wall of rail
- Attach Ilsco SGB4 to module frame
- Install solid copper wire jumper to Ilsco lugs



ELECTRICAL CONSIDERATIONS

SOLARMOUNT is intended to be used with PV modules that have a system voltage less than or equal to that allowable by the NEC. For standard system grounding a minimum 10AWG, 105°C copper grounding conductor should be used to ground a 1000 VDC system, according to the National Electric Code (NEC). It is the installer's responsibility to check local codes, which may vary. See below for interconnection information.

INTERCONNECTION INFORMATION

There is no size limit on how many SOLARMOUNT & PV modules can be mechanically interconnected for any given configuration, provided that the installation meets the requirements of applicable building and fire codes.

GROUNDING NOTES

The installation must be conducted in accordance with the National Electric Code (NEC) and the authority having jurisdiction. Please refer to these resources in your location for required grounding lug quantities specific to your project.

The grounding / bonding components may overhang parts of the array so care must be made when walking around the array to avoid damage.

Conductor fastener torque values depend on conductor size. See product data sheets for correct torque values.

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COMPATIBLE MODULES

SYSTEM CERTIFICATION

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Electrical Bonding and Grounding Test Modules

The list below is not exhaustive of compliant modules but shows those that have been evaluated and found to be electrically compatible with the SOLARMOUNT system.

Manufacture	Module Model / Series	Manufacture	Module Model / Series	Manufacture	Module Model / Series
Aionrise	AION60G1, AION72G1			Heliene	36M, 36P 60M, 60P, 72M & 72P Series 144HC M6 144HC M10 SL Bifacial
Aleo	P-Series & S-Series				
Aptos Solar	DNA-120-(MF/BF)10-xxxW DNA-120-MF10 DNA-120-(MF/BF)23 DNA-144-(MF/BF)23 DNA-120-(MF/BF)26 DNA-144-(MF/BF)26 DNA-108-(MF/BF)10-xxxW	Canadian Solar (cont.)	CS5A-M CS6K-(M/MS/MS AllBlack/P/P HE) CS6P-(M/P) CS6R-MS CS6U-(M/P/P HE) CS6W-(MS/MB-AG) CS6X-P, CSX-P ELPS CS6(A/P)-MM	HT-SAAE	HT60-156M-C HT60-156M(V)-C HT72-156(M/P) HT72-156P-C, HT72-156P(V)-C HT72-156M(PDV)-BF, HT72-156M(PD)-BF HT72-166M, HT72-18X
Astronergy	CHSM6612 M, M/HV CHSM6612P Series CHSM6612P/HV Series CHSM72M-HC CHSM72M(DG)/F-BH	Centrosolar America	C-Series & E-Series	Hyperion Solar	HY-DH108P8(B), HY-DH108N8B HY-DH144P8
Auxin	AXN6M610T AXN6P610T AXN6M612T AXN6P612T	CertainTeed	CT2xxMxx-01, CT2xxPxx-01, CTxxxMxx-01 CTxxxPxx-01, CTxxxMxx-02, CTxxxMxx-03 CTxxxMxx-04, CTxxxHC11-04	Hyundai	KG, MG, RW, TG, RI, RG, TI, KI, HI Series HiA-SxxxHG, HiD-SxxxRG(BK), HiS-S400PI HiS-SxxxYH(BK) HiS-SxxxXG(BK) HiN-SxxxXG(BK)
Axitec	AC-xxx(M/P)/60S, AC-xxx(M/P)/72S AC-xxxP/156-60S AC-xxxMH/120(S/V/SB/VB) AC-xxxMH/144(S/V/SB/VB)	Eco Solargy	Orion 1000 & Apollo 1000	ITEK	iT-SE Series
Boviet	BVM6610, BVM6612	EMMVEE	ExxxP72-B ExxxM72-B ExxxH CM120-B	Japan Solar	JPS-60 & JPS-72 Series
BYD	P6K & MHK-36 Series	ET Solar	ET AC Module, ET Module ET-M772BH520-550WW/WB		
Canadian Solar	CS1(H/K/U/Y)-MS CS3K-(MB/MB-AG/MS/P/P HE/PB-AG) CS3L-(MS/P) CS3N-MS CS3U-(MB/MB-AG/MS/P/P HE/PB/PB-AG) CS3W-(MS/MB-AG/P/P-PB-AG) CS3Y-MB-AG	First Solar	FS-6XXX(A) FS-6XXX(A)-P, FS-6XXX(A)-P-I	JA Solar	JAM54S31 xxx/MR JAM72D30MB, JAM78D10MB JAM72S30 /MR JAP6 60-xxx JAM6(K)-60/xxx, JAP6(k)-72-xxx/4BB JAP72S##-xxx/** JAP6(k)-60-xxx/4BB, JAP60S##-xxx/** JAM6(k)-72-xxx/**, JAM72S##-xxx/** JAM6(k)-60-xxx/**, JAM60S##-xxx/** i. ##: 01, 02, 03, 09, 10 ii. **: SC, PR, BP, HiT, IB, MW, MR ** = Backsheet, ## Cell technology
		Flextronics	FXS-xxxBB		
		Freedom Forever	FF-MP-BBB-xxx, FF-MP1-BBB-xxx		
		FreeVolt	PVGraf		
		GCL	GCL-P6 & GCL-M6 Series		
		Hansol	TD-AN3, TD-AN4 UB-AN1, UD-AN1		
		Hanwha SolarOne	HSL 60		

- Unless otherwise noted, all modules listed above include all wattages and specific models within that series. Variable wattages are represented as "xxx"
- Items in parenthesis are those that may or may not be present in a compatible module's model ID
- Slashes "/" between one or more items indicates that either of those items may be the one that is present in a module's model ID
- The frame profile must not have any feature that might interfere with the bonding devices that are integrated into the racking system
- Use with a maximum over current protection device OCPD of 30A
- **Listed models can be used to achieve a Class A fire system rating for steep slope applications. See page 30**



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Electrical Bonding and Grounding Test Modules

The list below is not exhaustive of compliant modules but shows those that have been evaluated and found to be electrically compatible with the SOLARMOUNT system.

Manufacture	Module Model / Series	Manufacture	Module Model / Series	Manufacture	Module Model / Series
Jinko	JKM & JKMS Series JKMxxxM-72HL-V JKMxxxM-72HL4-(T)V JKMxxxM-72HLM-TV JKMxxxM-7RL3-V JKMxxxM-72HL4-TV	Maxeon	SPR-MAX3-xxx-COM	Prism Solar	P72 Series, P72X-xxx
		Meyer Burger	Meyer Burger Black, Meyer Burger White Meyer Burger Glass	Q.Cells	Plus, Pro, Peak, G3, G4, Peak G5(SC) , G6(+)(SC)(AC), G7, G8(+), Plus, Pro, Peak L-G2, L-G4, L-G5 Peak L-G5, L-G6, L-G7, L-G8(BFF) Q.PEAK DUO(BLK)-G6+ Q.PEAK DUO BLK-G6+/TS Q.PEAK DUO (BLK)-G7 Q.PEAK DUO L-(G7/G7.1/G7.2/G7.3/G7.7) Q.PEAK DUO (BLK) G8(+) Q.PEAK DUO L-(G8/G8.1/G8.2/G8.3) Q.PEAK DUO L-G8.3 (BFF/BFG/BGT) Q.PEAK DUO (BLK) ML-G9(+) Q.PEAK DUO XL-(G9/G9.2/G9.3) Q.PEAK DUO XL-G9.3/BFG Q.PEAK DUO-G10+ Q.PEAK DUO BLK G10(+) Q.PEAK DUO BLK G10+ /AC Q.PEAK DUO (BLK) ML-G10(a)(+) Q.PEAK DUO BLK ML-G10+ / t Q.PEAK DUO XL-(G10/G10.2/G10.3/G10.c/ G10.d) Q.PEAK DUO XL-G10.3/BFG Q.PEAK DUO XL-G10.d/BFG Q.PEAK DUO XL-(G11.2/G11.3) Q.PEAK DUO XL-G11.3/BFG
	Kyocera	KD-F & KU Series	Mission Solar Energy		MSE Mono, MSE Perc MSExxx(SR8T/SR8K/SR9S/SX5T) MSExxx(SX5K/SX6W)
	LA Solar	LSxxxHC(166) LSxxxBL LSxxxHC	Mitrex		Mxxx-L3H, Mxxx-I3H
	LG Electronics	LGxxx(E1C/E1K/N1C/N1K/N2T/N2W/S1C/ S2W/Q1C/Q1K)-A5 LGxxx(A1C/M1C/M1K/N1C/N1K/Q1C/Q1K/ QAC/QAK)-A6 LGxxxN2W-B3 LGxxxN2T-B5 LGxxxN1K-B6 LGxxx(N1C/N1K/N2T/N2W)-E6 LGxxx(N1C/N1K/N2W/S1C/S2W)-G4 LGxxxN2T-J5 LGxxx(N1K/N1W/N2T/N2W)-L5 LGxxx(M1C/N1C/Q1C/Q1K)-N5 LGxxx(N1C/N1K/N2W/Q1C/Q1K)-V5 LGxxxN3K-V6	Mitsubishi		MJE & MLE Series
		Neo Solar Power Co.	D6M Series		
		NE Solar	NESE xxx-72MHB-M10 NESE xxx-60MH-M6		
		Panasonic	VBHNxxxSA06/SA06B/SA11/SA11B VBHNxxxSA15/SA15B/SA16/SA16B, VBHNxxxKA, VBHNxxxKA03/04, VBHNxxxSA17/SA17G/SA17E/SA18/SA18E, VBHNxxxZA01/ZA02/ZA03/VBHNxxxZA04 EVPVxxx EVPVxxx(H/K/PK/HK)		
		Peimar	SGxxxM (FB/BF) SMxxxM		
LONGi		LR4-60(HPB/HPH) LR4-72(HPH) LR6-60 LR6-60(BK/HPB/HPH/HV/PB/PE/PH) LR6-72 LR6-72(BK/HV/PB/PE/PH) RealBlack LR4-60HPB RealBlack LR6-60HPB	Phono Solar		PSxxxM1-20/U PSxxxM1H-20/U PSxxxM1-20UH PSxxxM1H-20UH PSxxxM4(H)-24/TH PSxxxM1-20/UH PSxxxM1H-20/UH PSxxxM-24/T PSxxxMH-24/T PSxxxM-24/TH PSxxxMH-24/TH

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- Items in parenthesis are those that may or may not be present in a compatible module's model ID
- Slashes "/" between one or more items indicates that either of those items may be the one that is present in a module's model ID
- The frame profile must not have any feature that might interfere with the bonding devices that are integrated into the racking system
- Use with a maximum over current protection device OCPD of 30A
- **Listed models can be used to achieve a Class A fire system rating for steep slope applications. See page 30**



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Electrical Bonding and Grounding Test Modules

The list below is not exhaustive of compliant modules but shows those that have been evaluated and found to be electrically compatible with the SOLARMOUNT system.

Manufacture	Module Model / Series
REC	RECxxxAA (BLK/Pure/Pure-R)
	RECxxxNP (N-PEAK)
	RECxxxNP2 (Black)
	RECxxxNP3 Black
	RECxxxPE, RECxxxPE72
	RECxxxTP, RECxxxTP72
	RECxxxTP2(M/BLK2)
	RECxxxTP2S(M)72
	RECxxxTP3M (Black)
	RECxxxTP4 (Black)
Renesola	All 60-cell modules
Risen	RSM Series, RSM110-8-xxxBMDG
SEG Solar	SEG-xxx-BMD-HV SEG-xxx-BMD-TB
S-Energy	SN72 & SN60 Series
Seraphim	SEG-(6PA/6PB/6MA/6MA-HV/6MB/E01/E11) SRP-(6QA/6QB) SRP-xxx-6MB-HV, SRP-320-375-BMB-HV, SRP-xxx-BMC-HV, SRP-390-450-BMA-HV, SRP-xxx-BMZ-HV, SRP-390-405-BMD-HV
Sharp	NU-SA & NU-SC Series
Silfab	SLA-M, SLA-P, SLG-M, SLG-P & BC Series SIL-xxx(BG/BK/BL/HC/HC+/HL/HM/HN/ML/ NL/NT/NX/NU)
Solar4America	S4Axxx-108MH10BB, S4Axxx-72MH5BB

Manufacture	Module Model / Series
SolarEver USA	SE-166*83-xxxM-120N
	SE-182*91-xxxM-108N
Solaria	PowerXT-xxxR-(AC/PD/BD)
	PowerXT-xxxC-PD
	PowerXT-xxxR-PM (AC)
	PowerX-400R
Solartech	STU HJT, STU PERC & Quantum PERC
SolarWorld	Sunmodule Protect, Sunmodule Plus/Pro
Sonali	SS-M-360 to 390 Series
	SS-M-390 to 400 Series
	SS-M-440 to 460 Series
	SS-M-430 to 460 BiFacial Series
Sun Edison	F-Series, R-Series
Suniva	MV Series & Optimus Series (35mm)
Sunmac Solar	M754SH-BB Series
SunPower	AC, X-Series, E-Series & P-Series
	SPR E20 435 COM (G4 Frame) Axxx-BLK-G-AC, SPR-Mxxx-H-AC SPR-Mxxx-H-AC
SunTech	STP, STPXXXS - B60/Wnhb
Talesun	TP572, TP596, TP654, TP660
	TP672, Hipor M, Smart, TD6I72M
Tesla	SC, SC B, SC B1, SC B2, TxxxS, TxxxH
Trina	PA05, PD05, DD05, DD06, DE06, DE09.05
	PD14, PE14, DD14, DE14, DE15, DE15V(II)
	DEG15HC.20(II), DEG15MC.20(II)
	DEG15VC.20(II), DE18M(II), DEG18MC.20(II)
	DE19, DEG19C.20

Manufacture	Module Model / Series
TSMC	TS-150C2 CIGSw
Universal Solar	UNI4xx-144BMH-DG
	UNI5xx-144BMH-DG
	UNIxxx-108M-BB
	UNIxxx-120M-BB
	UNIxxx-120MH
Upsolar	UP-MxxxP, UP-MxxxM(-B)
URECO	D7Kxxx(H7A/H8A), D7Mxxx(H7A/H8A)
	FAKxxx(C8G/E8G), FAMxxxE7G-BB
	FAMxxxE8G(-BB), FBKxxxM8G
	F6MxxxE7G-BB
	FBMxxxMFG-BB
Vikram	Eldora, Somera, Ultima
	PREXOS VSMDHT.60.AAA.05 PREXOS VSMDHT.72.AAA.05
Vina	VNS-72M1-5-xxxW-1.5,
	VNS-72M3-5-xxxW-1.5,
	VNS-144M1-5-xxxW-1.5,
	VNS-144M3-5-xxxW-1.5,
	VNS-120M3-5-xxxW-1.0
VSUN	VSUNxxx-60M-BB, VSUNxxx-72MH
	VSUN4xx-144BMH
	VSUN4xx-144BMH-DG
	VSUN5xx-144BMH-DG
	VSUNxxx-108M-BB
	VSUNxxx-120M-BB
	VSUNxxx-120BMH
	VSUNxxx-132BMH
	VSUNxxx-108BMH
Waaree	Ahnay Series Bi-33
	Arka Series WSMDi

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- Use with a maximum over current protection device OCPD of 30A
- **Listed models can be used to achieve a Class A fire system rating for steep slope applications. See page 30**



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Electrical Bonding and Grounding Test Modules

The list below is not exhaustive of compliant modules but shows those that have been evaluated and found to be electrically compatible with the SOLARMOUNT system.

Manufacture	Module Model / Series
Winaico	WST & WSP Series
Yingli	YGE & YLM Series
Yotta Energy	YSM-B450-1
ZNShine	ZXM6-72 Series, ZXM6-NH144 ZXM6-NHLDD144 ZXM7-SH108 Series

- Unless otherwise noted, all modules listed above include all wattages and specific models within that series. Variable wattages are represented as "xxx"
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- Use with a maximum over current protection device OCPD of 30A
- **Listed models can be used to achieve a Class A fire system rating for steep slope applications. See page 30**



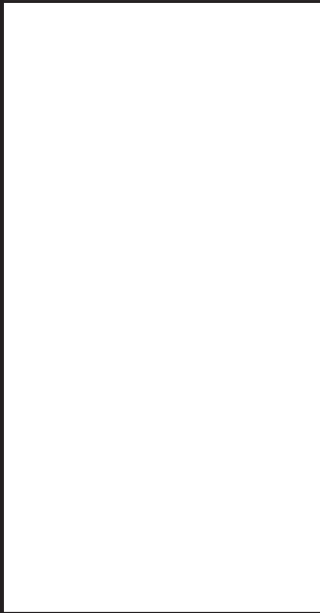
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Descriptive Report
and Test Results

MASTER CONTRACT: 266909
REPORT: 70131735
PROJECT: 80136577

Edition 1: September 20, 2017; Project 70131735 - Irvine
Prepared By: Michael Hoffnagle
Authorized By: Michael Hoffnagle

Edition 19: July 29, 2022; Project 80129816 - Irvine
Prepared By: Michael Hoffnagle
Authorized By: Michael Hoffnagle

Edition 20: August 12, 2022; Project 80136577 - Irvine
Prepared By: Michael Hoffnagle
Authorized By: Michael Hoffnagle

Report pages reissued

- Contents:
- Certificate of Compliance - Pages 1 to 6
 - Supplement to Certificate of Compliance - Pages 1 to 3
 - Description and Tests - Pages 1 to 27
 - Att1 Installation Manual SM– Pages 1 to 38
 - Att2 Schematics SM/ULA– Pages 1 to 72
 - Att3 Installation Manual ULA– Pages 1 to 22
 - Att4 RM5_Installation Guide - 1 to 19
 - Att5 RMDT_Installation Guide - 1 to 20
 - Att6 RM series schematics – 1 to 32
 - Att7 Installation Manual, GFT Shared Rail – Pages 1 to 41
 - Att8 Installation Manual, GFT 4-Rail – Pages 1 to 40
 - Att9 GFT Schematics – Pages 1 to 45
 - Att10 NXT Horizon Installation Manual – Pages 1 to 23
 - Att11 Schematics NXT Horizon – Pages 1 to 27

PRODUCTS

- CLASS - C531302 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems
- CLASS - C531382 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems - Certified to US Standards

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34 Bunsen, Irvine, CA, U.S.A. 92618
Telephone: 949.733.4300 1.800.463.6727 Fax: 949.733.4320 www.csagroup.org

MASTER CONTRACT: 266909
REPORT: 70131735
PROJECT: 80136577

Page No: 2
Date Issued: August 12, 2022

Models:	SM	-	SOLARMOUNT Flush-to-Roof is an extruded aluminum rail PV racking system that is installed parallel to the roof in landscape or portrait orientations.
	ULA	-	Unirac Large Array is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules.

Solarmount

The system listed is designed to provide bonding/grounding, and mechanical stability for photovoltaic modules. The system is secured to the roof with the L-Foot components through the roofing material to building structure. Modules are secured to the racking system with stainless steel or aluminum mid clamps and Aluminum end clamps. The modules are bonded to the racking system with the stainless-steel bonding mid clamps with piercing points. The system is grounded with 10 AWG copper wire to bonding/grounding lugs. Fire ratings of Class A with Type 1, 2, 3 (with metallic frame), 4 (with trim), 5 (with trim), 10(with metallic frame), 19, 22, 25, 29, or 30 for steep slope. Tested at 5” interstitial gap which allows installation at any stand-off height.

The grounding of the system is intended to comply with the latest edition of the National Electrical Code, to include NEC 250 & 690. Local codes compliance is required, in addition to national codes. All grounding/bonding connections are to be torqued in accordance with the Installation Manual and the settings used during the certification testing for the current edition of the project report.

The system may employ optimizers/micro-inverters and used for grounding when installed per installation instructions.

UL 2703 Mechanical Load ratings:

Module Area up to 22.2 sq ft	
Downward Design Load (lb/ft²)	113.5
Upward Design Load (lb/ft²)	50.7
Down-Slope Load (lb/ft²)	16.13

Module Area up to 27.12 sq ft	
Downward Design Load (lb/ft²)	33.9
Upward Design Load (lb/ft²)	33.9
Down-Slope Load (lb/ft²)	16.5

Test Loads:

Module Area up to 22.2 sq ft	
Downward Load (lb/ft²)	170.20
Upward Load (lb/ft²)	76.07
Down-Slope Load (lb/ft²)	24.2

Module Area up to 27.12 sq ft	
Downward Design Load (lb/ft²)	50.85
Upward Design Load (lb/ft²)	50.85
Down-Slope Load (lb/ft²)	24.75



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SM and ULA markings

The following markings appear on the rail by adhesive label:

1. Submitter’s name and/or CSA Master Contract number “266909”;

2. Model designation;

3. Manufacturing date;

4. System fire class rating/designation of information location in Installation Manual;

5. Design load rating/designation of information location in Installation Manual;

The following markings appear on the Mid clamp by stamping:

1. Submitter’s name and/or CSA Master Contract number “266909”;

2. CSA mark

3. Mil ID for factory location

Nameplate adhesive label material approval information:

SATO AMERICA INC, SF401 DuraMark Polyester, MH48415 - Printing Materials – Component, UL 969-Marking and Labeling Systems

RM 5 South and RM DT markings

The following markings appear on the ballast bay by permanent stamping:

1. Submitter’s name and/or CSA Master Contract number “266909”;

2. Model designation;

3. Manufacturing date;

4. System fire class rating/designation of information location in Installation Manual;

5. Design load rating/designation of information location in Installation Manual;



Nameplate adhesive label material approval information:

Markings applied via permanent stamping to bay.

1. The system does not employ a maximum number of modules that can be installed per system.

2. Module Orientation:

a. SM & ULA - Portrait or Landscape

b. RM5 & DT – Landscape

c. GFT – Portrait

d. NXT Horizon - Portrait or Landscape

3. The system was evaluated for use with modules up to:

a. SM & ULA – 27.12 sq ft

b. RM5 & DT – 27.76 sq ft

c. GFT - Portrait - 27.12 sq ft

d. NXT Horizon –27.76 sq ft

4. See Table 1 for customer supplied information for SM

5. See Table 2 for customer supplied information for ULA

6. See Table 3 for customer supplied information for RM

7. See Table 4 for customer supplied information for GFT


8. See Table 5 for customer supplied information for NXT Horizon

9. See the attached installation manual for each model installation instructions, and system drawings.

The critical components identified below may be formed at other locations and shipped directly to the construction site provided they are made with the material/coatings identified and conform to the physical dimensions described and shown in their respective illustrations. Physical specimens may not be present at the location where the CSA mark is applied. Location of markings can be found in the Marking section of this report.

Table 1


MODULE RACKING SYSTEM TYPE/S	
Model	SM
Module Fire Type	Class A with Type 1, 2, 3 (with metallic frame), 4 (with trim), 5 (with trim), 10 (with metallic frame), 19, 22, 25, 29, or 30 for steep slope. Tested at 5” interstitial gap, the rating obtained for a 5-inch (127 mm) gap can be used for any other gaps allowed by the mounting instructions, per section 15 of UL 2703
Max branch circuit overcurrent-protection device (A)	30
IDENTIFICATION OF COMPONENTS AND MATERIALS	
End Clamp	M101XX Rev. H Extruded Aluminum : 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5
End Clamp Assembly	M500XX Rev. C, (M50060 – M50071) Extruded Aluminum : 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5
Bonding Mid Clamp	M6065X, Rev A and M6065X, Rev F 300 Series Stainless Steel



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Mid-Clamp Assembly.....:	M500XX Rev. E, (M50077 –M50082) Extruded Aluminum: 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5																								
End-Clamp Assembly.....:	M60630 Rev. F Extruded Aluminum per ASTM B221-08: 6005A-T61, 6061-T6 and 18-8 Stainless Steel or 316 Stainless Steel																								
Mid-Clamp Assembly.....:	M60640 Rev. B – Mill finish or SKU 302030M M60645 Rev. B – Anodized finish or SKU 302030D Extruded Aluminum per ASTM B221-08: 6005A-T6, 6061-T6, or 6351-T5 and 300 Series Stainless Steel and 316 Stainless Steel																								
End-Clamp Assembly.....:	P30602125 Rev. D, Rev. E Extruded Aluminum per ASTM B221-08: 6005A-T61 or 6061-T6, 6063-T6 and 300 Series Stainless Steel.																								
Mid-Clamp Assembly.....:	P30601225 Rev. C, Rev. D Extruded Aluminum per ASTM B221-08: 6063-T6 and 300 Series Stainless Steel.																								
T-Bolt Serrated	M3020X Rev. A, Rev. D, Rev. D3, Rev. E 300 Series Stainless Steel																								
T-Bolt Non-Serrated.....:	M3018X, Rev. G 300 Series Stainless Steel Suitable for use ONLY on mil-finish rails, such as: <ul style="list-style-type: none">• M10001 (SM1 rail, item 008A)• M10154-1 (SM2 rail, item 008B)																								
SM Rail.....:	M10001, Rev D Extruded Aluminum: 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5; Mil-Finish																								
SM Rail.....:	M10154, Rev D Extruded Aluminum: 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5; Finish per table: -1 = Mil; as fabricated M12 -2 = Clear; Anodize Type II A-21 clear -3 = Black, Anodize Type II A-24 black																								
SM Heavy Duty Rail	M10XXX, Rev D Extruded Aluminum per ASTM B221-08: 6005A-T61, 6351-T5, 6061-T6, 6005-T5 and 6105-T5; Finish per table: <table border="1"><thead><tr><th colspan="3">PART TABLE</th></tr><tr><th>Part Number</th><th>LENGTH</th><th>FINISH</th></tr></thead><tbody><tr><td>M10098</td><td>144 in</td><td>AA-M12</td></tr><tr><td>M10099</td><td>168 in</td><td>AA-M12</td></tr><tr><td>M10100</td><td>204 in</td><td>AA-M12</td></tr><tr><td>M10106</td><td>240 in</td><td>AA-M12</td></tr><tr><td>M10011</td><td>360 in</td><td>AA-M12</td></tr><tr><td>M10015</td><td>336 in</td><td>MINIMUM AA-M12C22A21</td></tr></tbody></table>	PART TABLE			Part Number	LENGTH	FINISH	M10098	144 in	AA-M12	M10099	168 in	AA-M12	M10100	204 in	AA-M12	M10106	240 in	AA-M12	M10011	360 in	AA-M12	M10015	336 in	MINIMUM AA-M12C22A21
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M10011	360 in	AA-M12																							
M10015	336 in	MINIMUM AA-M12C22A21																							

SM Light Rail	M101XX, Rev A Extruded Aluminum per ASTM B221-08: 6005A-T61 and 6061-T6; Finish per table: <table><tr><th colspan="6">PART TABLE</th></tr><tr><th>PART NUMBER</th><th>LBS</th><th>LENGTH ±.125</th><th>WIDTH</th><th>HEIGHT</th><th>FINISH</th></tr><tr><td>M10181</td><td>6.88</td><td>168 in</td><td>.778"</td><td>1.700"</td><td>AAMA M12 AS FABRICATED</td></tr><tr><td>M10182</td><td>6.88</td><td>168 in</td><td>.778"</td><td>1.700"</td><td>AAMA M12C22A24 BLACK 0.1 MIL MIN</td></tr><tr><td>M10183</td><td>9.94</td><td>240 in</td><td>.778"</td><td>1.700"</td><td>AAMA M12 AS FABRICATED</td></tr><tr><td>M10184</td><td>9.94</td><td>240 in</td><td>.778"</td><td>1.700"</td><td>AAMA M12C22A24 BLACK 0.1 MIL MIN</td></tr></table>	PART TABLE						PART NUMBER	LBS	LENGTH ±.125	WIDTH	HEIGHT	FINISH	M10181	6.88	168 in	.778"	1.700"	AAMA M12 AS FABRICATED	M10182	6.88	168 in	.778"	1.700"	AAMA M12C22A24 BLACK 0.1 MIL MIN	M10183	9.94	240 in	.778"	1.700"	AAMA M12 AS FABRICATED	M10184	9.94	240 in	.778"	1.700"	AAMA M12C22A24 BLACK 0.1 MIL MIN
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Splice Bar, 4"	M103XX, Rev. B Extruded Aluminum : 6005A-T61, 6351-T5, 6061-T6, 6005-T5, 6105-T5																																				
BND Splice Bar Pro Series SM	P28205001, Rev. B Material is extruded aluminum per ASTM B221-08:6005A-T61, 6351-T5, 6061-T6, 6005-T5 and 6105-T5; Finish per table: <table><tr><th colspan="6">ASSEMBLY TABLE</th></tr><tr><th>FINISH</th><th>SKU #</th><th>ASSY NUMBER</th><th>ITEM 1 - SPLICE</th><th>ITEM 2 - SCREW</th><th>WEIGHT</th></tr><tr><td>MILL</td><td>30319M</td><td>P28205005M</td><td>P28205001M</td><td>M30009</td><td>.223 LB</td></tr><tr><td>DARK</td><td>30319D</td><td>P28205005D</td><td>P28205001D</td><td>M30010</td><td>.223 LB</td></tr></table>	ASSEMBLY TABLE						FINISH	SKU #	ASSY NUMBER	ITEM 1 - SPLICE	ITEM 2 - SCREW	WEIGHT	MILL	30319M	P28205005M	P28205001M	M30009	.223 LB	DARK	30319D	P28205005D	P28205001D	M30010	.223 LB												
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Serrated L-Foot.....	M10175, Rev G Extruded Aluminum : 6005A-T61, 6351-T5, 6061-T6 P28405002-002, Rev. C Finish per table: <table><tr><th colspan="5">PART TABLE</th></tr><tr><th>Part Number</th><th>LENGTH</th><th colspan="2">FINISH</th><th>WEIGHT</th></tr><tr><td>P28405002-002M</td><td>2,000 in</td><td colspan="2">AA M12 AS FABRICATED</td><td>.215 LB</td></tr><tr><td>P28405002-002D</td><td>2,000 in</td><td colspan="2">AA M12C22A24 BLACK 0.1 MIL MIN</td><td>.215 LB</td></tr><tr><td>P28405002-002C</td><td>2,000 in</td><td colspan="2">MAKE FROM P28405002-288D, REV-A; ANODIZE NOT REQUIRED ON FABRICATION EDGES</td><td>.215 LB</td></tr></table> EcoFasten Solar 004050X Aluminum: 6000 Series, Finish: X= M – Mill Finish Aluminum D – Anodize Black Type 2, Class 2 per AAMA 611-12 P28503006, Rev. E COMP ASSEMBLY FLASHLOC Cast Aluminum, A380 Mill or Black finish, see drawings P28503025, Rev. B ASSEMBLY FLASHLOC DTD Cast Aluminum, A380 Mill or Black finish, see drawings	PART TABLE					Part Number	LENGTH	FINISH		WEIGHT	P28405002-002M	2,000 in	AA M12 AS FABRICATED		.215 LB	P28405002-002D	2,000 in	AA M12C22A24 BLACK 0.1 MIL MIN		.215 LB	P28405002-002C	2,000 in	MAKE FROM P28405002-288D, REV-A; ANODIZE NOT REQUIRED ON FABRICATION EDGES		.215 LB											
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PV INSTALLATION
PROFESSIONAL
Scott Gurney
#PV-011719-015866

CONTRACTOR:
BRS FIELD OPS
385-498-6700

DRAWING BY:

PLOT DATE:

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SS

Serrated nut.....:	EcoFasten Solar, N-FL 375-16X335 UNI 18-8 Stainless Steel or 304 Stainless Steel										
Nut, Flange Serrated.....:	M30211 Stainless Steel, Black Oxide										
Nut, Flange Serrated.....:	M30380 300 Series Stainless Steel										
T-bolt, Serrated.....:	M31156 300 Series Stainless Steel										
Washer, Flat, RET	M31160 PVC Plastic										
Washer NEOP.....:	M31161 Neoprene										
Screw, Self Drill	M31162 300 Series Stainless Steel										
Nut, Keps 0.25	M31163 300 Series Stainless Steel										
Nylon-Insert Lock Nut, 0.25-20	M30360 316 Stainless Steel										
K-Lock Nut, 0.25-20	M31159 18-8 Stainless Steel										
Nut, Flange Serrated.....:	M31184 300 Series Stainless Steel										
Tri Drive Nut serrated	M38018 18-8 Stainless Steel										
Micro-inverter T-Bolt.....:	M50085 300 Series Stainless Steel										
MLPE Mount.....:	M51538 Rev. C Extruded Aluminum with Stainless Steel Bond Pin & Serrated Flange Nut ETL file 5003705										
SM Trim	M110XX Rev. C Extruded Aluminum per ASTM B221-08: 6005A-T61, 6351-T5, 6061-T6, 6005-T5 and 6105-T5; Finish per table : <table><tr><th colspan="2">PART TABLE</th></tr><tr><th>PART NUMBER</th><th>FINISH</th></tr><tr><td>M11029</td><td>AA-M12C22A21 0.1 MIL MIN</td></tr><tr><td>M11030</td><td>AA-M12C22A24 BLACK 0.1 MIL MIN</td></tr><tr><td>M11031</td><td>AA-M12</td></tr></table>	PART TABLE		PART NUMBER	FINISH	M11029	AA-M12C22A21 0.1 MIL MIN	M11030	AA-M12C22A24 BLACK 0.1 MIL MIN	M11031	AA-M12
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M11030	AA-M12C22A24 BLACK 0.1 MIL MIN										
M11031	AA-M12										
Micro-Inverter	Enphase, M215, M250, IQ6 or IQ6+ Aluminum mounting bracket attached to electronics enclosure										

Optimizer.....:	Solar Edge, P300, P320, P400, or P405, P600, P700, P730, P800p or P800s Aluminum mounting bracket attached to electronics enclosure.
N-S Clip.....:	M60013 8AWG or Equivalent solid copper wire, 300 stainless steel spring force clips
Ground lug.....:	Burndy WEEB-LUG-6.7 Tin Plated Copper, Stainless Steel Bonding Insert UL467 Listed Intertek 3098177
Ground lug	IlSCO Lay in Lug GBL-4DBT Tin-plated copper with stainless steel torque screw; Ground wire 4-14 AWG UL467 Listed UL File E34440
Ground lug.....:	IlSCO SGB-4 lug 6061 Aluminum, Tin Plated UL467 Listed UL File E34440
Label	SATO AMERICA INC, SF401 DuraMark Polyester, MH48415 - Printing Materials – Component, UL 969- Marking and Labeling Systems
Installation Manual	2022JUL21 SM Installation Guide

Table 2

MODULE RACKING SYSTEM TYPE/S																			
Model	ULA using SM Platform																		
ULA Front Cap.....:	M50400 (Assembly of Doghouse and Slider) 6105-T5 Aluminum																		
ULA Rear Cap.....:	M50420 (Assembly of Doghouse and Slider) 6105-T5 Aluminum																		
ULA Aluminum 2 Inch Doghouse ...:	M10920, Rev. C Material is extruded aluminum per ASTM B221-08:6005A-T61, 6351-T5, 6061-T6, 6005-T5 and 6105-T5; <table><tr><th colspan="4">TABLE</th></tr><tr><th>Part Number</th><th>LENGTH</th><th>LENGTH_TOL</th><th>3/8-16 HOLES</th></tr><tr><td>M40400</td><td>4.125 in</td><td>+/- .063</td><td>YES</td></tr><tr><td>M10920</td><td>288</td><td>+/- .125</td><td>NONE</td></tr></table>			TABLE				Part Number	LENGTH	LENGTH_TOL	3/8-16 HOLES	M40400	4.125 in	+/- .063	YES	M10920	288	+/- .125	NONE
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FLASHLOC™ DUO

THE MOST VERSATILE DIRECT TO DECK ATTACHMENT



FLASHLOC™ DUO is the most versatile direct to deck and rafter attachment for composition shingle and rolled comp roofs. The all-in-one mount installs fast — no kneeling on hot roofs to install flashing, no prying or cutting shingles, no pulling nails. Simply drive the required number of screws to secure the mount and inject sealant into the base. **FLASHLOC's** patented TRIPLE SEAL technology preserves the roof and protects the penetration with a permanent pressure seal. Kitted with two rafter screws, sealant and hardware for maximum convenience (deck screws sold separately). Don't just divert water, **LOC it out!**



PROTECT THE ROOF

Install a high-strength waterproof attachment without lifting, prying or damaging shingles.

APRIL2021_FLASHLOC2DUO_V1



LOC OUT WATER

With an outer shield **1** contour-conforming gasket **2** and pressurized sealant chamber **3** the Triple Seal technology delivers a 100% waterproof connection.



HIGH-SPEED INSTALL

Simply drive the required number of screws and inject sealant into the port **4** to create a permanent pressure seal.

FASTER INSTALLATION. 25-YEAR WARRANTY.

FOR QUESTIONS OR CUSTOMER SERVICE VISIT UNIRAC.COM OR CALL (505) 248-2702

FLASHLOC™ DUO

INSTALLATION GUIDE



PRE-INSTALL: CLEAN SURFACE AND MARK LOCATION

Ensure existing roof structure is capable of supporting the roof attachment point loads stated in the racking system engineering specifications. Clean roof surface of dirt, debris, snow and ice.

Snap chalk lines for attachment rows. On shingle roofs, snap lines 1/4" below upslope edge of shingle coarse. This line will be used to align the upper edge of the mount.

NOTE: Space mounts per racking system installation specifications.



STEP ONE: SECURE

ATTACHING TO A RAFTER: Place FLASHLOC DUO over rafter location with sealant port on up-slope side and align upper edge of mount with horizontal chalk line. Secure mount with the two (2) provided rafter screws. BACKFILL ALL PILOT HOLES WITH SEALANT.

ATTACHING TO SHEATHING: Place FLASHLOC DUO over desired location with sealant port on up-slope side and align upper edge of mount with horizontal chalk line. Secure mount with the two (2) provided rafter screws. Next, secure mount with four (4) deck screws by drilling through the FLASHLOC DUO deck mount hole locations. Unirac recommends using a drill as opposed to an impact gun to prevent over-tightening or stripping roof sheathing.

IMPORTANT: SECURELY ATTACH MOUNT BUT DO NOT OVERTIGHTEN SCREWS.



STEP TWO: SEAL

Insert tip of UNIRAC approved sealant into port and inject until sealant exits vent. Follow sealant manufacturer's instructions. Follow sealant manufacturer's cold weather application guidelines, if applicable.

NOTE: When FLASHLOC DUO is installed over gap between shingle tabs or vertical joints, fill gap/joint with sealant between mount and upslope edge of shingle course.

CUT SHINGLES AS REQUIRED: DO NOT INSTALL THE FLASHLOC SLIDER ACCROSS THICKNESS VARIATIONS GREATER THAN 1/8" SUCH AS THOSE FOUND IN HIGH DEFINITION SHINGLES.

NOTE: If an exploratory hole falls outside of the area covered by the sealant, flash hole accordingly.
NOTE: Read and comply with the Flashloc Duo Design & Engineering Guide prior to design and installation of the system.



USE ONLY UNIRAC APPROVED SEALANTS. PLEASE CONTACT UNIRAC FOR FULL LIST OF COMPATIBLE SEALANTS.

Continue array installation. Refer to SOLARMOUNT or NXT HORIZON Installation Guide for the remaining system installation.

FASTER INSTALLATION. 25-YEAR WARRANTY.

FOR QUESTIONS OR CUSTOMER SERVICE VISIT UNIRAC.COM OR CALL (505) 248-2702



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SS

Temperature range

RECORD LOW RECORD HIGH

-27 - 34 °C



* IQ8H-208 support split phase, 208V only.

SEG-400-BMD-HV



✓ Compatible (✗) Not compatible

Notice

Modules paired with Enphase microinverters with Integrated Ground must use PV Wire or PV Cable that is compliant with NEC 690.35(D) for Ungrounded PV Power Systems. When using this solar panel calculator, do not connect an Enphase microinverter to a module that the calculator indicates is incompatible. Doing so may void the warranty. This calculator only shows the compatibility of the modules with Enphase microinverters and doesn’t provide any information on clipping that may occur due to sizing and other DC parameters of the PV module. Enphase IQ Series microinverters are compatible with bi-facial PV modules if the temperature adjusted electrical parameters (maximum power, voltage and current) of the modules, considering the electrical parameters including the Bifacial gain, are within the allowable microinverter input parameters range. In evaluating the amount of Bifaciality gain, follow the recommendations of the module manufacturers.

V2-NA-EN-08-18

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SOLAR PANEL INFORMATION

(**Fill out completely.** Incomplete forms will be returned and have a longer processing time.)

Please do not refer to drawing or spec sheets for information required below.

Please submit the following information for Zoning Approval of Solar Panel project:

Ground or roof mount installation: Roof Mount

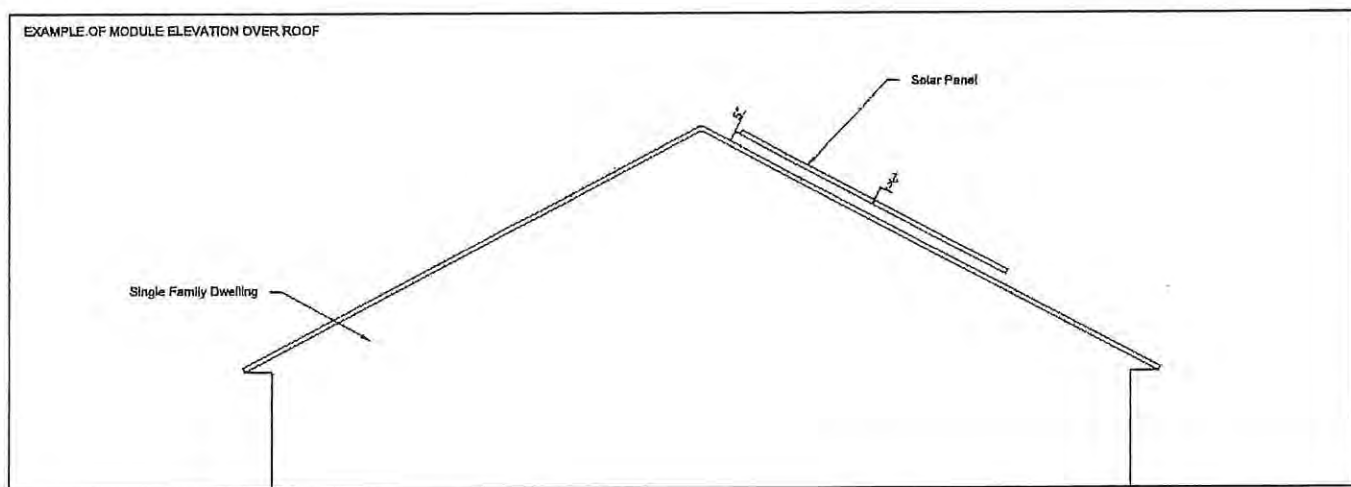
Number of modules: 16

Dimensions of module (in inches): 72 x 40 x 1

Cost of project: 5846.26

Distance from roof plane to bottom of module: 3 in

(Note: A detail of distance showing dimension is required. Please see example.)





Domus Structural Engineering, LLC
P.O. Box 560
Broomfield, CO 80038
530-864-7055
projects@domusstruc.com

September 14, 2023

To: Blue Raven Solar
1403 North Research Way, Building J
Orem, UT. 84097

Subject: Certification Letter
Broadhurst Residence
987 Theodore Rd
Awendaw, SC. 29429

To Whom It May Concern,

A jobsite observation of the condition of the existing framing system was performed by an audit team of Blue Raven Solar as a request from Domus Structural Engineering. All review is based on these observations and the design criteria listed below and only deemed valid if provided information is true and accurate.

On the above referenced project, the roof structural framing has been reviewed for additional loading due to the installation of the solar PV addition to the roof. The structural review only applies to the section of the roof that is directly supporting the solar PV system and its supporting elements. The observed roof framing is described below. If field conditions differ, contractor to notify engineer prior to starting construction.

The roof structures of (MP1&2) consist of composition shingle on roof plywood that is supported by pre-manufactured trusses that are spaced at @ 24"o.c.. The top chords, sloped at 27 degrees, are 2x4 sections, the bottom chords are 2x4 sections and the web members are 2x4 sections. The truss members are connected by steel gusset plates. The max unsupported projected horizontal top chord span is approximately 7'-0".

The existing roof framing systems of (MP1&2) are judged to be adequate to withstand the loading imposed by the installation of the solar panels. No reinforcement is necessary.

The spacing of the solar standoffs should be kept at 18" o.c. for landscape and 12" o.c. for portrait orientation, with a staggered pattern to ensure proper distribution of loads.

The scope of this report is strictly limited to an evaluation of the fastener attachment, underlying framing and supporting structure only. The attachment's to the existing structure are required to be in a staggered pattern to ensure proper distribution of loading. All panels, racking and hardware shall be installed per manufacturer specifications and within specified design limitations. All waterproofing shall be provided by the manufacturer. Domus Structural Engineering assumes no responsibility for misuse or improper installation of the solar PV panels or racking.

Design Criteria:

- Applicable Codes = 2018 IBC/IRC, ASCE 7-16
- Roof Dead Load = 7 psf (MP1&2)
- Roof Live Load = 20 psf
- Wind Speed = 142 mph (Vult), Exposure C
- Ground Snow Load = 5 psf - Roof Snow Load = 3.5 psf
- Attachment: 6 - #12 Wood Screws into wood decking, at spacing shown above.

Please contact me with any further questions or concerns regarding this project.

Sincerely,

John Calvert, P.E.
Project Engineer



Digitally signed by John A.
Calvert
Date: 2023.09.14 17:09:08
-06'00'

Broadhurst Awendaw SC 1

Gravity Loading

Roof Snow Load Calculations		
p_g = Ground Snow Load =	5.0 psf	
$p_f = 0.7 C_e C_t I p_g$		(ASCE7 - Eq 7-1)
C_e = Exposure Factor =	1	(ASCE7 - Table 7-2)
C_t = Thermal Factor =	1	(ASCE7 - Table 7-3)
I = Importance Factor =	1	
p_f = Flat Roof Snow Load =	3.5 psf	
$p_s = C_s p_f$		(ASCE7 - Eq 7-2)
C_s = Slope Factor =	1	
p_s = Sloped Roof Snow Load =	3.5 psf	

PV Dead Load = 3 psf (Per Blue Raven Solar)	
DL Adjusted to 27 Degree Slope	3.37 psf
PV System Weight	
Weight of PV System (Per Blue Raven Solar)	3.0 psf
X Standoff Spacing =	1.00 ft
Y Standoff Spacing =	3.04 ft
Standoff Tributary Area =	3.04 sft
Point Loads of Standoffs	9 lb

Note: PV standoffs are staggered to ensure proper distribution of loading

Roof Live Load = 20 psf	
Note: Roof live load is removed in area's covered by PV array.	

Roof Dead Load (MP1&2)		
Composition Shingle	4.00	
Roof Plywood	2.00	
2x4 Top Chords @ 24"o.c.	0.73	
Vaulted Ceiling	0.00	(Ceiling Not Vaulted)
Miscellaneous	0.27	
Total Roof DL (MP1&2)	7.0 psf	
DL Adjusted to 27 Degree Slope	7.9 psf	

Wind Calculations
Per ASCE 7-16 Components and Cladding

Input Variables	
Wind Speed	142 mph
Exposure Category	C
Roof Shape	Hip Roof
Roof Slope	27 degrees
Mean Roof Height	15 ft
Effective Wind Area	21.3 ft
Ground Elevation	0 ft

Design Wind Pressure Calculations	
qh = 0.00256 * Kz * Kzt * Kd * Ke * V^2	(Eq. 26.10-1)
Kz (Exposure Coefficient) = 0.85	(Table 30.3-1)
Kzt (topographic factor) = 1.00	(Fig. 26.8-1)
Kd (Wind Directionality Factor) = 0.85	(Table 26.6-1)
Ke (Ground Elevation Factor) = 1.00	
V (Design Wind Speed) = 142 mph	(Fig. 26.5-1A)
Risk Category = II	(Table 1.5-1)
qh = 37.25	

Standoff Uplift Calculations-Portrait				
	Zone 1	Zone 2	Zone 3	Positive
ya =	0.80	0.80	0.80	0.80
GCp =	-1.40	-2.00	-2.00	0.70 (Fig. 30.3)
Uplift Pressure =	-41.7 psf	-59.6 psf	-59.6 psf	20.9 psf (Eq. 29.4-7)
ASD Uplift Pressure =	-25.0 psf	-35.8 psf	-35.8 psf	12.5 psf
X Standoff Spacing =	1.00	1.00	0.67	
Y Standoff Spacing =	3.04	3.04166667	3.04166667	
Tributary Area =	3.04	3.04	2.03	
Dead Load on attachment =	9 lb	9 lb	6 lb	
Footing Uplift (0.6D+0.6W) =	-71 lb	-103 lb	-69 lb	

Standoff Uplift Calculations-Landscape				
	Zone 1	Zone 2	Zone 3	Positive
ya =	0.80	0.80	0.80	0.80
GCp =	-1.40	-2.00	-2.00	0.70 (Fig. 30.3)
Uplift Pressure =	-41.7 psf	-59.6 psf	-59.6 psf	20.9 psf (Eq. 29.4-7)
ASD Uplift Pressure (0.6W)=	-25.0 psf	-35.8 psf	-35.8 psf	12.5 psf
X Standoff Spacing =	1.50	1.50	1.00	
Y Standoff Spacing =	1.75	1.75	1.75	
Tributary Area =	2.63	2.63	1.75	
Dead Load on attachment =	7.88	7.88	5.25	
Footing Uplift (0.6D+0.6W) =	-61 lb	-89 lb	-59 lb	

Standoff Uplift Check
Maximum Design Uplift = -103 lb
Standoff Uplift Capacity = 135 lb
135 lb capacity > 103 lb demand Therefore, OK

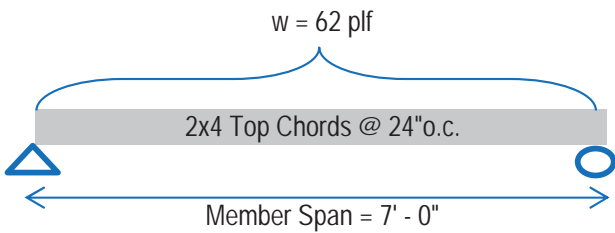
Fastener Capacity Check
Fastener = 6 - #12 Wood Screws
Number of Fasteners = 6
Embedment Depth = 0.5
Pullout Capacity Per Screw = 177 lb
Fastener Capacity = 1062 lb
w/ F.S. of 3= 354 lb
354 lb capacity > 103 lb demand Therefore, OK

Framing Check
(MP1&2)

PASS

Dead Load 7.9 psf
PV Load 3.4 psf
Live Load 20.0 psf

Governing Load Combo = DL + LL
Total Load 31.2 psf



Member Properties				
Member Size	S (in^3)	I (in^4)	Lumber Sp/Gr	Member Spacing
2x4	3.06	5.36	DF#2	@ 24"o.c.

Check Bending Stress							
Fb (psi) =	f _b	x	C _d	x	C _f	x	C _r
	900	x	1.25	x	1.5	x	1.15

Allowed Bending Stress = 1940.6 psi

Maximum Moment = $(wL^2) / 8$
= 382.485 ft#
= 4589.82 in#

Actual Bending Stress = (Maximum Moment) / S
= 1498.8 psi

Allowed > Actual -- 77.3% Stressed -- Therefore, OK

Check Deflection		
Allowed Deflection (Total Load) =	$L/180$	(E = 1600000 psi Per NDS)
	= 0.466 in	
Deflection Criteria Based on =	Continuous Span	
Actual Deflection (Total Load) =	$(wL^4) / (185 \cdot E \cdot I)$	
	= 0.164 in	
	= L/513 > L/180	Therefore OK

Allowed Deflection (Live Load) =	$L/240$	
	0.35 in	
Actual Deflection (Live Load) =	$(wL^4) / (185 \cdot E \cdot I)$	
	0.105 in	
	L/800 > L/240	Therefore OK

Check Shear		
Member Area = 5.3 in^2	F _v (psi) = 180 psi	(NDS Table 4A)
Allowed Shear = F _v * A = 945 lb	Max Shear (V) = w * L / 2 =	219 lb

Allowed > Actual -- 23.2% Stressed -- Therefore, OK

Lateral Check

Existing Weight of Effected Building			
Level	Area	Weight (psf)	Weight (lb)
Roof	1828 sf	7.9 psf	14361 lb
Ceiling	1828 sf	6.0 psf	10968 lb
Wood Siding	100 ft	5.0 psf	2000 lb
Int. Walls	100 ft	6.4 psf	2560 lb
Existing Weight of Effected Building			29889 lb

(8'-0" Wall Height)

Proposed Weight of PV System	
Weight of PV System (Per Blue Raven Solar)	3.0 psf
Approx. Area of Proposed PV System	341 sf
Approximate Total Weight of PV System	1023 lb

10% Comparison	
10% of Existing Building Weight (Allowed)	2989 lb
Approximate Weight of PV System (Actual)	1023 lb
Percent Increase	3.4%
2989 lb > 1023 lb, Therefore OK	



Domus Structural Engineering, LLC
P.O. Box 560
Broomfield, CO 80038
530-864-7055
projects@domusstruc.com

Appendix A: General Notes

GENERAL

- The contractor shall verify all dimensions, property setbacks, AHJ/HOA CC&R's, elevations and site conditions before starting work and shall notify Domus Structural Engineering, LLC of any discrepancies.
- All report conclusions represent Domus Structural Engineering, LLC's best professional judgment based upon industry standards.
- Resolve any conflicts on the drawings with Domus Structural Engineering, LLC before proceeding with construction.
- The design criteria used for this project & listed on the first page of the report is based on the engineers best judgement and/or provided by the ATC council. AHJ specific requests may differ. Please contact our team if the design criteria needs to be modified.
- A site visit was not physically conducted by Domus Structural Engineering, LLC. The accompanying calculations and certification are provided with the understanding that the site building and construction standards meet an acceptable level of industry standards. It shall be the contractors responsibility to identify any irregularities such as inconsistent framing conditions, water damage, fire damage, cracked, split or noticeably deflecting framing members.
- Domus Structural Engineering, LLC is not responsible for enforcing safety measures or regulations. The contractor shall design, construct, and maintain all safety devices including shoring and bracing, and shall be solely responsible for conforming to all local, state and federal safety and health standards, laws and regulations. The contractor shall take necessary precautions to maintain and insure the integrity of the structure during construction. If a lawsuit is filed by one of the contractor's or subcontractor's employees, or any one else, the contractor will indemnify, defend and hold the owner and Domus Structural Engineering, LLC harmless of any and all such claims.
- Any and all waterproofing shall be provided by the contractor. Domus Structural Engineering, LLC is not responsible for waterproofing.
- All hardware shall be installed per manufacturer specifications and within specified design limitations. Domus Structural Engineering, LLC assumes no responsibility for incorrectly installed hardware or hardware installed outside of the manufacturer specifications.

USER RELIANCE

- Domus Structural Engineering, LLC was engaged by Blue Raven Solar (Client) to perform this assessment. This report and the information therein, are for the exclusive use of the Client. This report has no other purpose and shall not be relied upon, or used, by any other person or entity without the written consent of Dous Structural Engineering, LLC. Third parties that obtain this report, or the information within shall have no rights of recourse or recovery against Domus Structural Engineering, LLC, it's officers or employees.

ROOF MOUNTED ARRAYS

- If an analysis of a supporting stucture is included in our scope of work, the structural assessment only applies to the section of the roof that is directly supporting the proposed solar PV system.
- No structural members can be cut for conduit, etc., unless specifically shown. Obtain prior written approval for installation of any additional conduit, etc.
- It is assumed that a standard quality of construction care was used to construct the original building. It shall be the contractors responsibility to field verify any and all framing member supporting the proposed PV array are in adequate condition. The contractor shall field inspect for sub-standard construction means, signs of dry rot, mold, fire damage, etc. and notify engineer if any compromised material is found on site prior to starting construction.
- It is assumed that there have been no additional loads (HVAC or MEP equipment, additional layers of roofing, etc) added to the building over the course of the structures histroy. The contractor and/or client shall verify this with the property owner and notify Domus Structural Engineering, LLC if additional load has been added to the structure already.
- Flexible utility connections must be used at any building seismic joint.
- Care should be taken to ensure that PV arrays do not preclude drainage of rain water.
- Unless otherwise noted, construction material shall be evenly distributed if placed on framed floors or roofs. Loads shall not exceed the allowable loading for the supporting members and their connections.
- All lags or wood screws at the roof shall be stainless steel and installed withing the middle 1/3 of the dimensional width of the framing members.
- All fasteners shall be a minimum of 6" away from any truss panel or hinge joints, truss plates and/or member ends. Field verify location of fasteners prior to starting construction. All fasteners shall be pre-drilled to avoid splitting existing lumber.
- Domus Structural Engineering, LLC is not responsible for downslope effects of snow shedding or sliding off of the PV array nor any damage to downslope decks, roofs, walkways, landscaping, automobiles, pets, people, etc.. If snow guards are requested by the customer, notify Domus Structural Engineering, LLC.

Certificate of Historic Appropriateness Application:

HIST-02-24-00107

- Case History**
- Presentation**
- Application**

**CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-04-24-00107
CASE HISTORY**

Historic Preservation Commission: May 15, 2024

CASE INFORMATION

Location: 7666 Point of Pines Road

Parcel Identification: 085-00-00-028

Council District: 8 - Boykin

Property Size: 8.92 acres

Application: Certificate of Historic Appropriateness request for the relocation of a previously approved ADA ramp at TMS 085-00-00-028, 7666 Point of Pines Road, also known as Hutchinson House, a property listed on the National Register of Historic Places.

Parcel Information and Area Description: The subject property is zoned Agricultural Residential (AGR) and is the site of an uninhabited Single-Family Residence, Hutchinson House. The Future Land Use designation is Agricultural Residential. Surrounding properties are also zoned AGR and contain single-family dwelling units or are undeveloped. The subject property is in the AE and Shaded X flood zones.

Historic Significance: The Hutchinson House is the oldest known house, post-Civil War, on Edisto Island credited to the African American community. Henry Hutchinson, who lived in the house and is credited with its construction, was born into slavery, and after the Civil War, became the first African American man on Edisto Island to own and operate his own cotton gin, from 1900-1920. Henry's father, James Hutchinson, was a Union soldier and prominent figure on Edisto Island, who fought as both a slave and later a freedman to improve living conditions for African Americans. The Hutchinson House was listed on the National Register on May 5, 1987.

Property History:

Recent Applications:

- July 21, 2020: Certificate of Historic Appropriateness request to stabilize the Hutchinson House (HIST-06-20-0008)
- July 28, 2020: Zoning Permit approval for the stabilization of the Hutchinson House (ZONE-07-20-08661)
- November 17, 2022: Zoning application for historic restoration of Hutchinson House, future use of parcel will include a publicly accessible museum, parking, public use of trail system, and house tours (ZonA-11-22-03741)
- January 4, 2023: Site Plan Review for the renovation of the Hutchinson House, retroactive approval of driveway and parking lot with two kiosk signs and security gate, as well as the permanent installation of two storage containers (ZSPR-01-23-000821)
- May 5, 2023: Certificate of Historic Appropriateness request for reconstruction of the porch and north rooms of the Hutchinson House as part of the overall project to restore the house to its original state, circa 1885 (HIST-05-23-00084)
- June 6, 2023: Variance request for relief from required and adjacent property buffer plantings and for relief from required tree island plantings on a temporary parking lot (BZA-06-23-00677)

Project Description:

Applicant's Project Description: *"At the request of the Hutchinson House Director, we have been asked to study the location of the ramp for the ADA entry to the house. There is potential for a future archaeological dig, and the area at the rear of the house appears that it may be most suited for that work. As a result, we are proposing to relocate the ADA ramp to the east side of the house. This will not be visible from the principal approach, and the profile of the historic building will remain unmarred. The only change being made is the relocation of the non-historic ramp, which you will find clouded and attached. Thank you for your consideration."*

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-4.B, Applicability, states, "A Certificate of Historic Appropriateness is required: a. Before the issuance of Zoning Permits for the demolition, alteration, modification, addition to, new construction, rehabilitation, relocation, or restoration to a Historic Property including construction of new structures in Historic Districts; and b. Before Subdivision Plat and Site Plan Review approvals for properties located within 300 feet of a Historic Property."

Sec. 20-4.F, Approval Criteria, states "In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider: a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration; b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District; c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments."

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-4.F:

- 1. In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:**
 - a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration;**

Applicant Response: *"The Hutchinson House was constructed around 1885 by Henry Hutchinson on land purchased by his father Jim Hutchinson. Both men had been born into slavery and became leaders in the Black community of Edisto Island during Reconstruction. Jim, known as a "Black King of Edisto" encouraged the members of the formerly enslaved community to purchase land after the Civil War. His son continued his legacy of leadership, eventually operating a cotton gin on the site to serve the Black cotton farmers of Edisto. Henry's descendants maintained ownership of the property until 2016, when it was purchased by the Edisto Island Open Land Trust with the intention to repair and restore the house."*

The house was a statement of post-emancipation resilience, stability, and success. Although the house is not large, the one and a half story building is raised off of the ground and stands tall on the landscape. Originally built in a folk Victorian style, the house had a wrap-around porch on three sides and decorative bargeboard details. The structure consists of mortise and tenon timber framing. When the house was vacated in the 1980s, it fell into disrepair. Today, the central one and a half story heart of the house with its

original interior remains. Over the past several years, the house has undergone significant structural stabilization and building envelope repairs.”

Staff Response: The Hutchinson House was listed on the National Register of Historic Places in 1987. It is the oldest house on Edisto Island that is known to have been a part of the African American community during Reconstruction.

- b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;**

Applicant Response: *“We are proposing to relocate the ADA ramp to the east side of the house. This will not be visible from the principal approach, and the profile of the historic building will remain unmarred.”*

Staff Response: The applicant is proposing to relocate the previously approved ADA compliant handicap accessible ramp from the north side of the building to the east side of the structure. The ramp is not original to the house. Because this is the only historic structure on the site, there will be no impact to other structures.

- c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and**

Applicant Response: *“The exterior work will follow the reconstruction guidelines. The design of all of the newly-constructed portions of the building are based on historical evidence provided by photographs, family papers, similar properties, and physical evidence on the site. The new ramp location will allow for more visitor accessibility while preserving historic material of the site and preserve the view from the road.”*

Staff Response: The applicant has demonstrated an understanding of the Secretary of the Interior's Standards for Reconstruction and pledged to follow those guidelines. The Standards recommend “Minimizing the impact of accessibility ramps by installing them on secondary elevations when it does not compromise accessibility.” The new ramp position will improve visitor accessibility while also conserving the site's historic elements and the view from the road.

- d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.**

Applicant Response: *“Not applicable.”*

Staff Response: This property is not in a Historic District, and therefore this criterion does not apply.

- e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.**

Applicant Response: *“The proposal minimizes potential negative impact to the historic property by maintaining the original historic drive as an entrance, and this project seeks to leave the landscape largely unaltered. The view of the house from the road is a character defining feature, so the change in ramp location from the north to the east will further exemplify that. This approach is in accordance with the National Park Services' recommendations for the preservation of historic landscapes listed in their Preservation Brief.”*

Staff Response: The original historic driveway to the property will be retained. The relocation of the existing handicap accessible ramp from the house's north side to the east side will further highlight the character-defining aspects of the structure's roadside perspective and help to preserve the historic viewshed from the

property to Point of Pines Road and the marsh. This view is a character defining quality of the property, and therefore, should be preserved as the homebuilder envisioned.

Based on the applicant's responses, the approval criteria may have been satisfied. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-4.F, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-4.F.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *Case # HIST-04-24-00107: Certificate of Historic Appropriateness request for the relocation of an ADA ramp at TMS 085-00-00-028, 7666 Point of Pines Road, also known as Hutchinson House, a property listed on the National Register of Historic Places.*

HISTORIC PRESERVATION COMMISSION MEETING: May 15, 2024

Notifications: 312 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel and individuals on the Historic Preservation Commission and Edisto Island Interested Parties lists on April 26, 2024. Additionally, the request was noticed in the Post & Courier on April 26, 2024.

Certificate of Appropriateness Request HIST-04-24-00107

Parcel ID: 085-00-00-028

Acreage: 8.92 acres

Property Address: 7666 Point of Pines Road

Area: Edisto Island

Owner: Edisto Island Open Land Trust, Inc.

Applicant: Simons Young

Request: Certificate of Historic Appropriateness request for the relocation of a previously approved ADA ramp at TMS 085-00-00-028, 7666 Point of Pines Road, also known as Hutchinson House, a property listed on the National Register of Historic Places.

Property History

Recent Applications:

- July 21, 2020: Certificate of Historic Appropriateness request to stabilize the Hutchinson House (HIST-06-20-0008)
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- June 6, 2023: Variance request for relief from required and adjacent property buffer plantings and for relief from required tree island plantings on a temporary parking lot (BZA-06-23-00677)

Hutchinson House Historic Significance



Hutchinson House

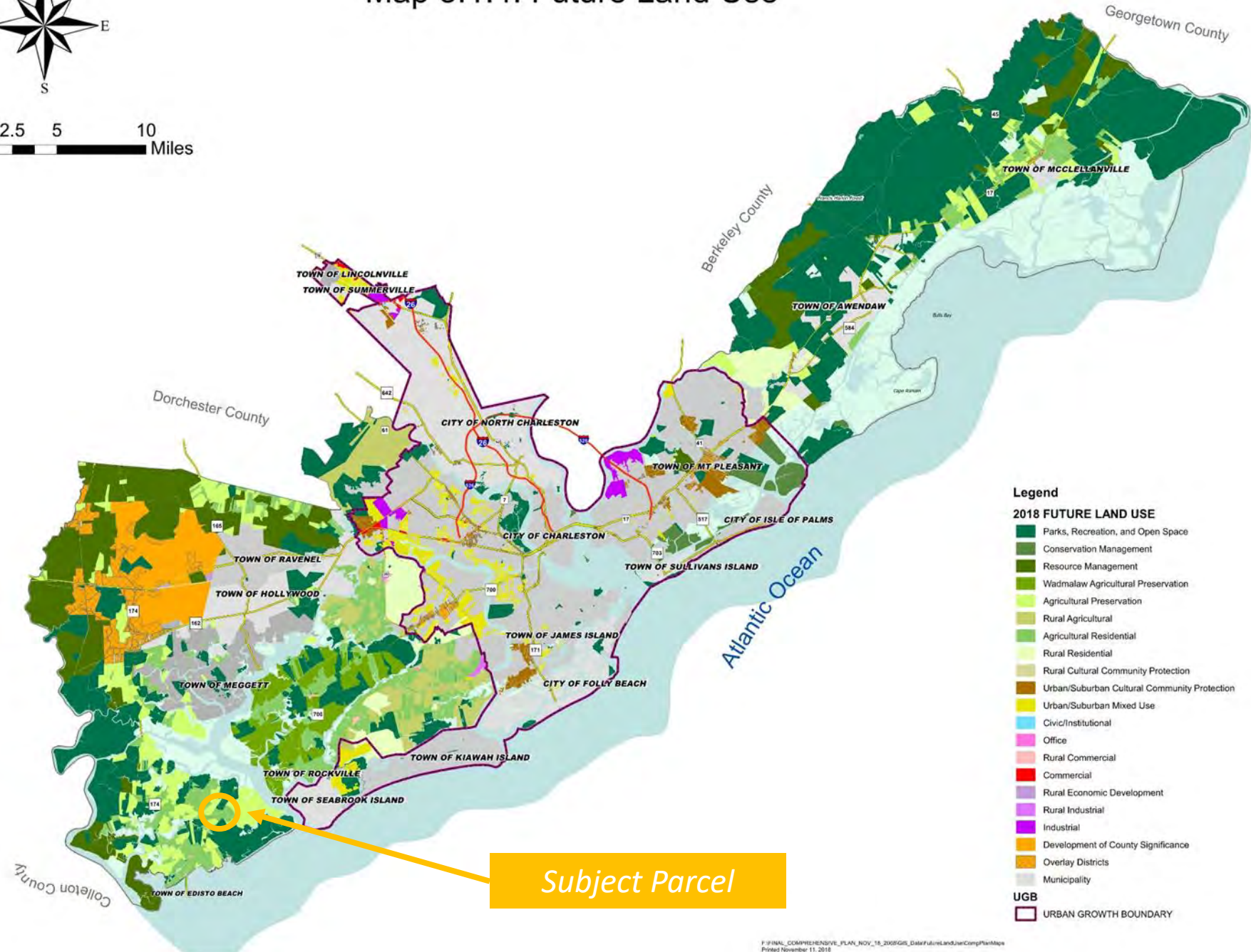
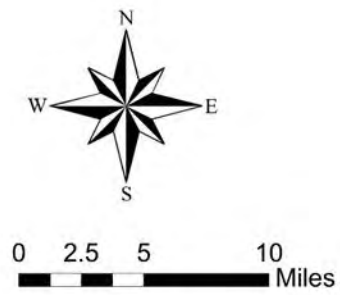
Source: Hutchinson Family Private Collection

- The Hutchinson House is the oldest known house, post-Civil War, on Edisto Island credited to the African American community
- Henry Hutchinson, who lived in the house and is credited with its construction, was born into slavery, and after the Civil War, became the first African American man on Edisto Island to own and operate his own cotton gin, from 1900-1920
- Henry's father, James Hutchinson, was a Union soldier and prominent figure on Edisto Island, who fought as both a slave and later a freedman to improve living conditions for African Americans
- The Hutchinson House was listed on the National Register on May 5, 1987

Project Description

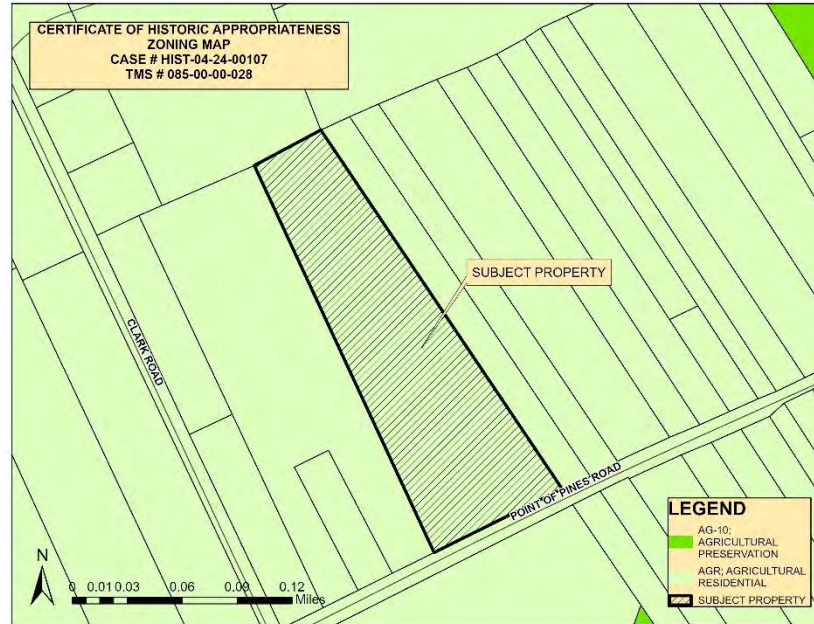
Applicant's Project Description: *“At the request of the Hutchinson House Director, we have been asked to study the location of the ramp for the ADA entry to the house. There is potential for a future archaeological dig, and the area at the rear of the house appears that it may be most suited for that work. As a result, we are proposing to relocate the ADA ramp to the east side of the house. This will not be visible from the principal approach, and the profile of the historic building will remain unmarred. The only change being made is the relocation of the non-historic ramp, which you will find clouded and attached. Thank you for your consideration.”*

Map 3.1.4: Future Land Use



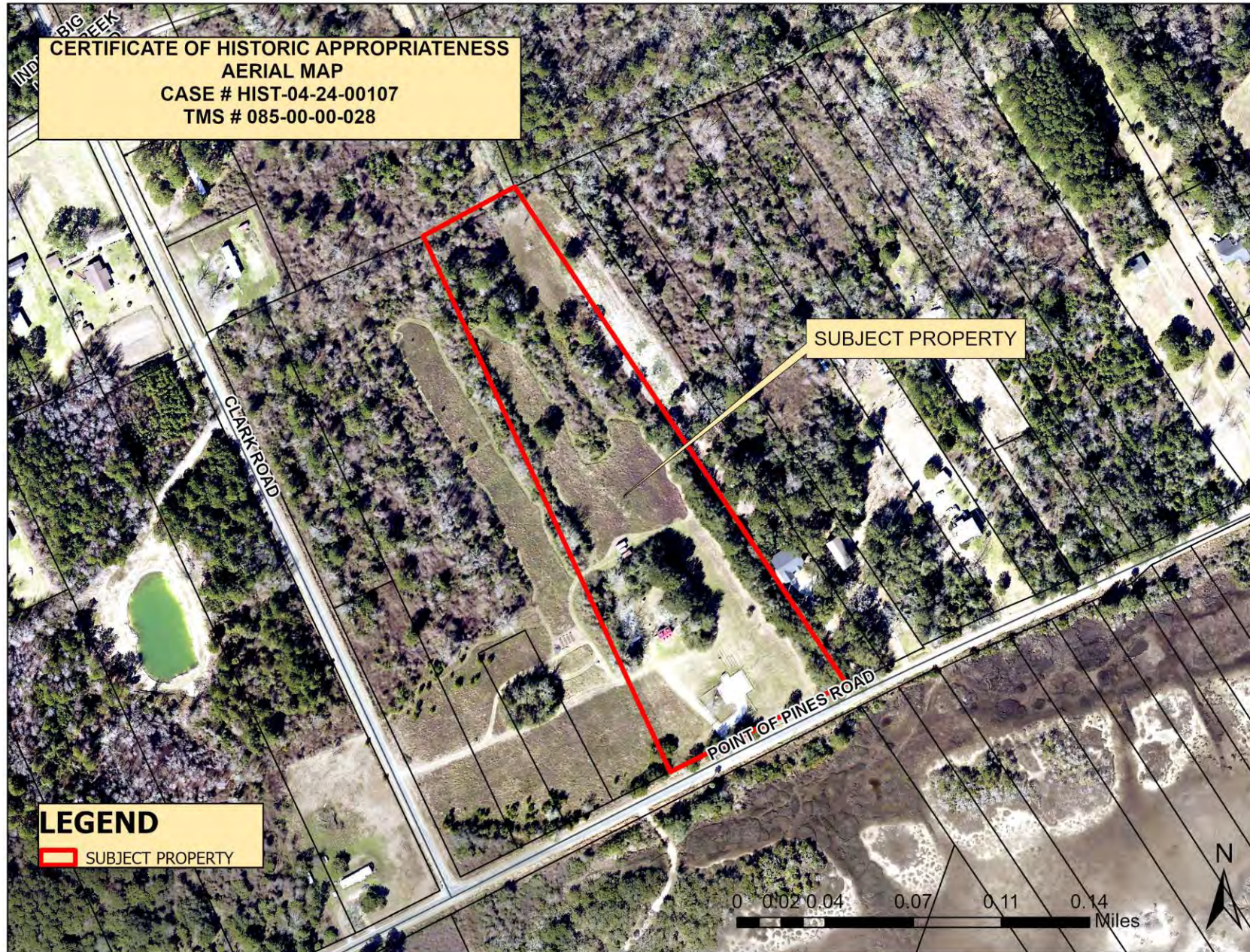
- Legend**
- 2018 FUTURE LAND USE**
- Parks, Recreation, and Open Space
 - Conservation Management
 - Resource Management
 - Wadmalaw Agricultural Preservation
 - Agricultural Preservation
 - Rural Agricultural
 - Agricultural Residential
 - Rural Residential
 - Rural Cultural Community Protection
 - Urban/Suburban Cultural Community Protection
 - Urban/Suburban Mixed Use
 - Civic/Institutional
 - Office
 - Rural Commercial
 - Commercial
 - Rural Economic Development
 - Rural Industrial
 - Industrial
 - Development of County Significance
 - Overlay Districts
 - Municipality
- UGB**
- URBAN GROWTH BOUNDARY

Future Land Use, Zoning, and FEMA Flood Designation



The property is currently zoned Agricultural Residential (AGR) and contains an uninhabited Single-Family Residence, the Hutchinson House. Adjacent properties are also zoned Agricultural Residential (AGR) and are either undeveloped or contain residential uses. The Future Land Use designation is Agricultural Residential. The subject property is in the AE and Shaded X flood zones.

Aerial View



Site Photos - Subject Property



TMS 085-00-00-028
7666 Point of Pines Road



TMS 085-00-00-028
7666 Point of Pines Road

Site Photos – Subject Property



TMS 085-00-00-028
7666 Point of Pines Road



TMS 085-00-00-028
7666 Point of Pines Road

Site Photos – Surrounding Properties



TMS 085-00-00-027

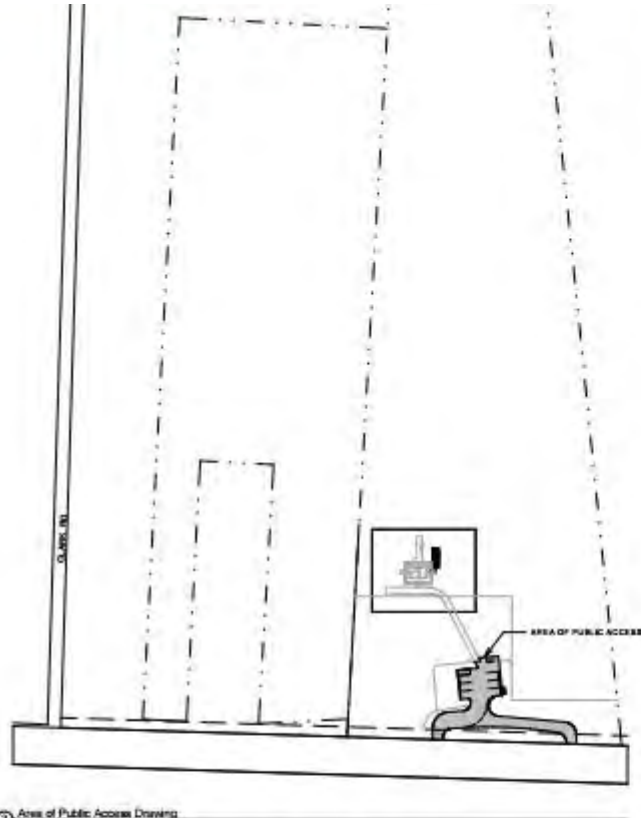
7654 Point of Pines Road



TMS 085-00-00-018

7679 Point of Pines Road

Proposed Site Plan



1. Area of Public Access Drawing
1" = 100'-0"

1. LOOKING AT HOUSE FROM ENTRY DRIVE



2. PARKING LOT, BRIDGE, AND FENCING



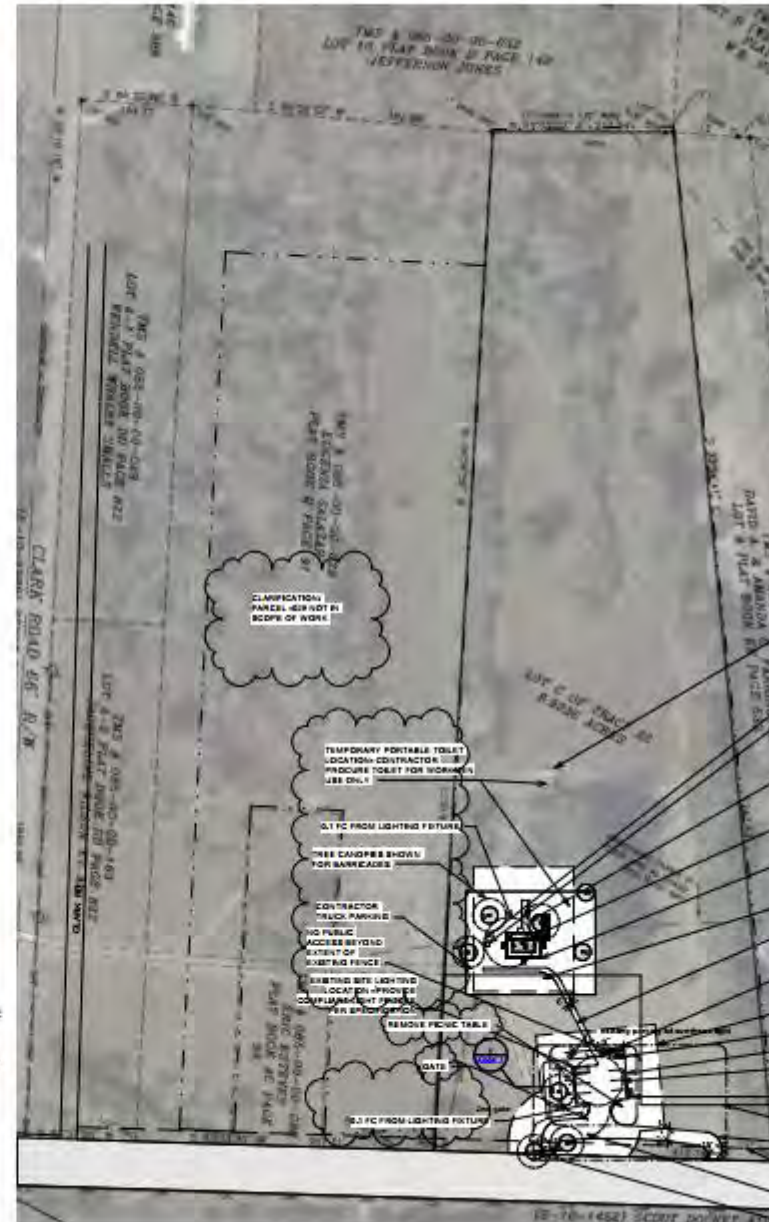
3. PARKING LOT, FENCING, AND TEMPORARY RESTROOM



4. EDGE OF PARKING LOT, LOCATION OF PROPOSED GATE

SYMBOL KEY

- CANOPY SIZE WITH BARRICADE
- NOTABLE TREES (SEE P.15 FOR DETAILS)
- FENCE
- GATE



1. SITE PLAN
1" = 80'-0"

THE POINT OF PINE ROAD, SCISTO ISLAND
CATEGORY: HISTORIC SITE
LOT OCCUPANCY: 8
PARKING COUNT: 1 REQUIRED / 8
PROVIDED
PAVING:

PARKING REQUIREMENTS:
AREA OF PARCEL ACCESSIBLE TO PUBLIC AND CORDONED OFF BY FENCES: 24,823 SF
EMPLOYEES: 0
CLASSIFICATION: HISTORIC SITE
PARKING REQUIREMENT: 2 PARKING PLACES PER ACRE
PERMEABLE PAVING PROVIDED: DIRT AND SHELL MIX

LOT COVERAGE
AREA OF PARCEL - 38,784 SQ FT (8.9 ACRES)

LOT COVERAGE BEFORE IMPROVEMENTS -
HOUSE: 442 SF
TEMPORARY CONEX: 320
COVERED SIGN: 12
TEMPORARY TOILETS: 18
TOTAL IMPERVIOUS BEFORE IMPROVEMENTS: 792 SF

ADDED IMPROVEMENTS -
COVERED PORCHES: 480
ENCLOSED SPACE: 300
STAIRS AND RAMPS (SEEN)
PERVIOUSLY 532 SF
TOTAL ADDED IMPERVIOUS: 1,192 SF

LOT COVERAGE AREA AFTER IMPROVEMENTS: .7%

TWO TEMPORARY CON EX SHIPPING CONTAINER SHEDS FOR STORAGE OF HISTORIC MATERIALS, 50' X 8' EACH (160 SF EACH)
EXISTING SPOOT
EXISTING WATER AND POWER - EXISTING
SITE LIGHTING LOCATION - PROVIDE COMPLIANT FIXTURE PER SPECIFICATION

NEW RAMP, STAIR, AND LANDING DECK

EXISTING BUILDING IS IN GREY

PORCHES AND REAR ROOMS AND STAIRS ARE NEW ADDITIONS

EXISTING GATE

EXISTING SHELL AND DIRT PATH

NEW GATE TO SECURE PARKING AREA AND CLOSE OFF SITE AND TRAIL

40' AREA AROUND DISTURBANCE ZONE

EXISTING SIGNAGE

WHEEL STOPS PROVIDED

EXISTING DIRT AND SHELL PARKING LOT

EXISTING TEMPORARY RESTROOMS TO BE REMOVED

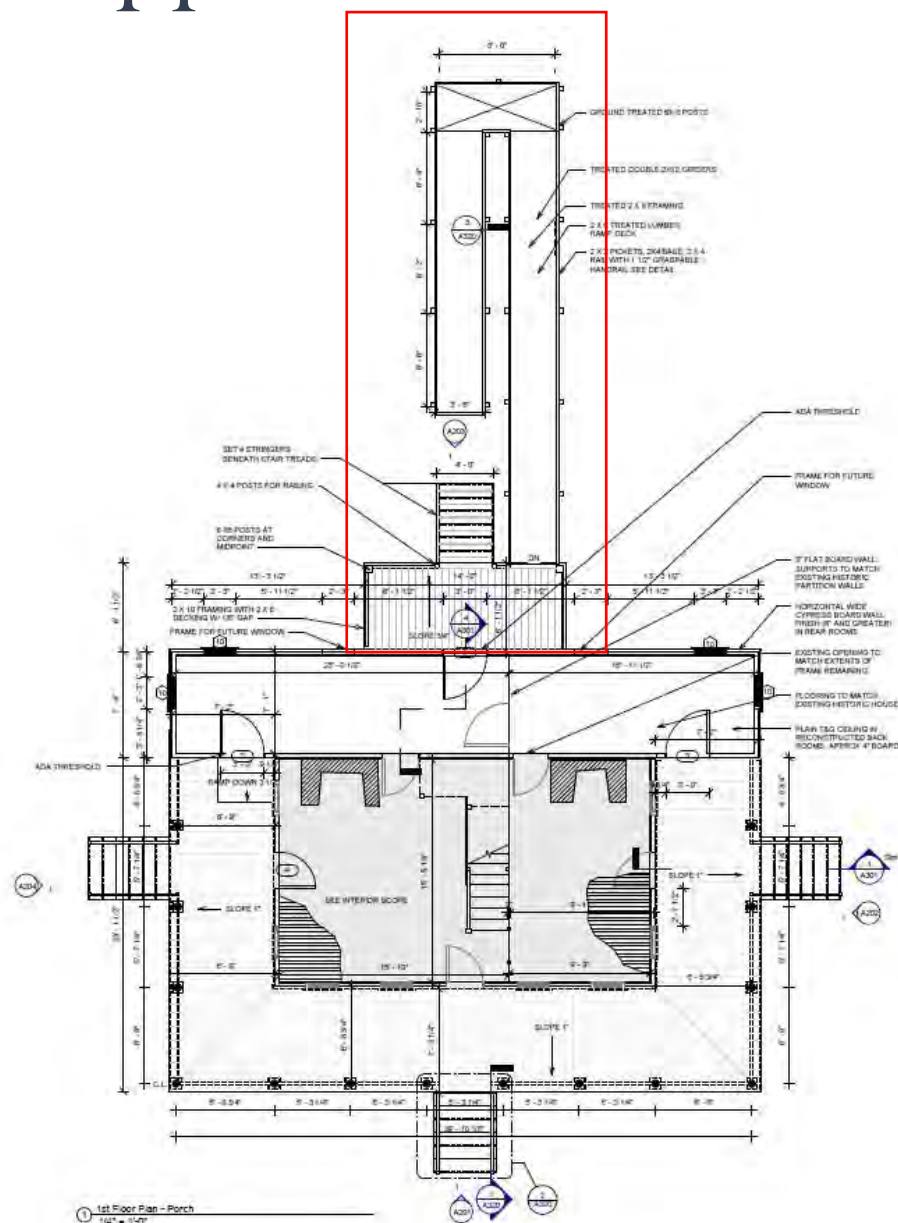
NEW 15' EXT DRIVE

15' BUFFER LINE

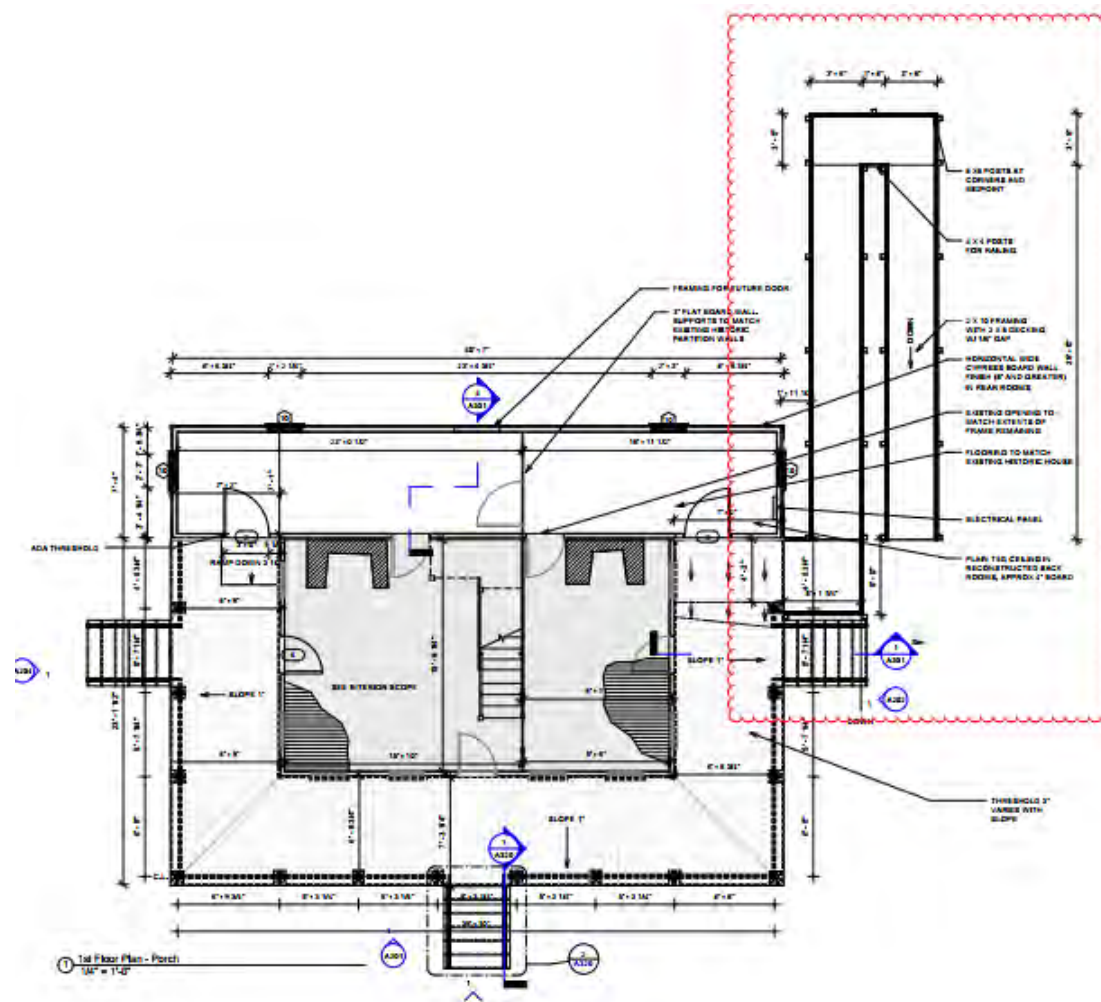
EXISTING 15' ENTRY DRIVE

GATE

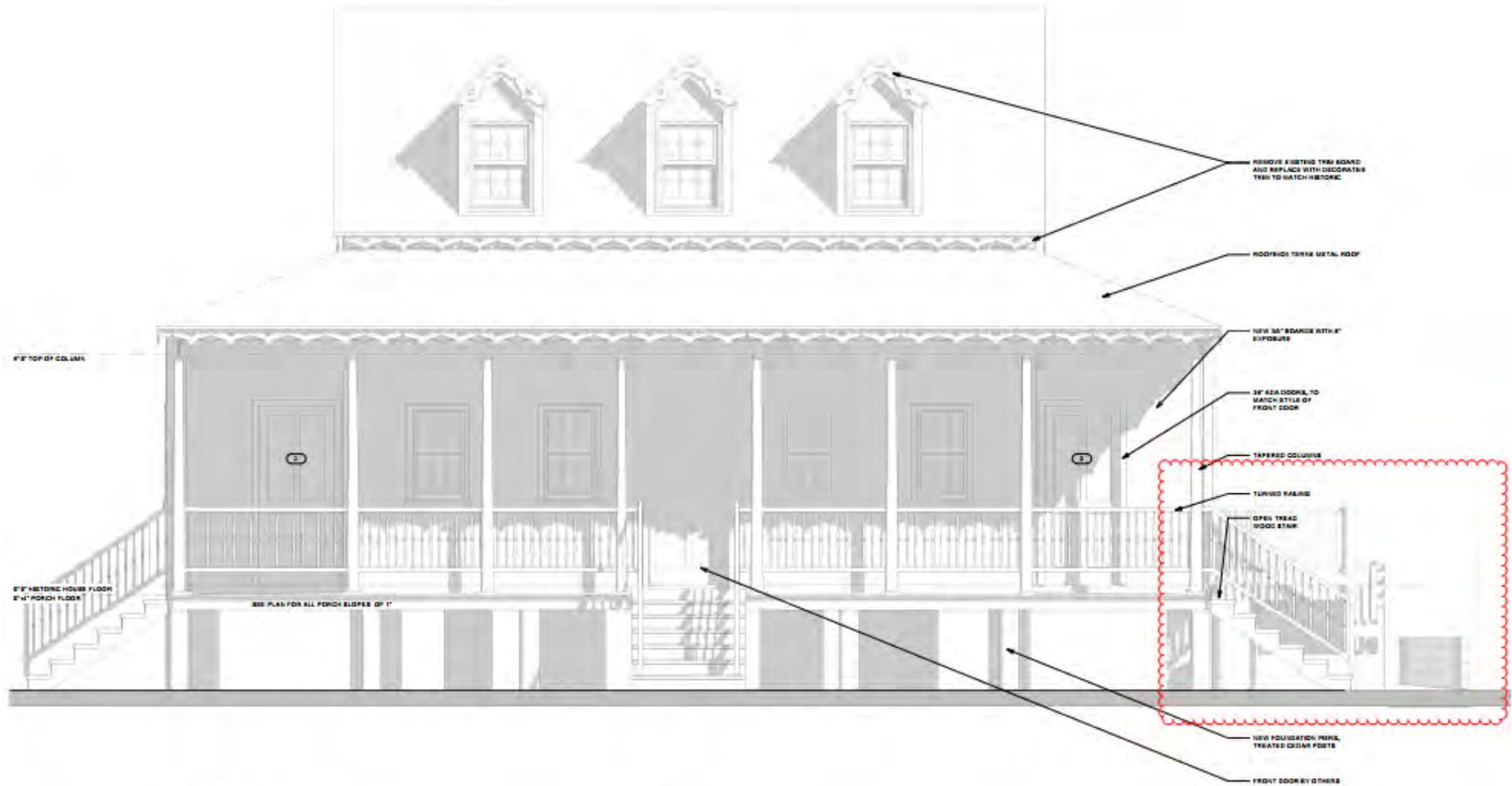
Approved Floor Plan



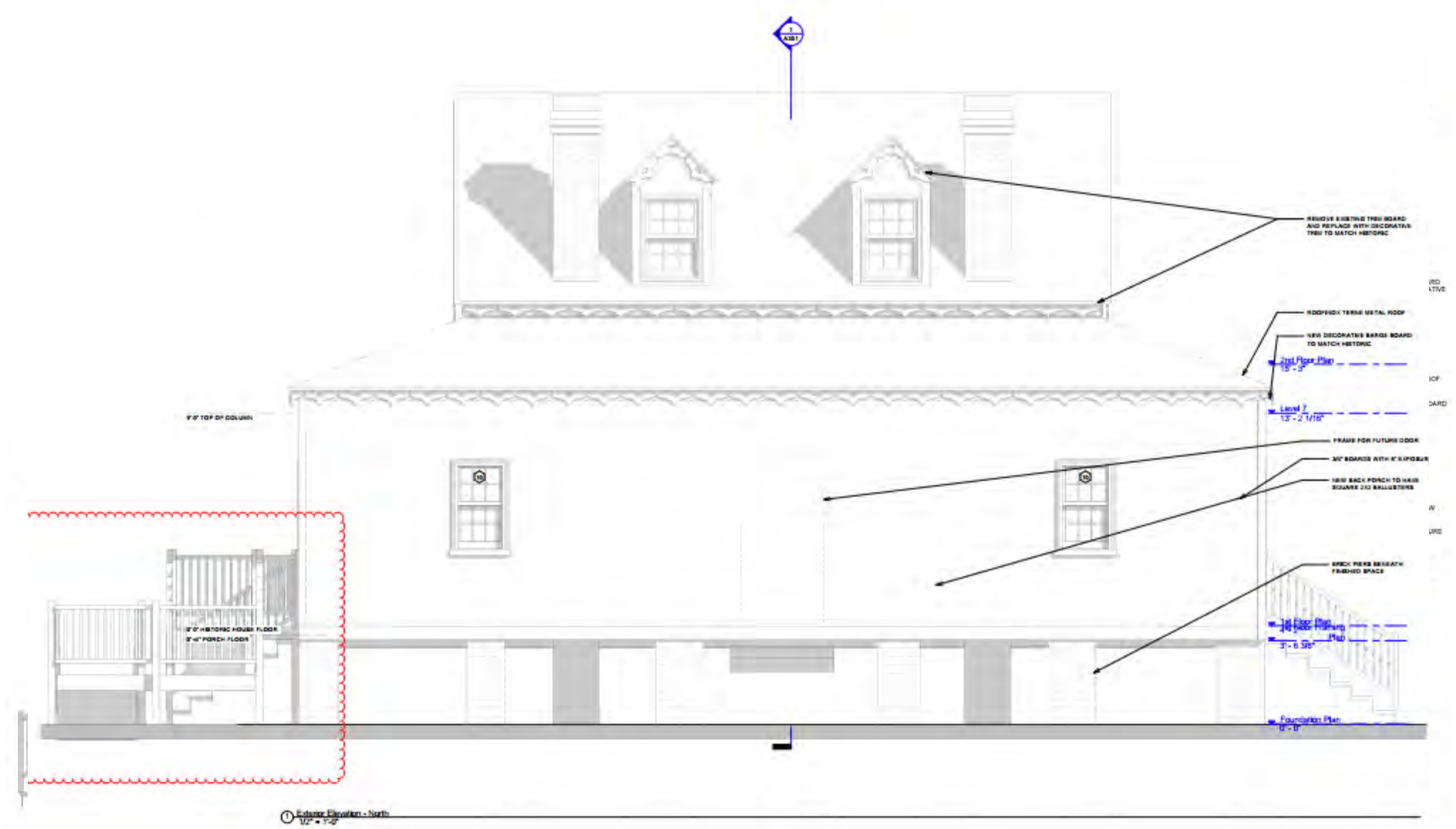
Proposed Floor Plan



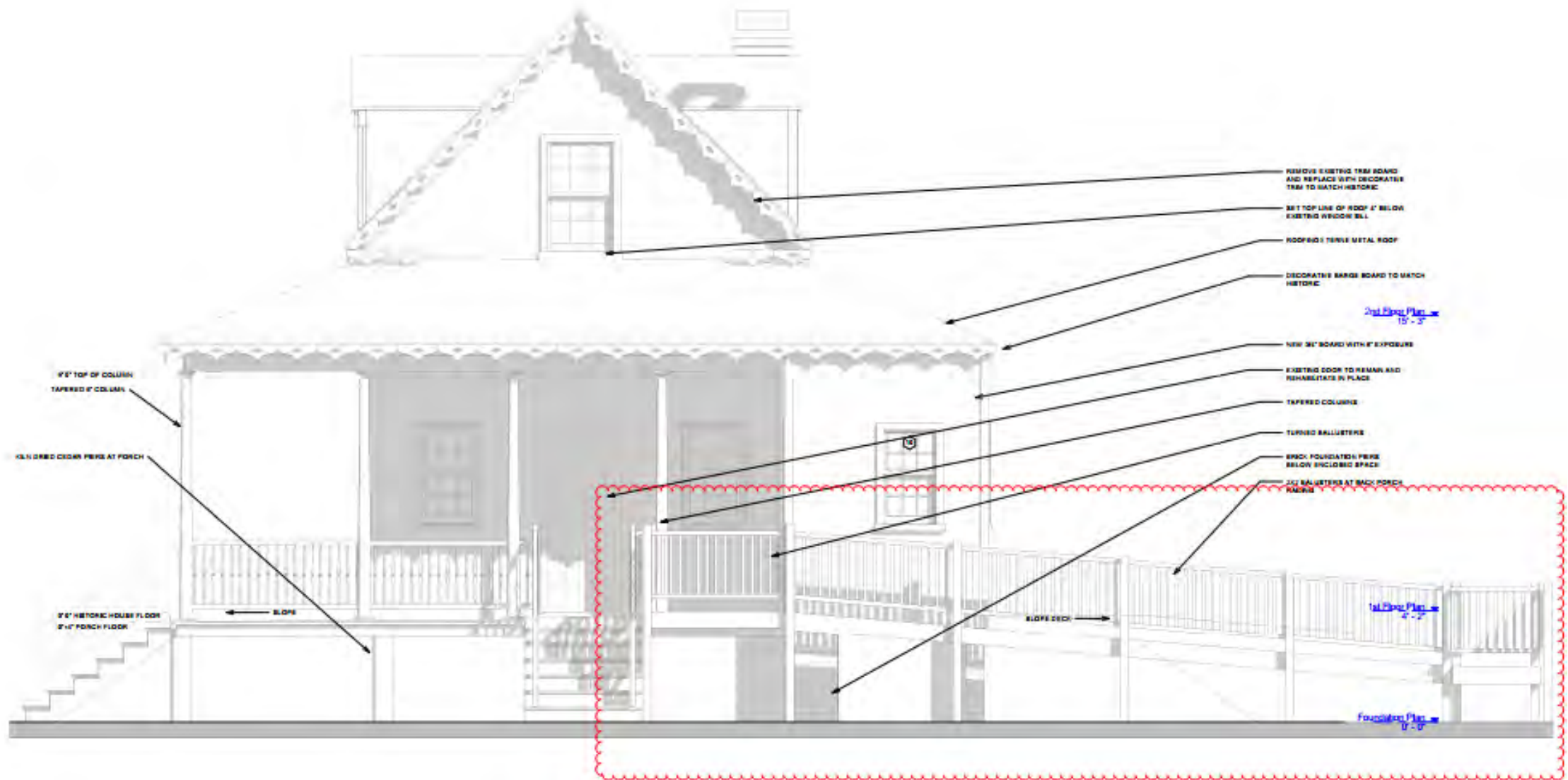
Front Elevation



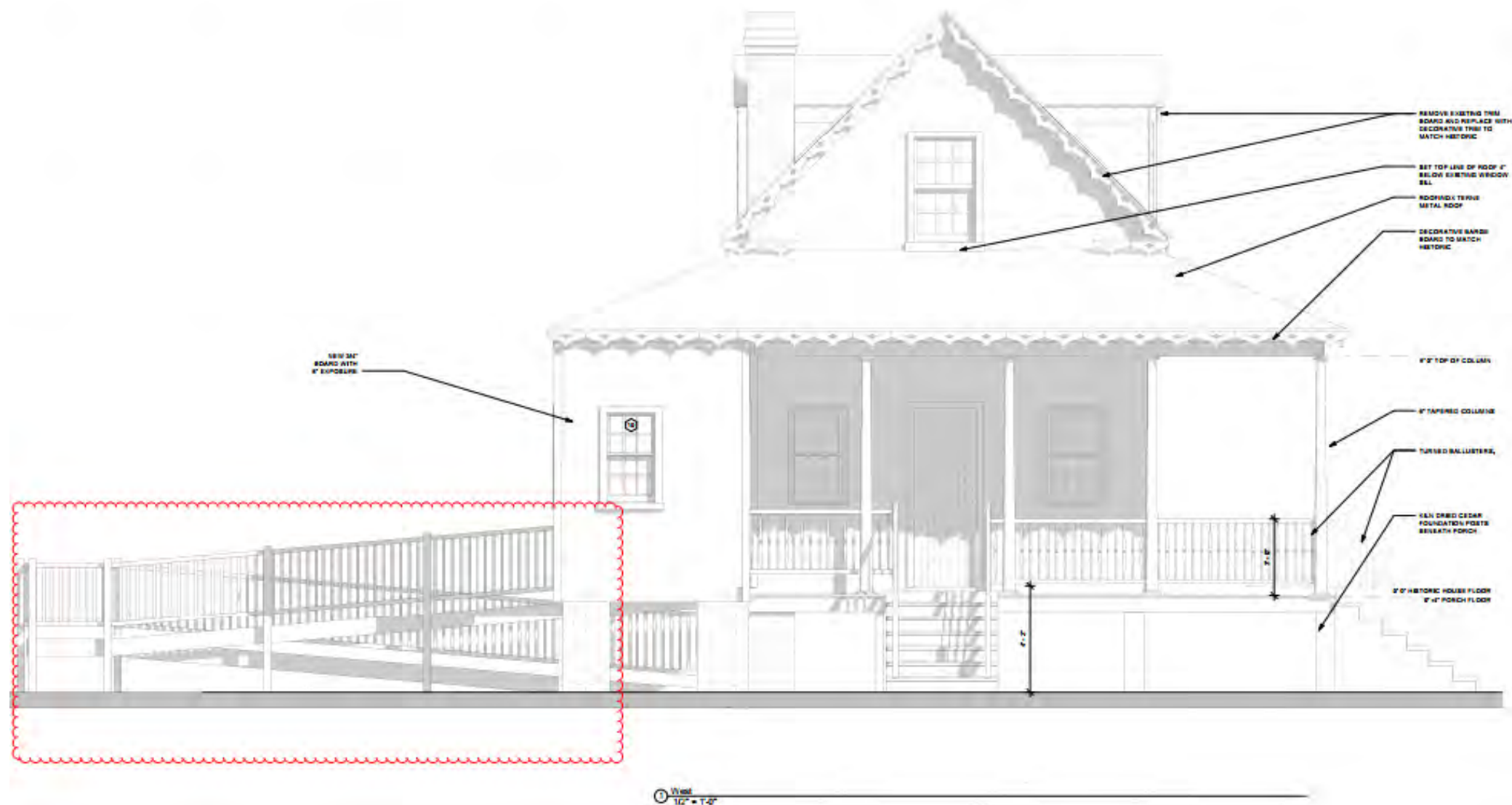
Rear Elevation



Right Elevation



Left Elevation



Approval Criteria

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Applicant Response: “The Hutchinson House was constructed around 1885 by Henry Hutchinson on land purchased by his father Jim Hutchinson. Both men had been born into slavery and became leaders in the Black community of Edisto Island during Reconstruction. Jim, known as a “Black King of Edisto” encouraged the members of the formerly enslaved community to purchase land after the Civil War. His son continued his legacy of leadership, eventually operating a cotton gin on the site to serve the Black cotton farmers of Edisto. Henry’s descendants maintained ownership of the property until 2016, when it was purchased by the Edisto Island Open Land Trust with the intention to repair and restore the house.

The house was a statement of post-emancipation resilience, stability, and success. Although the house is not large, the one and a half story building is raised off of the ground and stands tall on the landscape. Originally built in a folk Victorian style, the house had a wrap-around porch on three sides and decorative bargeboard details. The structure consists of mortise and tenon timber framing. When the house was vacated in the 1980s, it fell into disrepair. Today, the central one and a half story heart of the house with its original interior remains. Over the past several years, the house has undergone significant structural stabilization and building envelope repairs.”

Staff Response: The Hutchinson House was listed on the National Register of Historic Places in 1987. It is the oldest house on Edisto Island that is known to have been a part of the African American community during Reconstruction.

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

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Approval Criteria

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Staff Response: The applicant has demonstrated an understanding of the Secretary of the Interior's Standards for Reconstruction and pledged to follow those guidelines. The Standards recommend "Minimizing the impact of accessibility ramps by installing them on secondary elevations when it does not compromise accessibility." The new ramp position will improve visitor accessibility while also conserving the site's historic elements and the view from the road.

Approval Criteria

d. Certificate of Historic Appropriateness applications must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *“Not applicable.”*

Staff Response: This property is not in a Historic District, and therefore this criterion does not apply.

Approval Criteria

e. In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: “The proposal minimizes potential negative impact to the historic property by maintaining the original historic drive as an entrance, and this project seeks to leave the landscape largely unaltered. The view of the house from the road is a character defining feature, so the change in ramp location from the north to the east will further exemplify that. This approach is in accordance with the National Park Services' recommendations for the preservation of historic landscapes listed in their Preservation Brief.”

Staff Response: The original historic driveway to the property will be retained. The relocation of the existing handicap accessible ramp from the house's north side to the east side will further highlight the character-defining aspects of the structure's roadside perspective and help to preserve the historic viewshed from the property to Point of Pines Road and the marsh. This view is a character defining quality of the property, and therefore, should be preserved as the homebuilder envisioned.

Staff Recommendation: Based on the applicant's responses, the approval criteria may have been satisfied. Therefore, Staff recommends approval.

Notifications

April 26, 2024: 312 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel and individuals on the Historic Preservation Commission and Edisto Island Interested Parties lists.

April 26, 2024 : This meeting was advertised in the Post and Courier.

HUTCHINSON HOUSE PREVIOUS AND EXISTING IMAGES:

SPRING 2018:



CURRENT:





Certificate of Historic Appropriateness – Application Form

Owner Information

First Name: Edisto Island Open Land Trust *Last Name:* Contact: John Girault

Mailing Address: 547 SC-174 Edisto Island, SC 29438

Home/Cell Phone #: 843.869.9004

Email Address: john@edisto.org

Applicant Information (if not being submitted by owner)

First Name: Simons *Last Name:* Young

Mailing Address: 3 Morris St. Suite B, Charleston SC 29403

Home/Cell Phone: 843.277.0996

Email Address: simons@simonsyoung.com

Property Information

Address: 7666 Point of Pines Rd.

TMS #: 0850000028

Acres: 8.9200

Deed: 0603-657

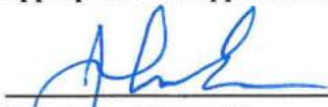
Plat: S16- 0281

Zoning: Residential

Description of proposed activity requiring a Certificate of Historic Appropriateness:

scope of work includes changing the location of the ramp from the north to the east.

I (we) certify that John Girault is the authorized representative for my (our) Certificate of Historic Appropriateness application.


 Signature of Owner(s)

2-2-23
 Date


 Signature of Applicant (if other than owner)

2.2.24
 Date

OFFICE USE ONLY

Invoice Number

Amount Received ☐ Cash ☐ Check # ☐ Credit Card ☐ Online Invoice


 Staff Signature


 Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a written description of the proposal which requires a Certificate of Historic Appropriateness and the Historic District or Property for which this process is required. Please attach additional paper if more room is needed.

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

a. Describe the historic, cultural, and architectural significance of the district, site, building, structure, or object which requires a Certificate of Historic Appropriateness to be obtained.

PART II continued.

b. Describe the proposed exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District.

c. Applications for new construction, alteration, repair, rehabilitation, or restoration, describe how the proposed work will use the Secretary of the Interior's Standards for the Treatment of Historic Properties.

PART II continued.

d. Describe how the proposal demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. (This criterion is only applicable to properties within a Historic District; or for Subdivision Plats and Site Plan Review proposals within 300 feet of Historic Districts.)

e. Describe how the proposal minimizes potential negative impacts through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments, etc. (This criterion is only applicable for Subdivision Plats and Site Plan Review proposals on or within 300 feet of a Historic Property).

LETTER OF INTENT:

SIMONS
YOUNG +
associates

3 Morris Street, Suite B
Charleston, SC 29403
843.277.0996
www.simonsyoung.com

02.02.2024

To:

Emily Pigott, AICP
Planner II
Charleston County Zoning & Planning
epigott@charlestoncounty.org
843-202-7225
Cc: Sally Brooks

RE:

ZSPR-01-23-00821
7666 Point of Pines Rd
Hutchinson House Ramp

Ms. Pigott:

At the request of the Hutchinson House Director, we have been asked to study the location of the ramp for the ADA entry to the house. There is potential for a future archaeological dig, and the area at the rear of the house appears that it may be most suited for that work. As a result, we are proposing to relocate the ADA ramp to the east side of the house. This will not be visible from the principal approach, and the profile of the historic building will remain unmarred.

The only change being made is the relocation of the non-historic ramp, which you will find clouded and attached. Thank you for your consideration of this adjustment for the March 20 application.

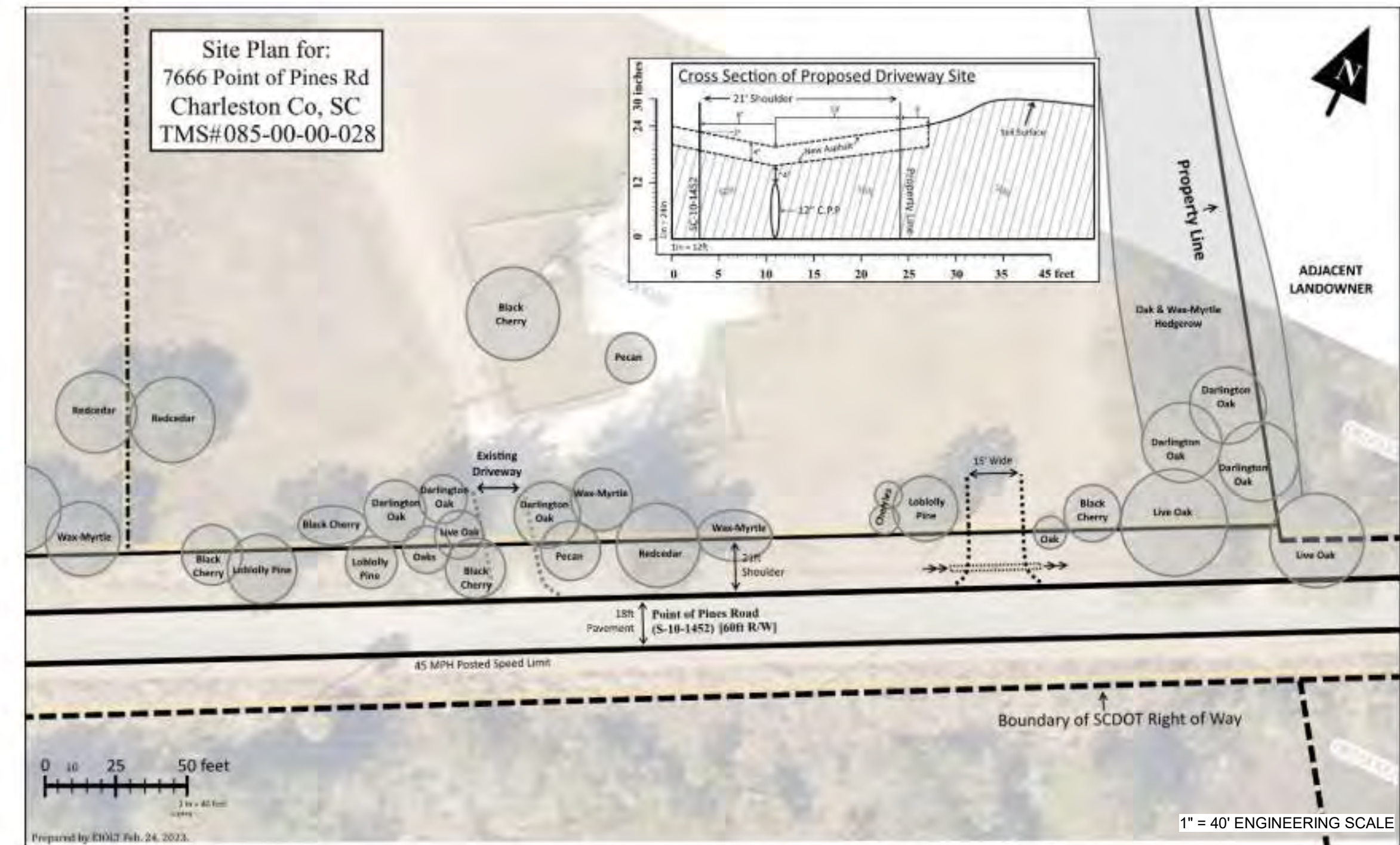
Sincerely,

A handwritten signature in black ink that reads "Simons Young" with a long horizontal flourish extending to the right.

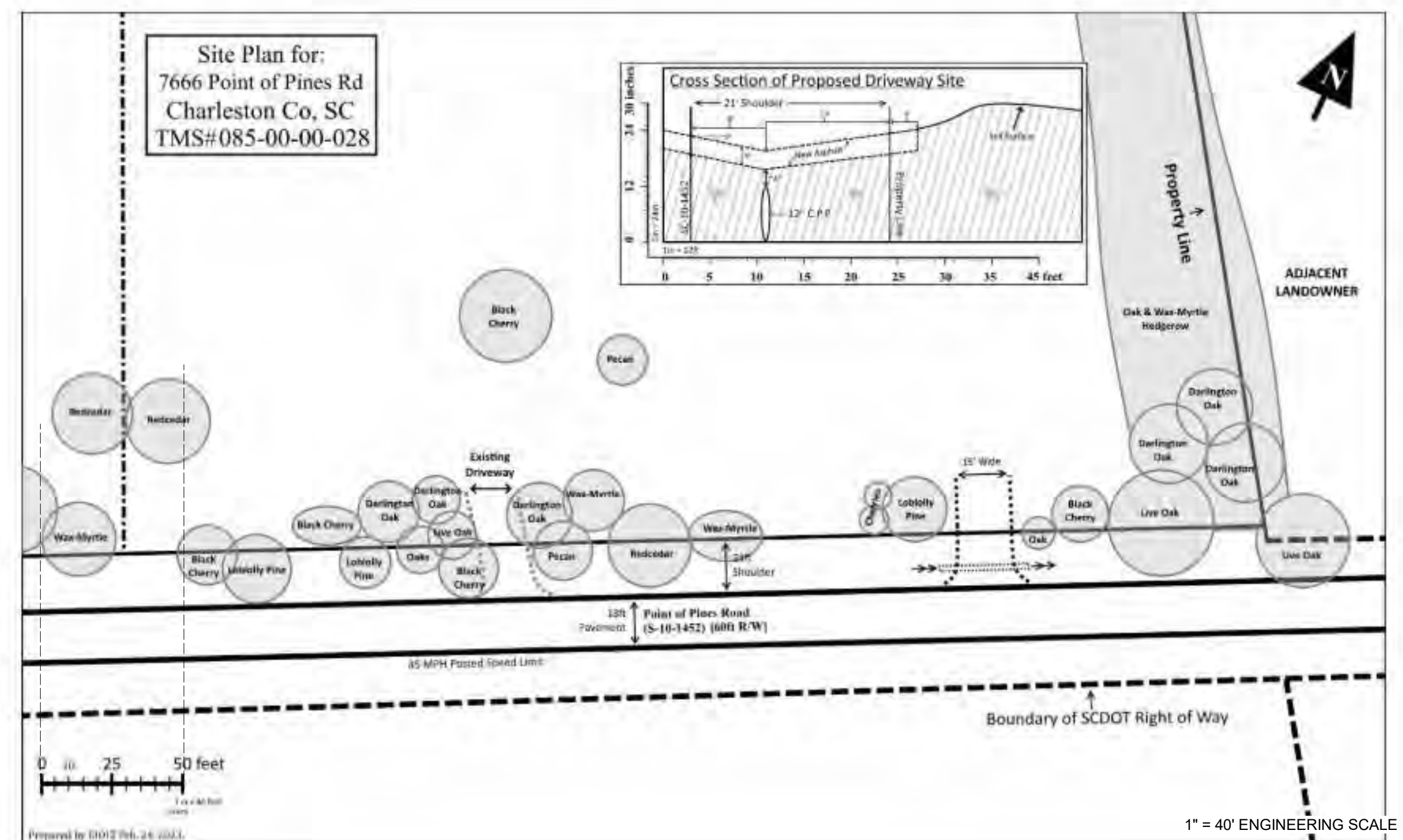
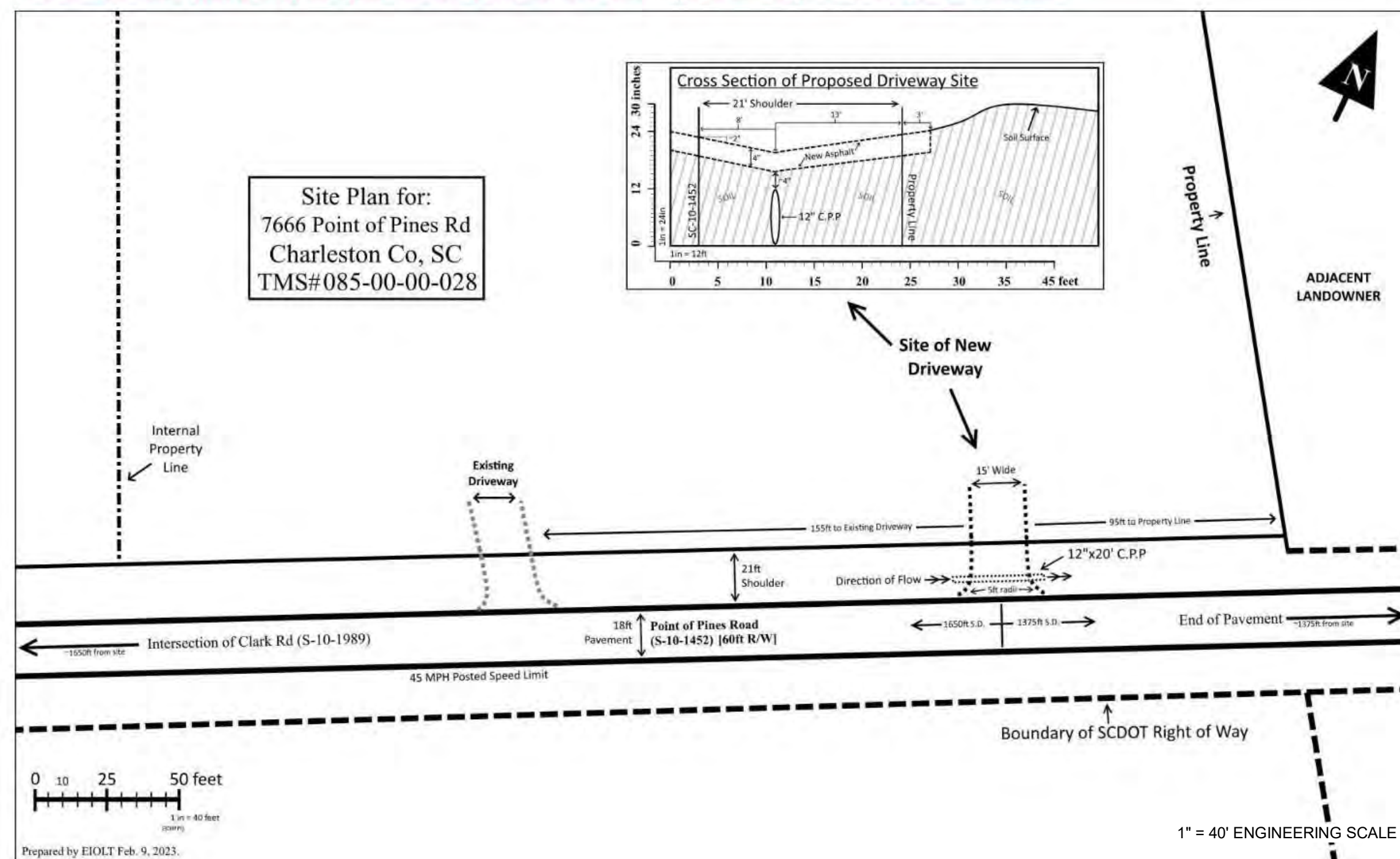
Simons Young, South Carolina Registered Architect 8023
Simons Young + associates, LLC
3 Morris Street, Suite B
simons@simonsyoung.com
(843) 277-0996 x 1

SITE PLAN:

DRAWINGS SUBMITTED BY EIOLT TO SCDOT



Drawing provided to SCDOT by the Edisto Island Open Land Trust, showing new driveway and existing trees in the buffer





3 Area of Public Access Drawing
1" = 100'-0"

1. LOOKING AT HOUSE FROM ENTRY DRIVE



2. PARKING LOT, SIGNAGE, AND FENCING



3. PARKING LOT, FENCING, AND TEMPORARY RESTROOMS



4. EDGE OF PARKING LOT, LOCATION OF PROPOSED GATE

SYMBOL KEY

- CANOPY SIZE WITH BARRICADE
- NOTABLE TREES (SEE P.15 FOR DETAILS)
- FENCE
- GATE

PREVIOUS



1 SITE PLAN
1" = 80'-0"

7666 POINT OF PINES ROAD, EDISTO ISLAND
CATEGORY: HISTORIC SITE
LOT OCCUPANCY: .6
PARKING COUNT: 1 REQUIRED / 6
PROVIDED
PAVING:

PARKING REQUIREMENTS:
AREA OF PARCEL ACCESSIBLE TO PUBLIC AND
CORDONED OFF BY FENCES: 24,823 SF
EMPLOYEEES: 0
CLASSIFICATION: HISTORIC SITE:
PARKING REQUIREMENT: 2 PARKING PLACES
PER ACRE
PERMEABLE PAVING PROVIDED: DIRT AND
SHELL MIX

LOT COVERAGE
AREA OF PARCEL - 387684 SQ FT (8.9 ACRES)

LOT COVERAGE BEFORE IMPROVEMENTS -
HOUSE: 442 SF
TEMPORARY CONEX: 320
COVERED SIGN: 12
TEMPORARY TOILETS: 18
TOTAL IMPERVIOUS BEFORE
IMPROVEMENTS: 792 SF

ADDED IMPROVEMENTS -
COVERED PORCHES: 460
ENCLOSED SPACE: 309
STAIRS AND RAMPS (SEMI
PERVIOUS): 430 SF
TOTAL ADDED IMPERVIOUS: 1,199SF

LOT COVERAGE AREA AFTER
IMPROVEMENTS: .7%

TWO TEMPORARY CON EX
SHIPPING CONTAINER
SHEDS FOR STORAGE OF
HISTORIC MATERIALS: 20'
X 8' EACH (160 SF EACH)
EXISTING SPIGOT
EXISTING WATER AND POWER - EXISTING
SITE LIGHTING LOCATION - PROVIDE
COMPLIANT FIXTURE PER SPECIFICATION

NEW RAMP, STAIR,
AND LANDING DECK

EXISTING BUILDING IS
IN GREY

PORCHES AND REAR
ROOMS AND STAIRS ARE
NEW ADDITIONS

EXISTING GATE

EXSITING SHELL AND
DIRT PATH

NEW GATE TO SECURE
PARKING AREA AND CLOSE
OFF SITE AND TRAIL

40' AREA AROUND
DISTURBANCE ZONE
EXISTING SIGNAGE

WHEEL STOPS PROVIDED

EXISTING DIRT AND
SHELL PARKING LOT

EXISTING TEMPORARY
RESTROOMS TO BE REMOVED

FENCE

NEW 15' EXIT DRIVE

15' BUFFER LINE

EXISTING 15' ENTRY DRIVE

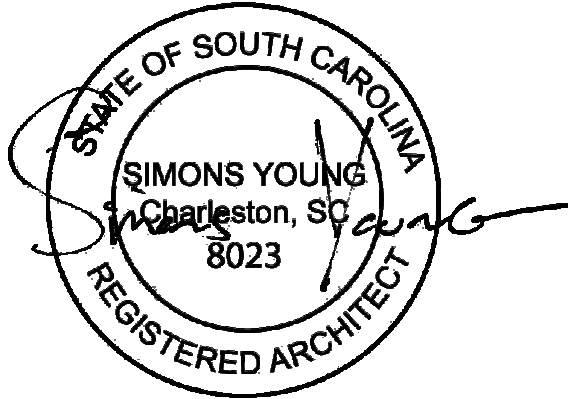
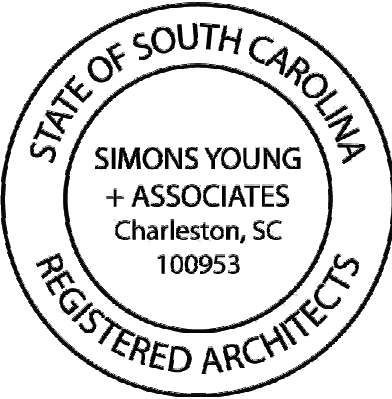
GATE

SIMONS
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+ associates

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843 277 0996
www.simonsyoung.com



HILLARY KING,
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Hutchinson House

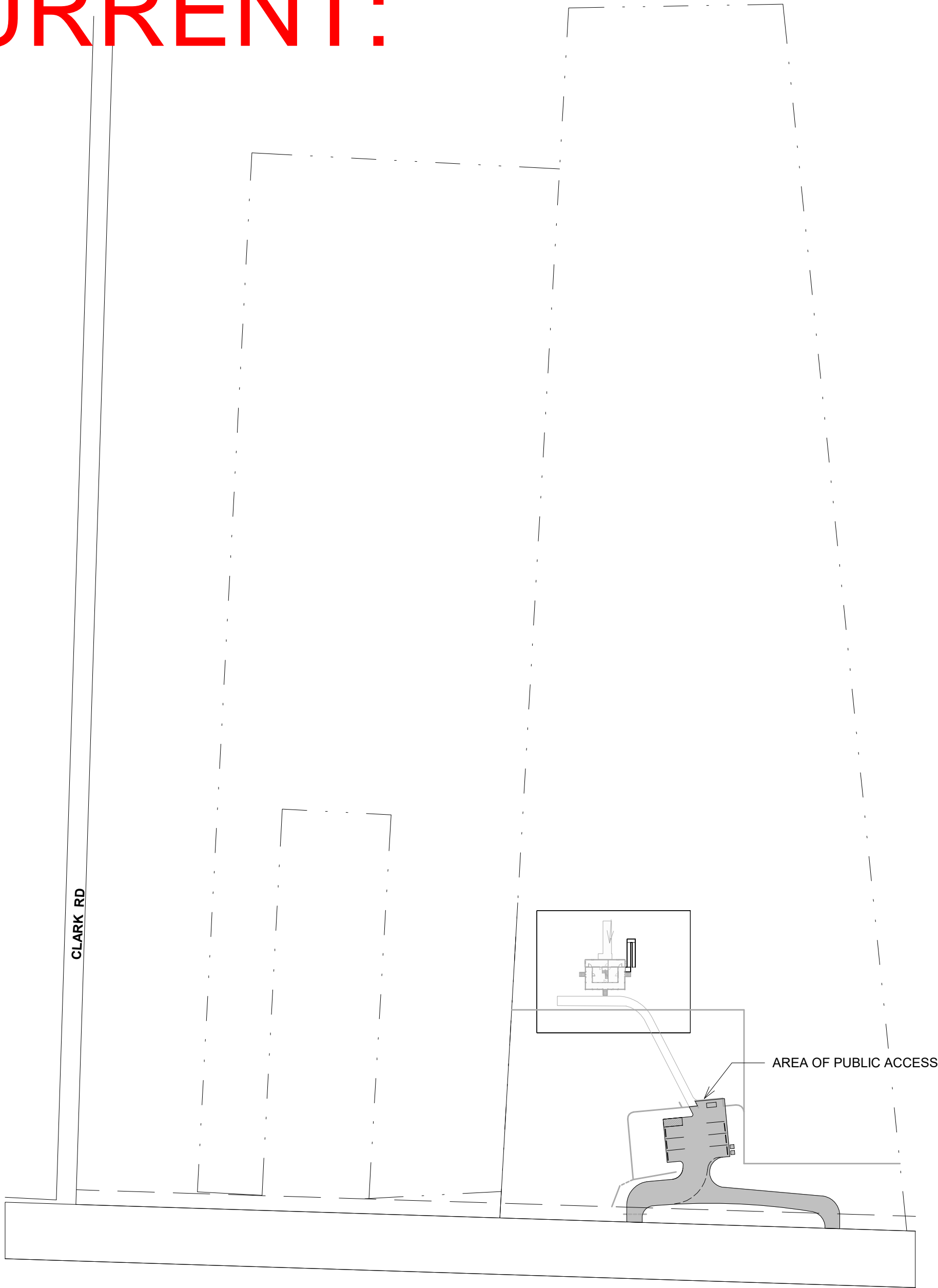
Site Plan - proposed

Project number	18401
Date	02.08.2023
Drawn by	SY
Checked by	SY

A001

Scale As indicated

CURRENT:



3 Area of Public Access Drawing
1" = 100'-0"

1. LOOKING AT HOUSE FROM ENTRY DRIVE



2. PARKING LOT, SIGNAGE, AND FENCING



3. PARKING LOT, FENCING, AND TEMPORARY RESTROOMS



4. EDGE OF PARKING LOT, LOCATION OF PROPOSED GATE

SYMBOL KEY

- CANOPY SIZE WITH BARRICADE
- NOTABLE TREES (SEE P.15 FOR DETAILS)
- FENCE
- GATE



1 SITE PLAN
1" = 80'-0"

7666 POINT OF PINES ROAD, EDISTO ISLAND
CATEGORY: HISTORIC SITE
LOT OCCUPANCY: .6
PARKING COUNT: 1 REQUIRED / 6
PROVIDED
PAVING:

PARKING REQUIREMENTS:
AREA OF PARCEL ACCESSIBLE TO PUBLIC AND CORDONED OFF BY FENCES: 24,823 SF
EMPLOYEEES: 0
CLASSIFICATION: HISTORIC SITE:
PARKING REQUIREMENT: 2 PARKING PLACES PER ACRE
PERMEABLE PAVING PROVIDED: DIRT AND SHELL MIX

LOT COVERAGE
AREA OF PARCEL - 387684 SQ FT (8.9 ACRES)

LOT COVERAGE BEFORE IMPROVEMENTS -
HOUSE: 442 SF
TEMPORARY CONEX: 320
COVERED SIGN: 12
TEMPORARY TOILETS: 18
TOTAL IMPERVIOUS BEFORE IMPROVEMENTS: 792 SF

ADDED IMPROVEMENTS -
COVERED PORCHES: 460
ENCLOSED SPACE: 309
STAIRS AND RAMPS (SEMI PERVIOUS): 430 SF
TOTAL ADDED IMPERVIOUS: 1,199SF

LOT COVERAGE AREA AFTER IMPROVEMENTS: .7%

TWO TEMPORARY CON EX SHIPPING CONTAINER SHEDS FOR STORAGE OF HISTORIC MATERIALS: 20' X 8' EACH (160 SF EACH)
EXISTING SPIGOT
EXISTING WATER AND POWER - EXISTING SITE LIGHTING LOCATION - PROVIDE COMPLIANT FIXTURE PER SPECIFICATION

NEW RAMP, STAIR, AND LANDING DECK

EXISTING BUILDING IS IN GREY

PORCHES AND REAR ROOMS AND STAIRS ARE NEW ADDITIONS

EXISTING GATE

EXSITING SHELL AND DIRT PATH

NEW GATE TO SECURE PARKING AREA AND CLOSE OFF SITE AND TRAIL

40' AREA AROUND DISTURBANCE ZONE
EXISTING SIGNAGE

WHEEL STOPS PROVIDED

EXISTING DIRT AND SHELL PARKING LOT
EXISTING TEMPORARY RESTROOMS TO BE REMOVED

FENCE

NEW 15' EXIT DRIVE

15' BUFFER LINE

EXISTING 15' ENTRY DRIVE

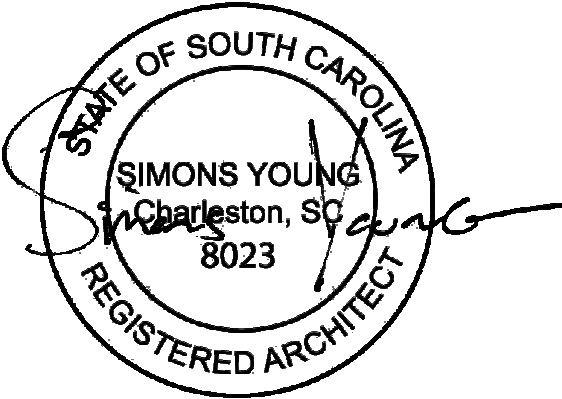
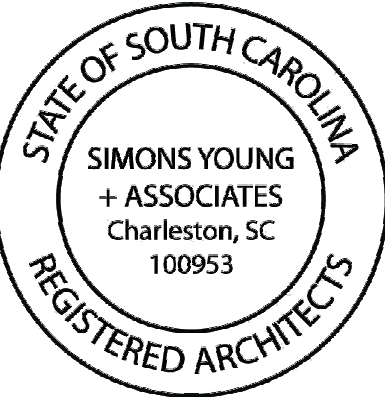
GATE

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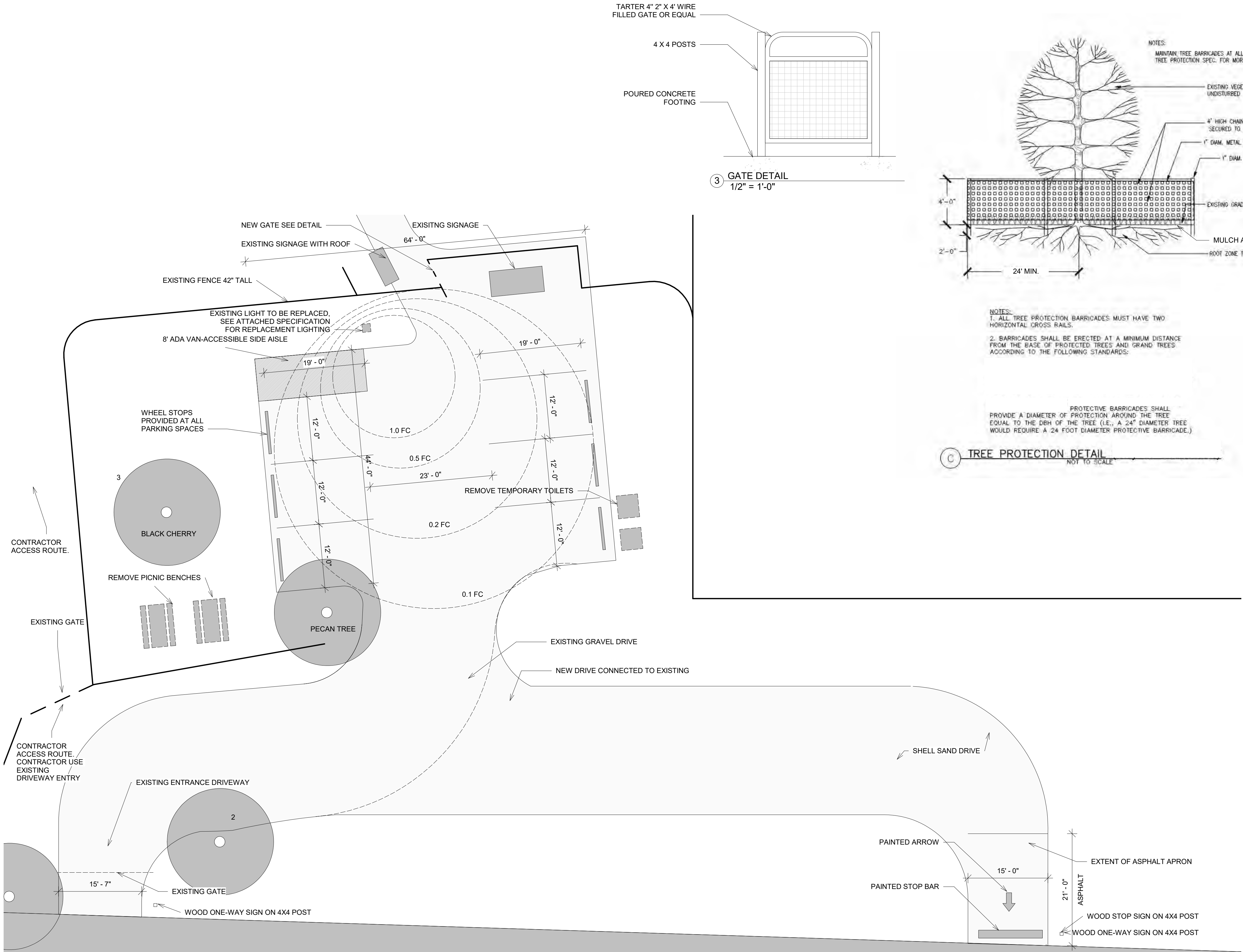
Hutchinson House

Site Plan - proposed

Project number	18401
Date	10.06.2023
Drawn by	SY
Checked by	SY

A001

Scale As indicated



1 Enlarged Parking Lot Plan
1" = 10'-0"

3 GATE DETAIL
1/2" = 1'-0"

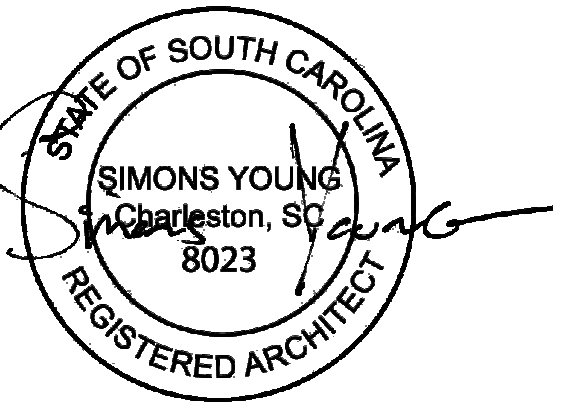
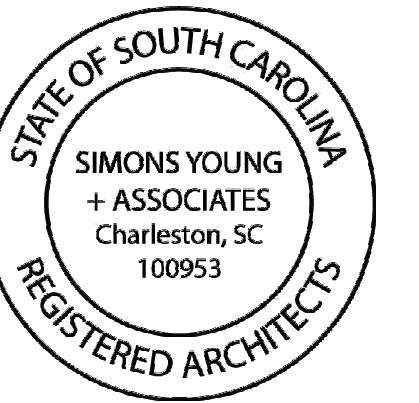
C TREE PROTECTION DETAIL
NOT TO SCALE

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Hutchinson House

**ENLARGED PARKING LOT
PLAN**

Project number	18401
Date	02.08.2023
Drawn by	Author
Checked by	Checker

A001.1

Scale As indicated

SHPO APPROVAL of
interiors:

NATIONAL PARK
SERVICE APPROVAL
OF interiors and
exteriors:

From: Sauls, Brad <BSauls@scdah.sc.gov>
Sent: Thursday, October 27, 2022 2:26 PM
To: John Girault
Cc: Barb Habegger; habhegx15
Subject: RE: Hutchinson House Drawings

Good afternoon, John:

Thanks for the providing drawings and specs for the Hutchinson House. We have reviewed and have the following comments to be addressed in the final draft of the drawings/specs.

The preservation plan for the Hutchinson House appears to follow a sensitive approach towards restoring the structure back to the historic character of its c. 1885 construction, a time when the building is most closely associated with the family of Henry Hutchinson, a freedman and notable planter of Edisto Island. In particular, we note the positive hierarchy of repair treatments which include restoring features in place, careful removal for re-use on-site, repairing in place, and replacement in-kind. We also highlight the thorough condition assessment of the historic fabric, including the well-presented plans and elevations which are keyed to the restoration treatments according to condition and integrity, and the proposed research and investigation, including paint analysis, interior finish analysis (e.g. paper, paint, wood bead board profiles, et cetera), and archival research.

While the proposed preservation plan's restoration treatment appears to be headed in the right direction towards meeting the Standards, we observe the following:

1. Paint removal and wood cleaning treatments should involve first conducting test mock-ups at inconspicuous, secondary locations and should begin with the gentlest means possible. Gradually scale-up the test removal methods when necessary.
2. Several sections in the Project Manual document reference historic materials that had been removed but whose current locations have not been confirmed (for example, PDF pages 23 of 40 and 25 of 40 respectively reference cypress boards on the north wall and shelving on the north end of the west wall which appear to have been previously removed but parenthetical annotations appears to question whether these historic materials are being stored off-site). Please ensure any historic materials that are removed or have already been removed from their original locations are thoroughly documented, catalogued, and carefully stored in a weather tight, secured location such that if in the future they could be restored to their original locations, they can be with confidence of those locations and confidence of their integrity and compatibility with the property's historic character.
3. On sheet AH002 in the Permitting Drawings set, the section drawing of the typical wall (detail 4) overlaps both the section drawings of the typical floor and typical floor/ceiling (details 1 and 3, respectively).

We appreciate the opportunity to assist EIOLT with this project. Please let me know if you have any questions.

Thanks,
 Brad



Brad Sauls
 Supervisor of Survey, Registration & Grants
 State Historic Preservation Office (SHPO)
 SC Department of Archives & History
 8301 Parklane Road
 Columbia, SC 29223
 803.896.6172 <http://scdah.sc.gov/historic-preservation>

Architect's Response to be issued week of Nov 1, 2022:

1. We will add such language to the specifications. There will also be a pre-construction meeting prior to commencement of the interior paint work
2. Noted, and will comply. There is an on site storage container and the contractor from the previous phase of work may have recorded documentation that we will request.
3. See provided correction to AH002

From: Sauls, Brad
Sent: Tuesday, September 27, 2022 2:28 PM
To: John Girault <john@edisto.org>
Cc: Barb Habegger <bahabegger@gmail.com>; habhegx15 <habhegx15@ssbn-617.com>
Subject: RE: Hutchinson House Drawings

John, thanks very much for sending this information. We will review as quickly as possible and let you know if we have any comments.

Thanks,
 Brad



Brad Sauls
 Supervisor of Survey, Registration & Grants
 State Historic Preservation Office (SHPO)
 SC Department of Archives & History
 8301 Parklane Road
 Columbia, SC 29223
 803.896.6172 <http://scdah.sc.gov/historic-preservation>

From: John Girault <john@edisto.org>
Sent: Monday, September 26, 2022 3:11 PM
To: Sauls, Brad <BSauls@scdah.sc.gov>
Cc: Barb Habegger <bahabegger@gmail.com>; habhegx15 <habhegx15@ssbn-617.com>; John Girault <john@edisto.org>
Subject: Hutchinson House Drawings

Hi there Brad, I sure hope all is going well for you.

From: Francis, Tamara M <tamara_francis@nps.gov>
Sent: Friday, October 21, 2022 2:57 PM
To: John Girault
Subject: RE: [EXTERNAL] Grant # P21AP11653-00 Documents for Review

Good afternoon, John.

The plans and specs for P21AP11653 Edisto Island Open Land Trust project are approved.
Please contact me if you need further assistance. Have a wonderful weekend.

Tamara Francis

From: John Girault <john@edisto.org>
Sent: Tuesday, October 11, 2022 3:18 PM
To: Francis, Tamara M <tamara_francis@nps.gov>
Cc: habhegx15 <habhegx15@ssbn-617.com>; Barb Habhegger <bahabhegger@gmail.com>
Subject: Re: [EXTERNAL] Grant # P21AP11653-00 Documents for Review

Thank you very much! Look forward to hearing back.

Take care,

John Girault

Executive Director

Edisto Island Open Land Trust

cell 843-830-2269

office 843-869-9004

www.edisto.org

From: Francis, Tamara M <tamara_francis@nps.gov>
Sent: Tuesday, October 11, 2022 2:50 PM
To: John Girault
Cc: habhegx15; Barb Habhegger
Subject: RE: [EXTERNAL] Grant # P21AP11653-00 Documents for Review

Good afternoon, John.

I received your email and the documents attached. I have submitted them to the compliance team for review. I will contact you when they are approved.

Tamara Francis

From: John Girault <john@edisto.org>
Sent: Tuesday, October 11, 2022 1:01 PM
To: Francis, Tamara M <tamara_francis@nps.gov>
Cc: John Girault <john@edisto.org>; habhegx15 <habhegx15@ssbn-617.com>; Barb Habhegger <bahabhegger@gmail.com>
Subject: [EXTERNAL] Grant # P21AP11653-00 Documents for Review

This email has been received from outside of DOI - Use caution before clicking on links, opening attachments, or responding.

Good afternoon Tamara, I just received the notification that Jessica was out on maternity leave.

We wanted to be sure that you received the attached documents, that are critical to our next steps in keeping our grant funding project in motion and on target to reach our timelines.

Please let use know if you have any questions or comments on these packets that we will be sharing with contractors interested in bidding on this project.

Thanks very much!

John Girault

Executive Director

Edisto Island Open Land Trust

cell 843-830-2269

office 843-869-9004

www.edisto.org

--

Simons Young, AIA

Principal Architect

Simons Young + Associates

843.277.0996

3 Morris Street, Suite B

Charleston, SC 29403

www.simonsyoung.com

Confidentiality Notice

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NATIONAL PARK
SERVICE REVIEWED
DRAWING SET:



HUTCHINSON HOUSE - PHASE III

7666 POINT OF PINES ROAD

EDISTO ISLAND, SC 29438

September 14,2022
PERMITTING DRAWINGS

SCOPE:

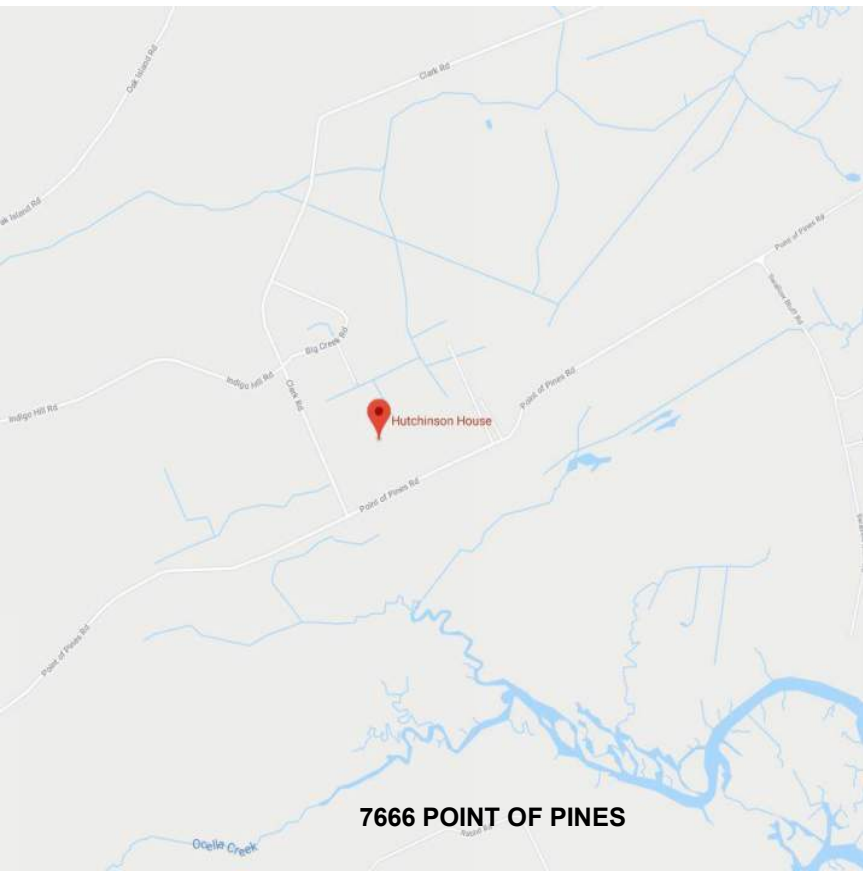
See project manual dated with September 14th, 2022

CODE:

THE HUTCHINSON HOUSE IS LISTED IN THE NATIONAL REGISTER, AND IS A CERTIFIED HISTORIC BUILDING B THE SOUTH CAROLINA DEPARTMENT OF ARCHIVES AND HISTORY. THE BUILDING WAS A HOUSE AND WILL NOT BE OPEN OR ACCESSIBLE TO THE GENERAL PUBLIC DURING THIS PHASE OF WORK. SOUTH CAROLINA EXISTING BUILDING CODE FOR HISTORIC BUILDINGS
1201: Preservation Of Historic Buildings
1202.1: Repair to any portion of a historic building shall be permitted with original or like materials and methods of construction
1202.2: Unsafe conditions shall be remedied
1202.4: Replacement with like materials and methods shall be permitted



SHEET LIST	
Sheet Number	Sheet Name
G000	Cover
G001	Project Information
G002	Life Safety Plan
A001	Site Plan
A100	Foundation Plan
A101	First Floor Plan
A102	Second Floor Plan
A121	Roof Plan
A201	South Elevation
A202	East Elevation
A203	North Elevation
A204	West Elevation
A301	Wall Sections
A320	Stairs, Railings, + Details
A601	Window + Door Schedule
A900	Exterior Photographs
AH000	Cover - Interiors
AH002	Profiles and Details
AH101	Interiors - Floor Plans
AH411	Interior Elevations - First Floor - West Room
AH412	Interior Elevations - First Floor - East Room
AH413	Interior Elevations - Second Floor - West Room
AH414	Interior Elevations - Second Floor - Stair Landing
AH415	Interior Elevations - Second Floor - East Room
S001	STRUCTURAL NOTES
S100	PORCH FRAMING
S101	ROOF FRAMING
S102	PORCH FRAMING SECTION
S103	FRAMING DETAILS
S104	WALL BRACING AND FRAMING DETAILS
S105	SECOND FLOOR FRAMING

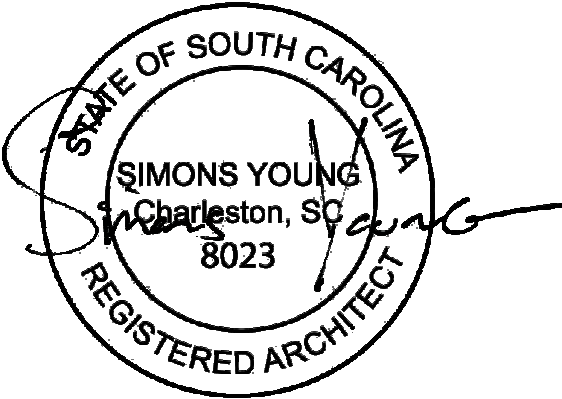
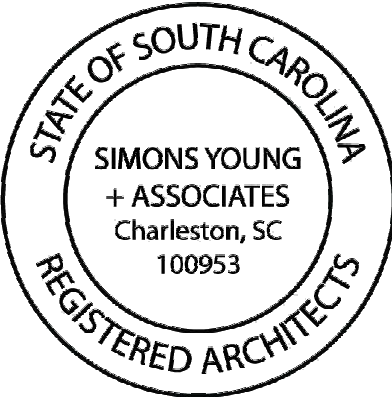


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CHARLESTON SC 29403
843 277 0996
www.simonsyoung.com



**HILLARY KING,
PRESERVATION
CONSULTANT**



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ARCHITECT:

Simons Young + associates
3 Morris St, Suite B
Charleston, SC 29403

Contact: Simons Young
843.277.0996
simons@simonsyoung.com

OWNER:

Edisto Island Open land Trust
547 SC-174
Edisto Island, SC 29438

Contact: John Girault, Director
843.869.9004
john@edisto.org

STRUCTURAL ENGINEER:

Ellinwood + Machado
7 Radcliffe St #301
Charleston, SC 29403

Contact: John Moore
843.722.1992
jmoore@emstructural.com

PRESERVATION CONSULTANTS:

Hillary King, Architectural Conservator
hkingpreservation@gmail.com

Christina R. Butler, Butler Preservation LC
c.rae.butler@gmail.com

CONTRACTOR:

TBD

Hutchinson House

Cover

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

G000

Scale

MATERIAL LEGEND	SYMBOLS LEGEND	GENERAL NOTES	
<div><div><div></div></div>COMPACT EARTH</div> <div><div><div></div></div>ALUMINUM</div> <div><div><div></div></div>STEEL</div> <div><div><div></div></div>CONCRETE</div> <div><div><div></div></div>GROUT/MORTAR/SAND/PRECAST/ STUCCO/GYPSUM BOARD</div> <div><div><div></div></div>CONCRETE MASONRY</div> <div><div><div></div></div>BRICK MASONRY</div> <div><div><div></div></div>ROUGH LUMBER (CONTINUOUS)</div> <div><div><div></div></div>ROUGH LUMBER (DISCONTINUOUS BLOCKING)</div> <div><div><div></div></div>WOOD</div> <div><div><div></div><div></div></div>PLYWOOD</div> <div><div><div></div></div>BATT INSULATION</div> <div><div><div></div></div>RIGID INSULATION</div>	<div><div><div><div></div><div></div></div><div>TRUE</div></div><div><div><div></div><div></div></div><div>PROJECT</div></div></div> <div><div><div></div></div>NORTH ARROW</div> <div><div><div></div></div>SPOT ELEVATION</div> <div><div><div></div><div></div></div>ELEVATION LEVEL</div> <div><div><div>ROOM NAME</div><div>101</div></div>ROOM TAG</div> <div><div><div></div></div>DOOR TAG</div> <div><div><div></div></div>CALLOUT TAG</div> <div><div><div></div></div>INTERIOR ELEVATION</div> <div><div><div></div></div>EXTERIOR ELEVATION</div> <div><div><div></div></div>BUILDING SECTION</div> <div><div><div></div></div>WALL SECTION</div>	<div><div><div></div></div>1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. NOTIFY ARCHITECT OF ANY DEVIATIONS BETWEEN ACTUAL EXISTING CONDITIONS AND THOSE SHOWN ON DRAWINGS.</div> <div><div><div></div></div>2. ALL DIMENSIONS ARE TO FACE OF EXISTING WALL, FACE OF NEW STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.</div> <div><div><div></div></div>3. ALL EXPOSED EXTERIOR WOOD TO BE PRESSURE TREATED APPEARANCE GRADE UNLESS OTHERWISE NOTED.</div> <div><div><div></div></div>4. ALL EXISTING FINISHES, MATERIALS, EQUIPMENT, ETC THAT ARE TO REMAIN, ARE TO BE PROTECTED DURING CONSTRUCTION.</div>	
ABBREVIATIONS	ZONING INFORMATION		
<div><div><div>ACQUST</div><div>ADJUST</div><div>AFF</div><div>ALT</div><div>ALUM</div><div>APPROX</div><div>ARCH.</div><div>B.O.</div><div>BITUM</div><div>BLDG</div><div>BOT</div><div>BTWN</div><div>CAB</div><div>CEM</div><div>CER</div><div>CL</div><div>CLG</div><div>COMP'T</div><div>CONC</div><div>CONT'D</div><div>CONFIG</div><div>CONST</div><div>CONT</div><div>D</div><div>DET., DTL</div><div>DIM</div><div>DN</div><div>DWG</div><div>ELECT</div><div>ELEV</div><div>EMER</div><div>EQ</div><div>EQPMT</div><div>EXTG</div><div>EXT</div><div>F.D</div><div>FE</div><div>FEB</div><div>FEC</div><div>F.O</div><div>FDN</div><div>FF</div><div>FIN</div><div>FLR</div><div>FLUOR</div><div>FTG</div><div>FUT</div><div>GALV</div><div>GYP BD</div></div><div><div><div>ACOUSTICAL</div><div>ADJUSTABLE</div><div>ABOVE FINISH FLOOR</div><div>ALTERNATE</div><div>ALUMINUM</div><div>APPROXIMATE</div><div>ARCHITECTURAL</div><div>BOTTOM OF</div><div>BITUMINOUS</div><div>BUILDING</div><div>BOTTOM</div><div>BETWEEN</div><div>CABINET</div><div>CEMENT</div><div>CERAMIC</div><div>CENTER LINE</div><div>CEILING</div><div>COMPARTMENT</div><div>CONCRETE</div><div>CONTINUED</div><div>CONFIGURATION</div><div>CONSTRUCTION</div><div>CONTINUOUS</div><div>DRYER</div><div>DETAIL</div><div>DIMENSION</div><div>DOWN</div><div>DRAWING</div><div>ELECTRICAL</div><div>ELEVATION</div><div>EMERGENCY</div><div>EQUAL</div><div>EQUIPMENT</div><div>EXISTING</div><div>EXTERIOR</div><div>FLOOR DRAIN</div><div>FIRE EXTINGUISHER</div><div>FIRE EXTINGUISHER BRACKET</div><div>FIRE EXTINGUISHER CABINET</div><div>FACE OF</div><div>FOUNDATION</div><div>FINISH FLOOR</div><div>FINISH</div><div>FLOOR</div><div>FLUORESCENT</div><div>FOOTING</div><div>FUTURE</div><div>GALVANIZED</div><div>GYPSUM BOARD</div></div><div><div><div>HORZ</div><div>INSUL</div><div>INT</div><div>LOC'N</div><div>MAX</div><div>MECH</div><div>MEMB</div><div>MFR</div><div>MIN</div><div>MISC</div><div>MTL</div><div>NIC</div><div>NTS</div><div>NO OR #</div><div>NOM</div><div>OC</div><div>OH</div><div>OPNG</div><div>OPP HAND</div><div>PLYWD</div><div>PNL</div><div>PNL'G</div><div>PTD</div><div>REINF</div><div>REQ'D</div><div>RM</div><div>SCHED</div><div>SECT</div><div>SHT</div><div>SIM</div><div>SPEC</div><div>SS</div><div>STO</div><div>STRUCTL</div><div>SUSP</div><div>T&G</div><div>TYP</div><div>UNO</div><div>VERT</div><div>VIF</div><div>W</div><div>WC</div><div>WD</div><div>WDW</div></div><div><div><div>HORIZONTAL</div><div>INSULATION</div><div>INTERIOR</div><div>LOCATION</div><div>MAXIMUM</div><div>MECHANICAL</div><div>MEMBRANE</div><div>MANUFACTURER</div><div>MINIMUM</div><div>MISCELLANEOUS</div><div>METAL</div><div>NOT IN CONTRACT</div><div>NOT TO SCALE</div><div>NUMBER</div><div>NOMINAL</div><div>ON CENTER</div><div>OVER HEAD</div><div>OPENING</div><div>OPPOSITE HAND</div><div>PLYWOOD</div><div>PANEL</div><div>PANELING</div><div>PAINTED</div><div>REINFORCING</div><div>REQUIRED</div><div>ROOM</div><div>SCHEDULE</div><div>SECTION</div><div>SHEET</div><div>SIMILAR</div><div>SPECIFICATION</div><div>STAINLESS STEEL</div><div>STORAGE</div><div>STRUCTURAL</div><div>SUSPENDED</div><div>TONGUE & GROOVE</div><div>TYPICAL</div><div>UNLESS NOTED OTHERWISE</div><div>VERTICAL</div><div>VERIFY IN FIELD</div><div>WASHER</div><div>WATER CLOSET</div><div>WOOD</div><div>WDW</div></div></div></div></div></div>	<div><div><div>ZONE:</div><div>TMS#:</div><div>FLOOD ZONE:</div></div><div><div>RESIDENTIAL</div><div>0850000028</div><div>AE-12</div></div></div>		
	<div>SCOPE OF WORK</div>		
	<div>SEE PROJECT MANUAL</div>		
	<div>CODE</div>		
	<div>DESIGNED TO MEET 2018 EXISTING BUILDING CODE FOR HISTORIC BUILDINGS</div>		

TRUE

PROJECT

NORTH ARROW

ROOM NAME

101

ROOM TAG

CALLOUT TAG

?

?

INTERIOR ELEVATION

?

EXTERIOR ELEVATION

?

BUILDING SECTION

?

WALL SECTION

?

SPOT ELEVATION

?

ELEVATION LEVEL

?

DOOR TAG

?

CONSTRUCTION SUBSYSTEM TYPE
(wall type, floor type, roof type)

?

WINDOW & LOUVER TAG

?

STRUCTURAL GRID

?

DRAWING TITLE AND
SCALE

1

VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. NOTIFY ARCHITECT OF ANY DEVIATIONS BETWEEN ACTUAL EXISTING CONDITIONS AND THOSE SHOWN ON DRAWINGS.

2

ALL DIMENSIONS ARE TO FACE OF EXISTING WALL, FACE OF NEW STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.

3

ALL EXPOSED EXTERIOR WOOD TO BE PRESSURE TREATED APPEARANCE GRADE UNLESS OTHERWISE NOTED.

4

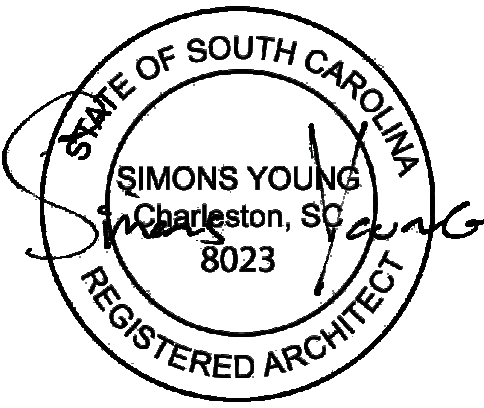
ALL EXISTING FINISHES, MATERIALS, EQUIPMENT, ETC THAT ARE TO REMAIN, ARE TO BE PROTECTED DURING CONSTRUCTION.

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Hutchinson House

Life Safety Plan

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

G002

Scale 1/4" = 1'-0"

BASIS OF DESIGN

- SCEBC - HISTORIC BUILDINGS 2018
- Section 1205: Historic Buildings
 - 1201.3: Special Occupancy Exceptions - Museums
 - 1204.11: Stairways and Guards - Exception
 - Section 607: Classification of Work > Historic Buildings
 - Section 806.7: Level 2 Alteration > Structural

STRUCTURAL

60 LB/SF LOAD ON PORCH
40 LB/SF LOAD INTERIOR

CODE ANALYSIS

2018 INTERNATIONAL BUILDING CODE
2018 SOUTH CAROLINA EXISTING BUILDING CODE
TYPE V CONSTRUCTION, PERTIALLY SPRINKLERED
ASSEMBLY GROUP A-2

BUILDING AREA

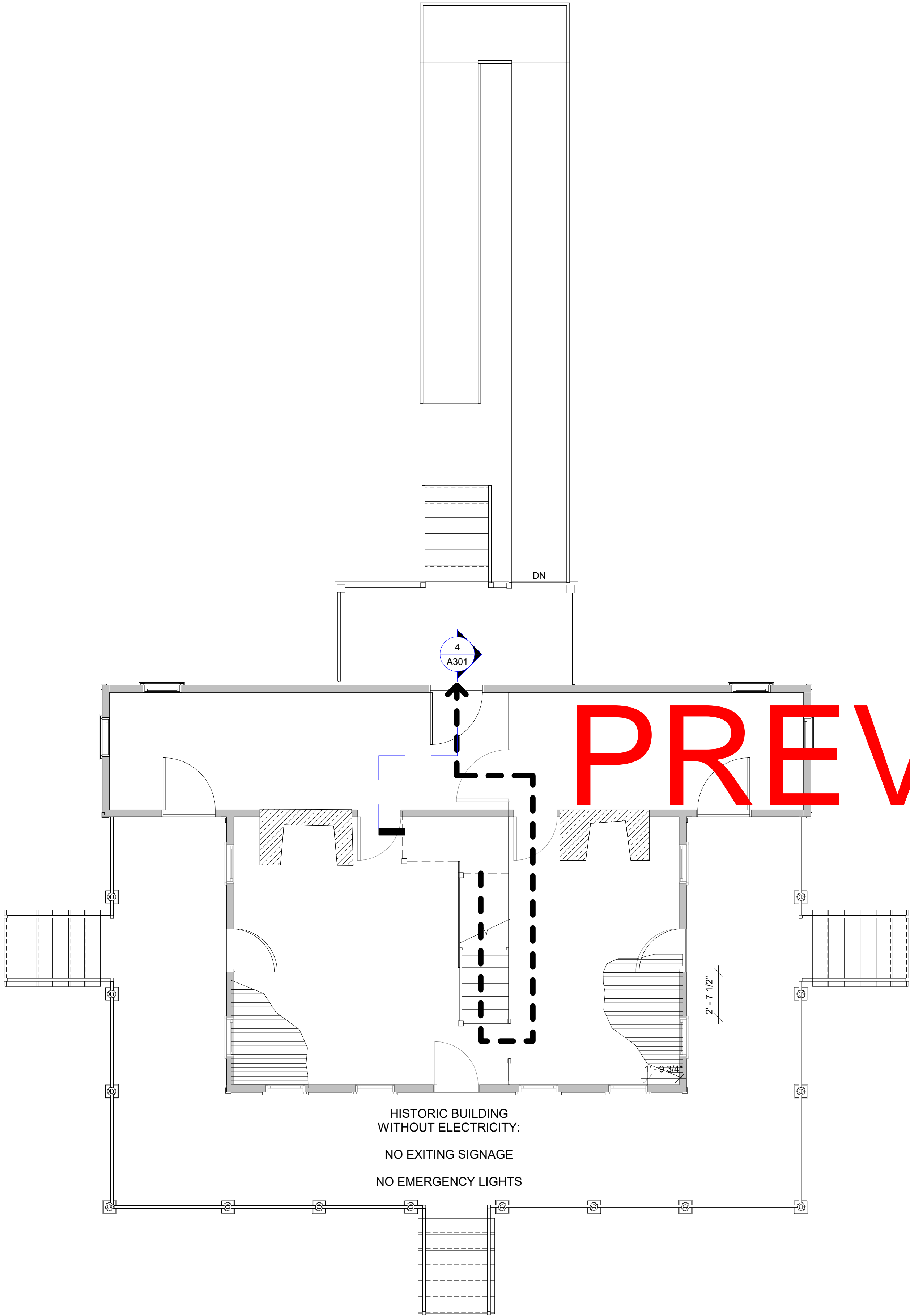
ACTUAL FIRST FLOOR	667 SF
ACTUAL SECOND FLOOR	370 SF
TOTAL INTERIOR	1,037 SF

PORCH	494 SF
-------	--------

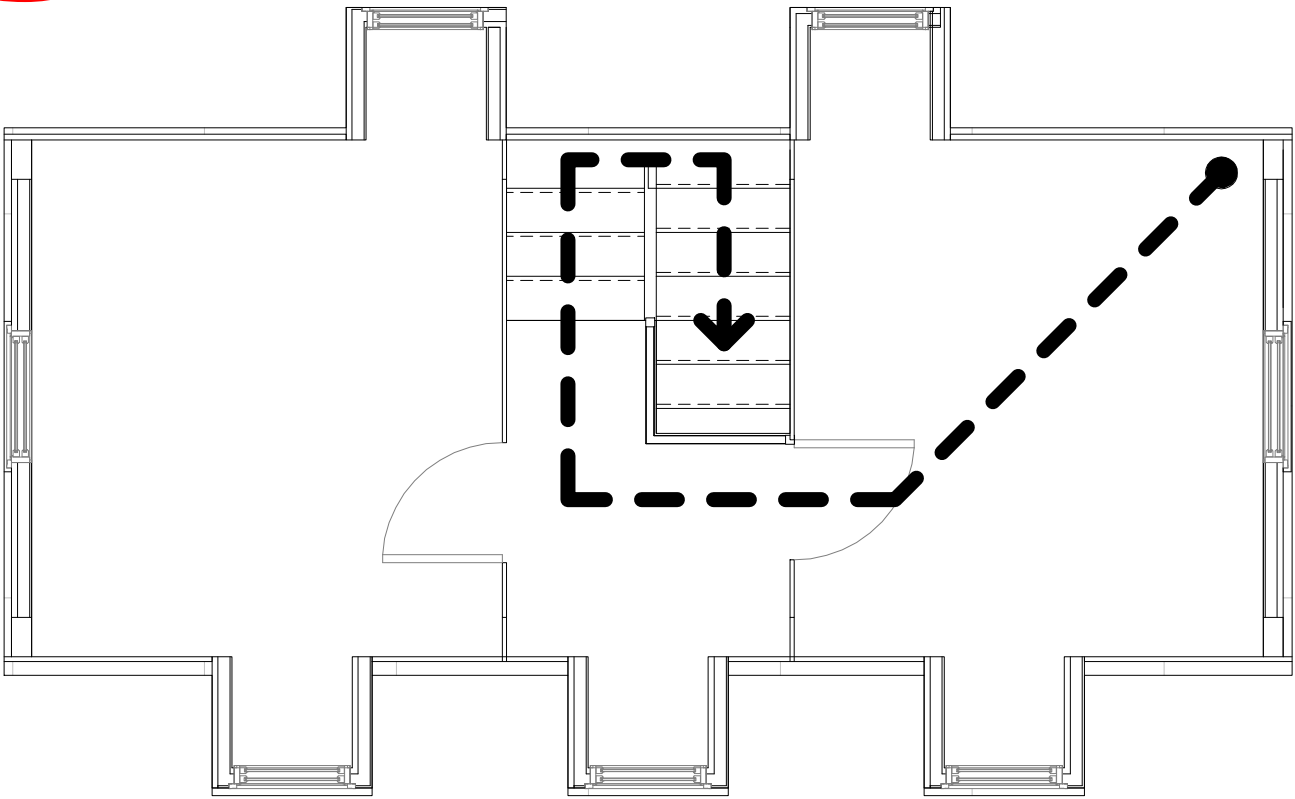
OCCUPANT LOADS

FIRST FLOOR LOAD	5 P
SECOND FLOOR LOAD	3 P
TOTAL LOAD	8 P

PREVIOUS

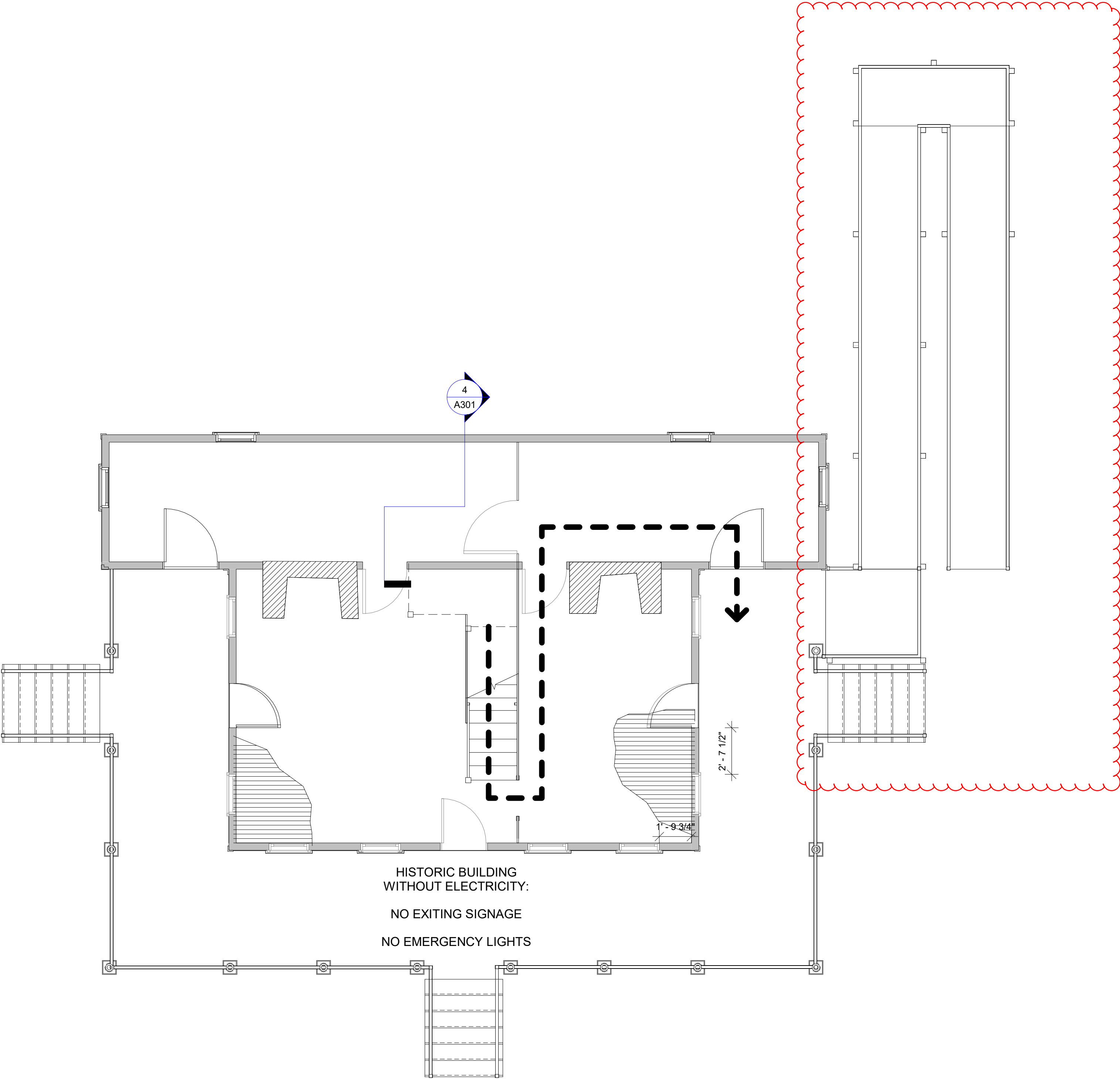


1 1st Floor Plan - Life Safety Plan
1/4" = 1'-0"

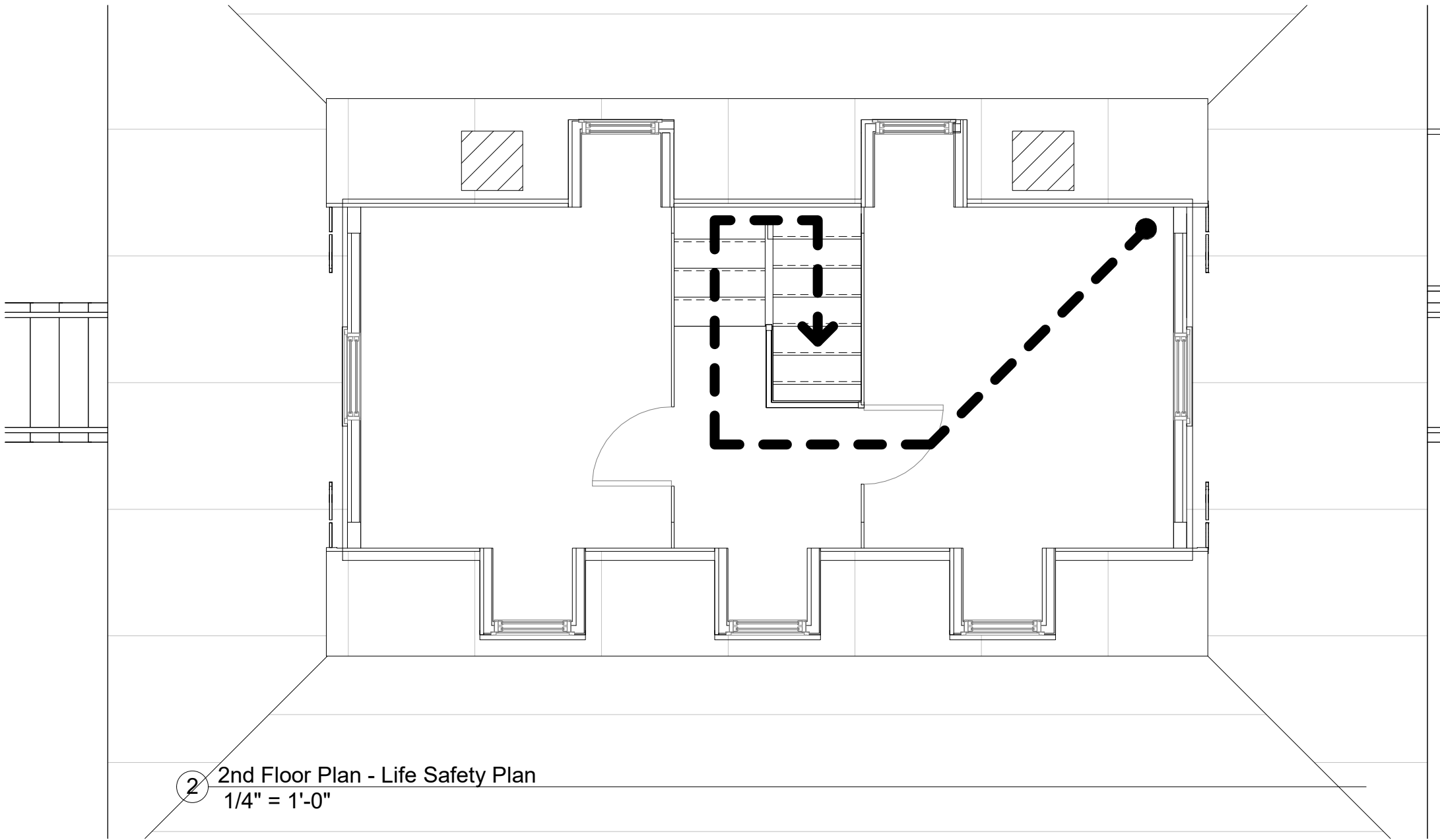


2 2nd Floor Plan - Life Safety Plan
1/4" = 1'-0"

CURRENT:



1 1st Floor Plan - Life Safety Plan
1/4" = 1'-0"



2 2nd Floor Plan - Life Safety Plan
1/4" = 1'-0"

BASIS OF DESIGN
2021 INTERNATIONAL BUILDING CODE WITH SOUTH CAROLINA MODIFICATIONS
SECTION 101.4.7: Existing Buildings

CODE ANALYSIS
TYPE V CONSTRUCTION
ASSEMBLY GROUP A-2

STRUCTURAL
60 LB/SF LOAD ON PORCH
40 LB/SF LOAD INTERIOR

BUILDING AREA
ACTUAL FIRST FLOOR 667 SF
ACTUAL SECOND FLOOR 370 SF
TOTAL INTERIOR 1,037 SF

PORCH 494 SF

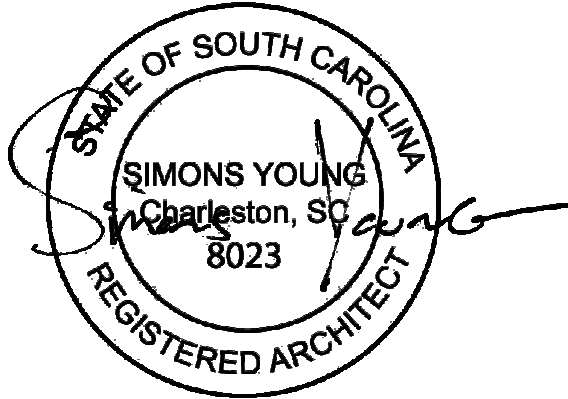
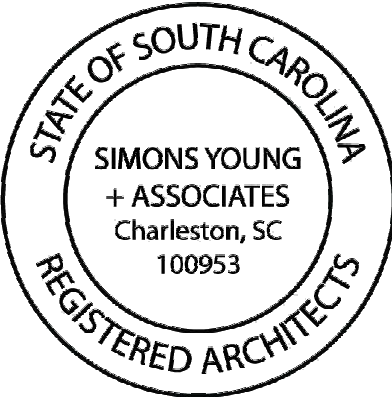
OCCUPANT LOADS
FIRST FLOOR LOAD 5 P
SECOND FLOOR LOAD 3 P
TOTAL LOAD 8 P

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Life Safety Plan

Project number 18401
Date 10.06.2023
Drawn by SC
Checked by SY

G002

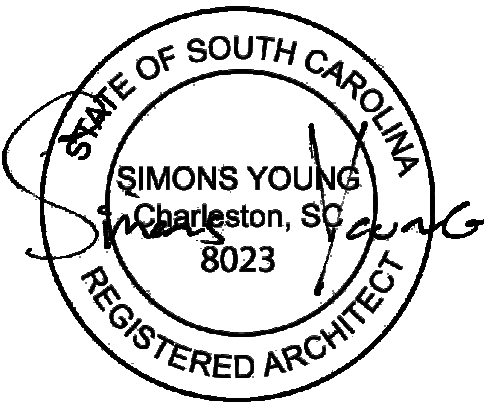
Scale 1/4" = 1'-0"

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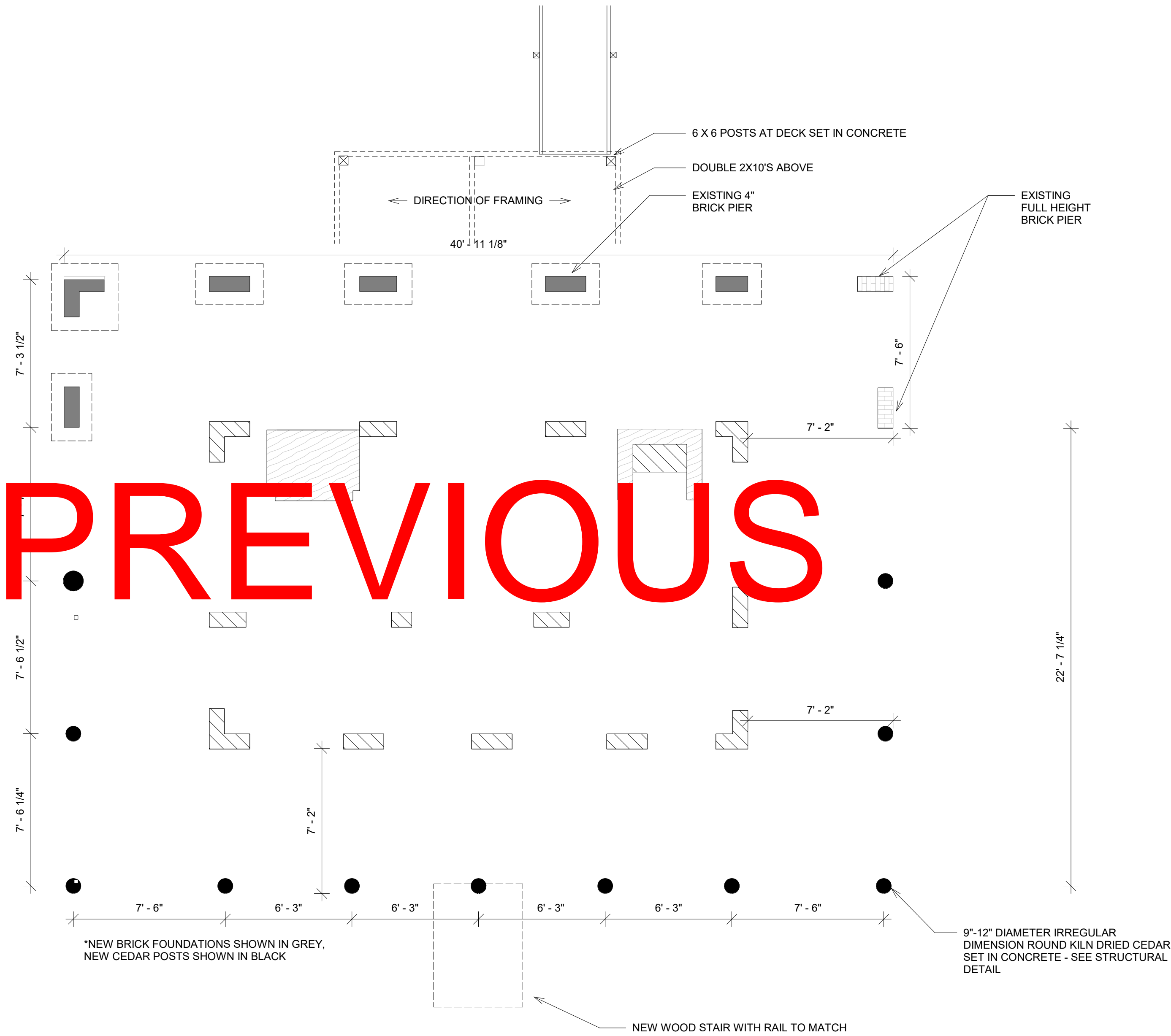
Hutchinson House

Foundation Plan

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

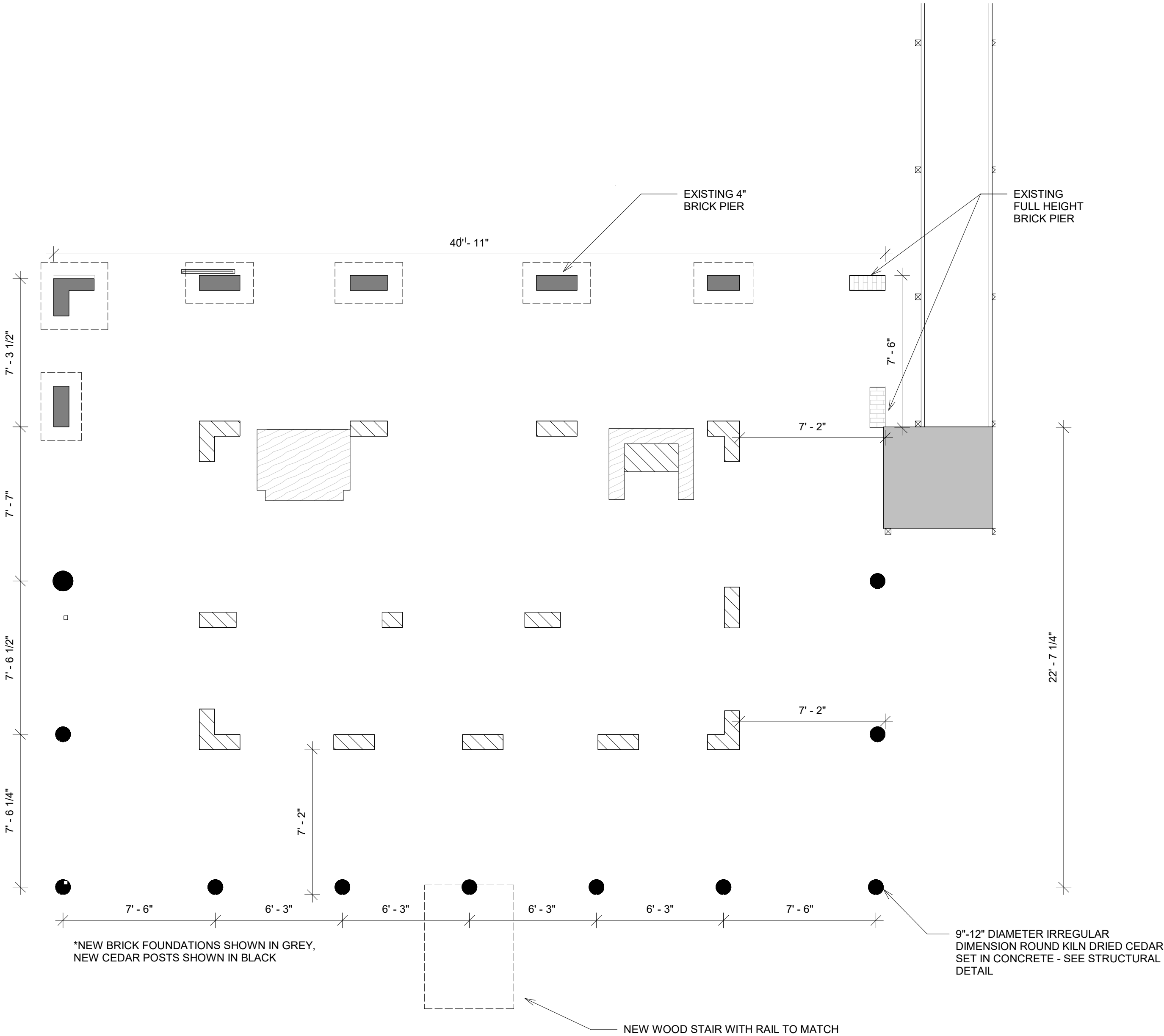
A100

Scale 1/4" = 1'-0"



① Foundation Plan - Porch
1/4" = 1'-0"

CURRENT:



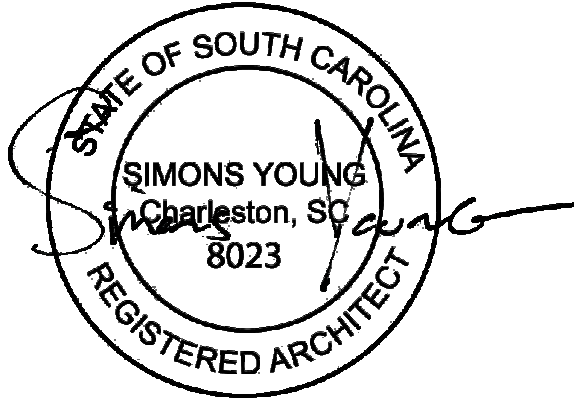
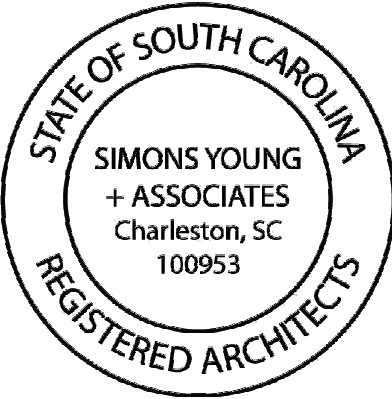
① Foundation Plan - Porch
1/4" = 1'-0"

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Foundation Plan

Project number	18401
Date	10.06.2023
Drawn by	SC
Checked by	SY

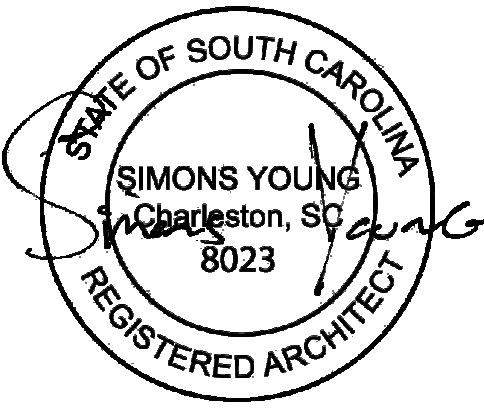
A100

Scale 1/4" = 1'-0"

22/2024 10:46:57 AM Project Status



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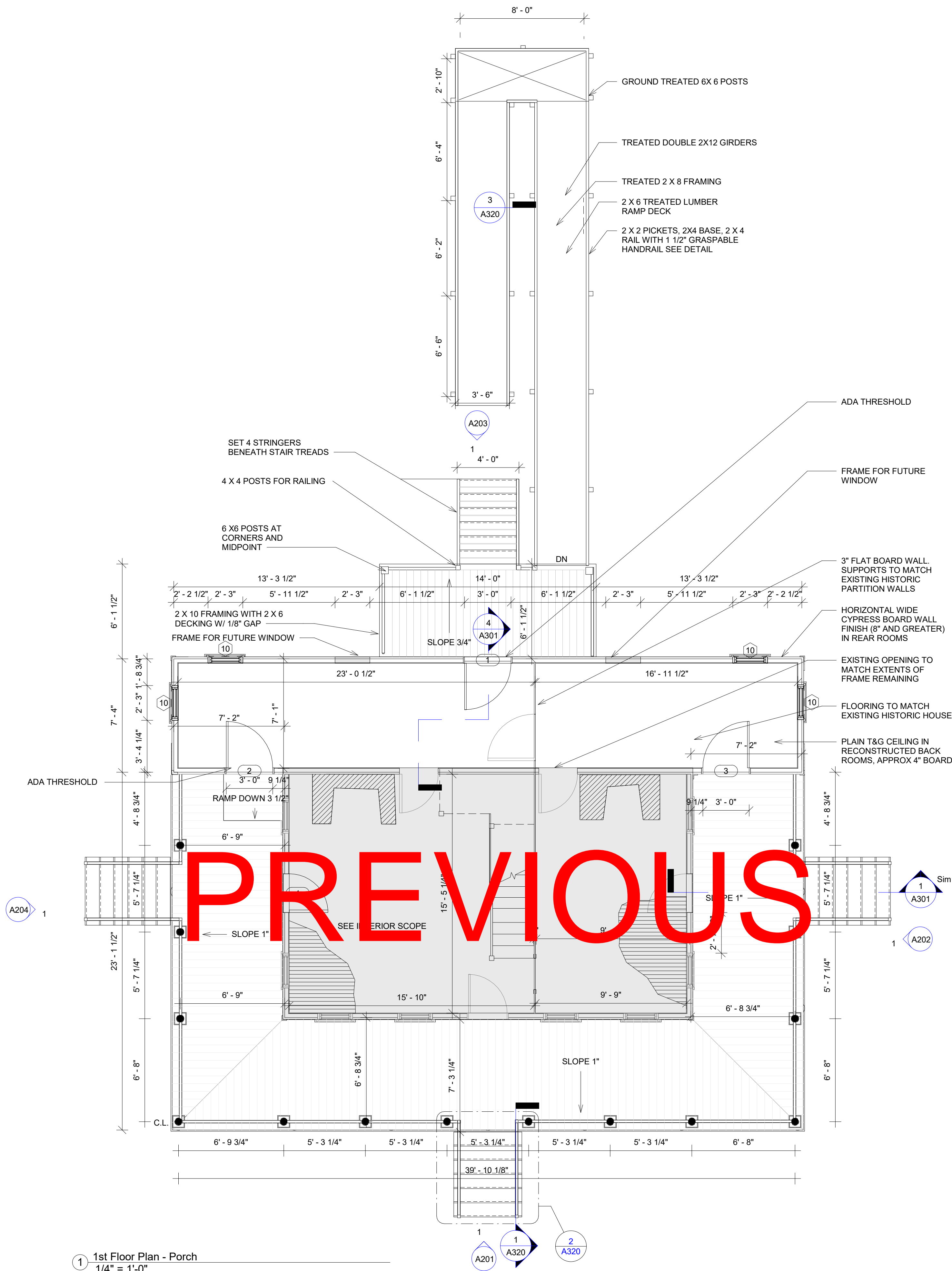
Hutchinson House

First Floor Plan

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

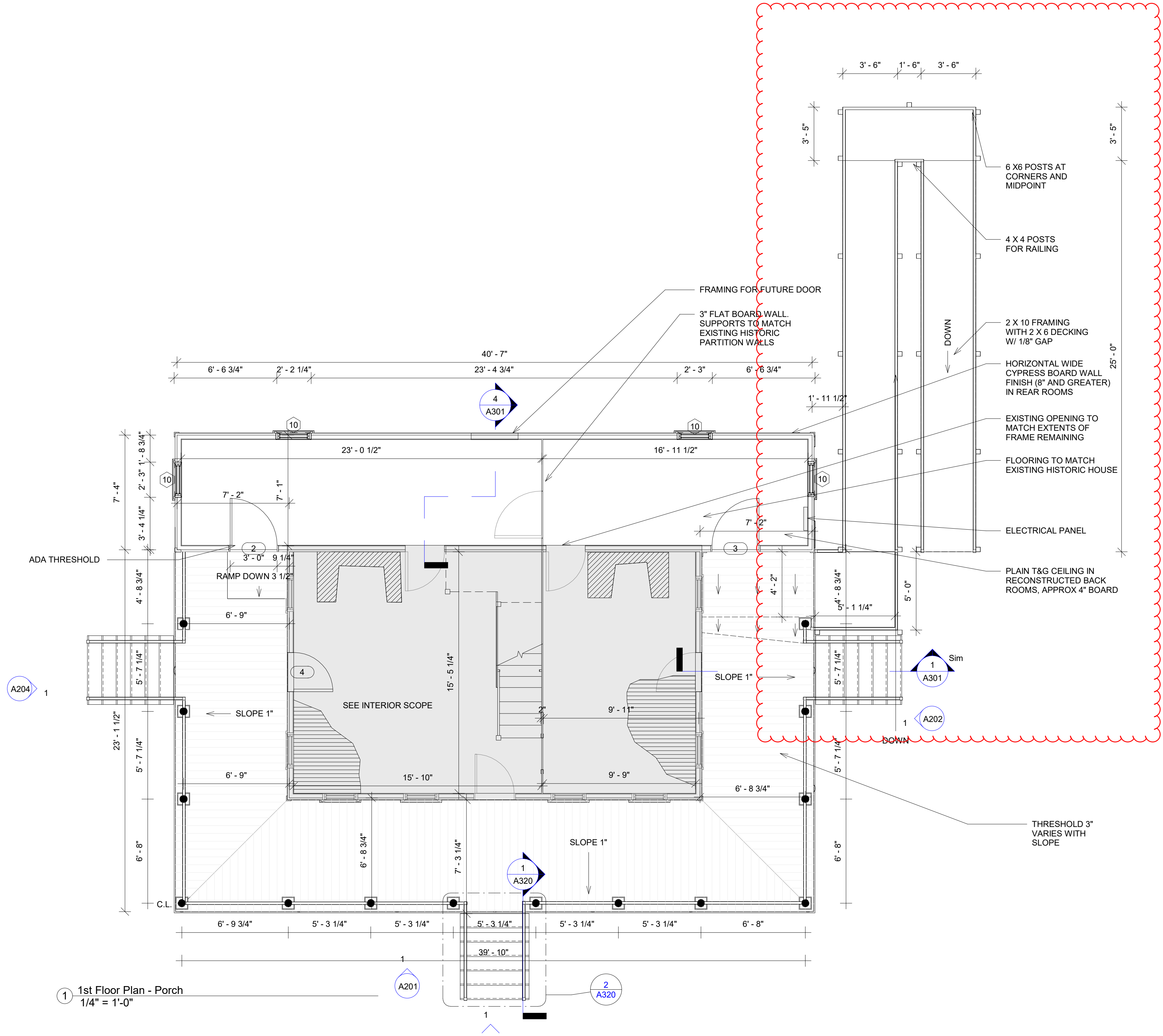
A101

Scale 1/4" = 1'-0"



1 1st Floor Plan - Porch
1/4" = 1'-0"

CURRENT:

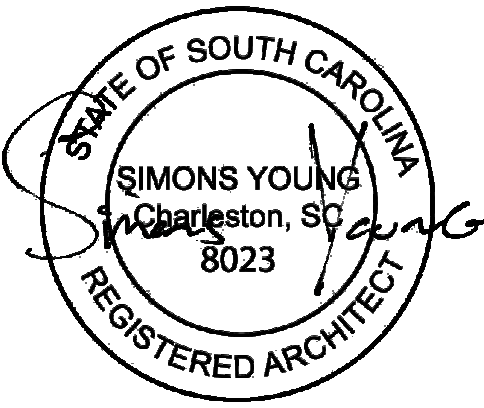


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First Floor Plan

Project number	18401
Date	10.06.2023
Drawn by	SC
Checked by	SY

A101

Scale 1/4" = 1'-0"

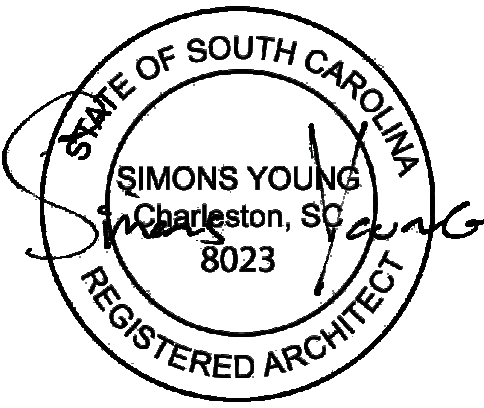
22/2024 10:46:57 AM Project Status

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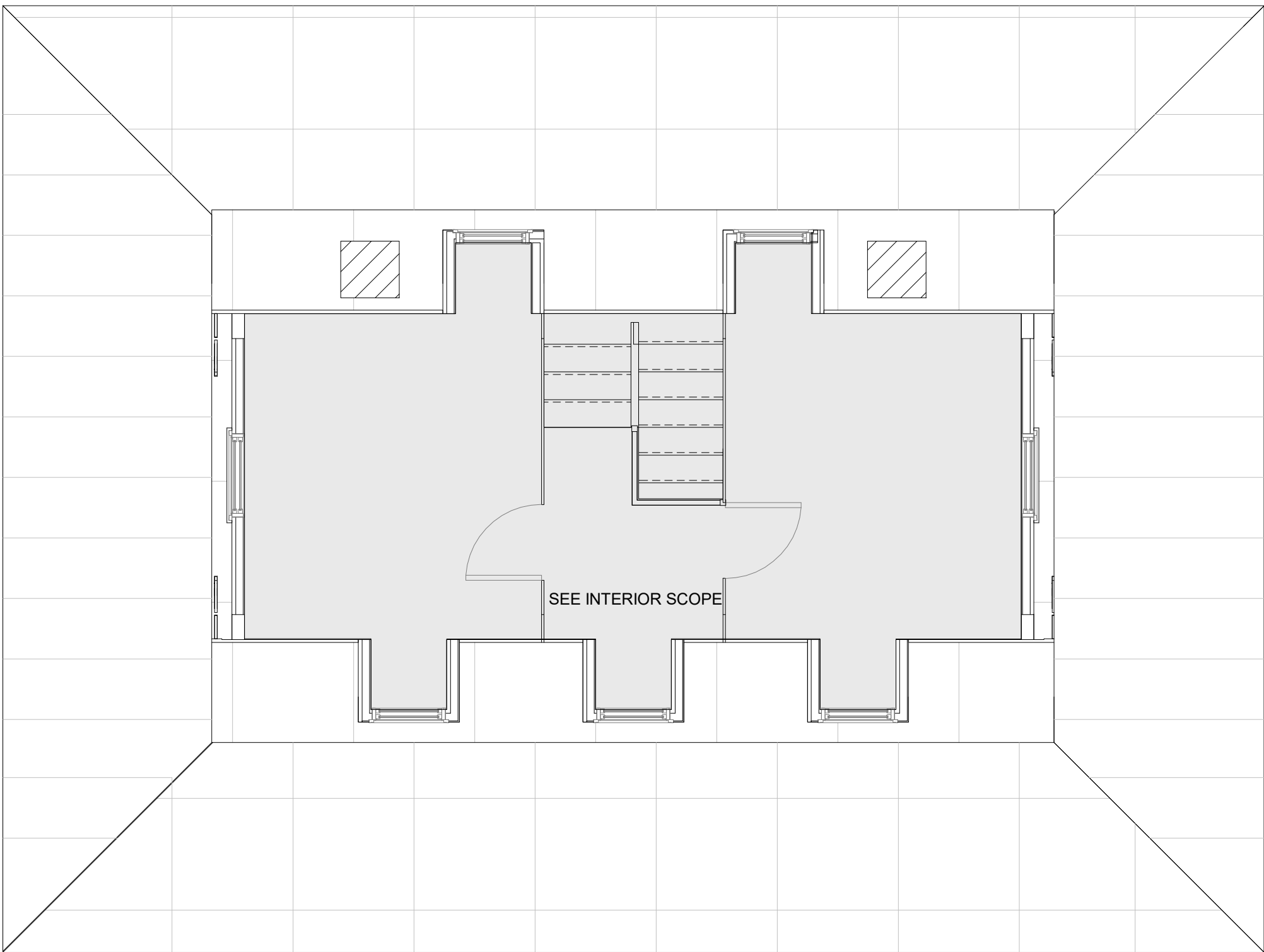
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Second Floor Plan

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A102

Scale 1/4" = 1'-0"



* NO EXTERIOR WORK ON SECOND FLOOR, PLAN PROVIDED FOR REFERENCE ONLY

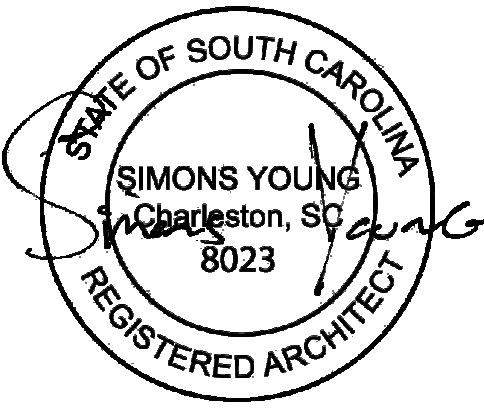
1 2nd Floor Plan- Exterior
1/4" = 1'-0"

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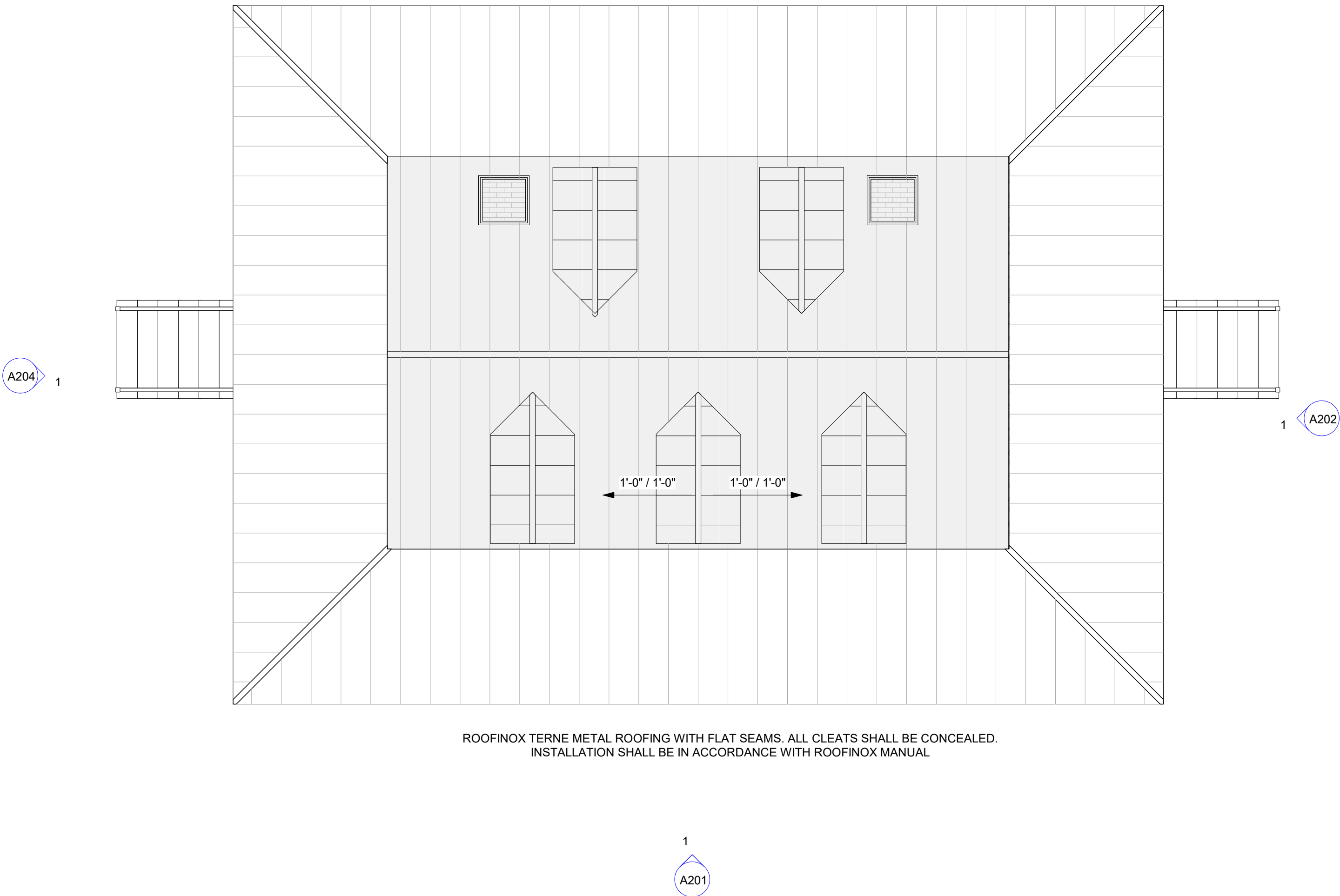
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Roof Plan

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A121

Scale 1/4" = 1'-0"



ROOFINOX TERNE METAL ROOFING WITH FLAT SEAMS. ALL CLEATS SHALL BE CONCEALED.
INSTALLATION SHALL BE IN ACCORDANCE WITH ROOFINOX MANUAL

1 Roof Plan
1/4" = 1'-0"



SHEET NOTE: CONTRACTOR
SUBMIT ROOFING AND ROOF
DETAIL FOR REVIEW BY
ARCHITECT BEFORE
PURCHASE OR INSTALL OF
ROOFING MATERIAL

REMOVE EXISTING TRIM BOARD
AND REPLACE WITH DECORATIVE
TRIM TO MATCH HISTORIC

ROOFINOX TERNE METAL ROOF

NEW 3/4" BOARDS WITH 8"
EXPOSURE

36" ADA DOORS, TO
MATCH STYLE OF
FRONT DOOR

TAPERED COLUMNS

TURNED RAILING

OPEN TREAD
WOOD STAIR

NEW FOUNDATION PIERS,
TREATED CEDAR POSTS

FRONT DOOR BY OTHERS

9'0" TOP OF COLUMN

0' 0" HISTORIC HOUSE FLOOR
0' -4" PORCH FLOOR

SEE PLAN FOR ALL PORCH SLOPES OF 1"

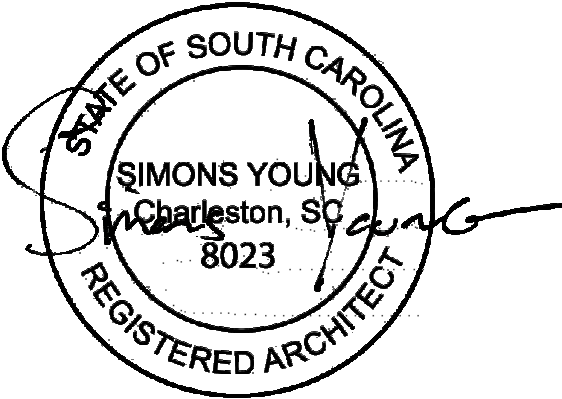
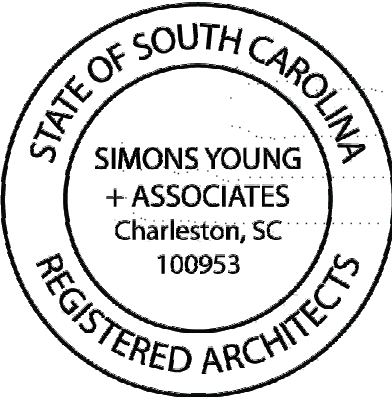
1 Exterior Elevation - South
1/2" = 1'-0"

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Hutchinson House

South Elevation

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A201

Scale 1/2" = 1'-0"

9/12/2024 4:12:21 PM Project Status

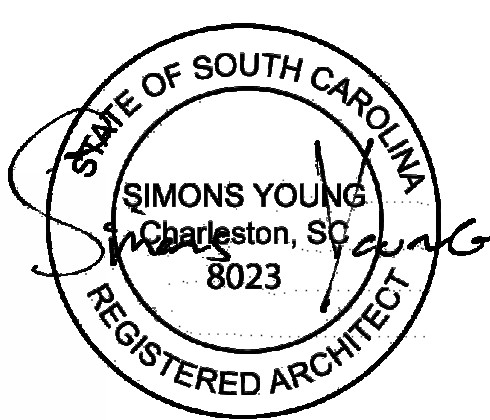
CURRENT:

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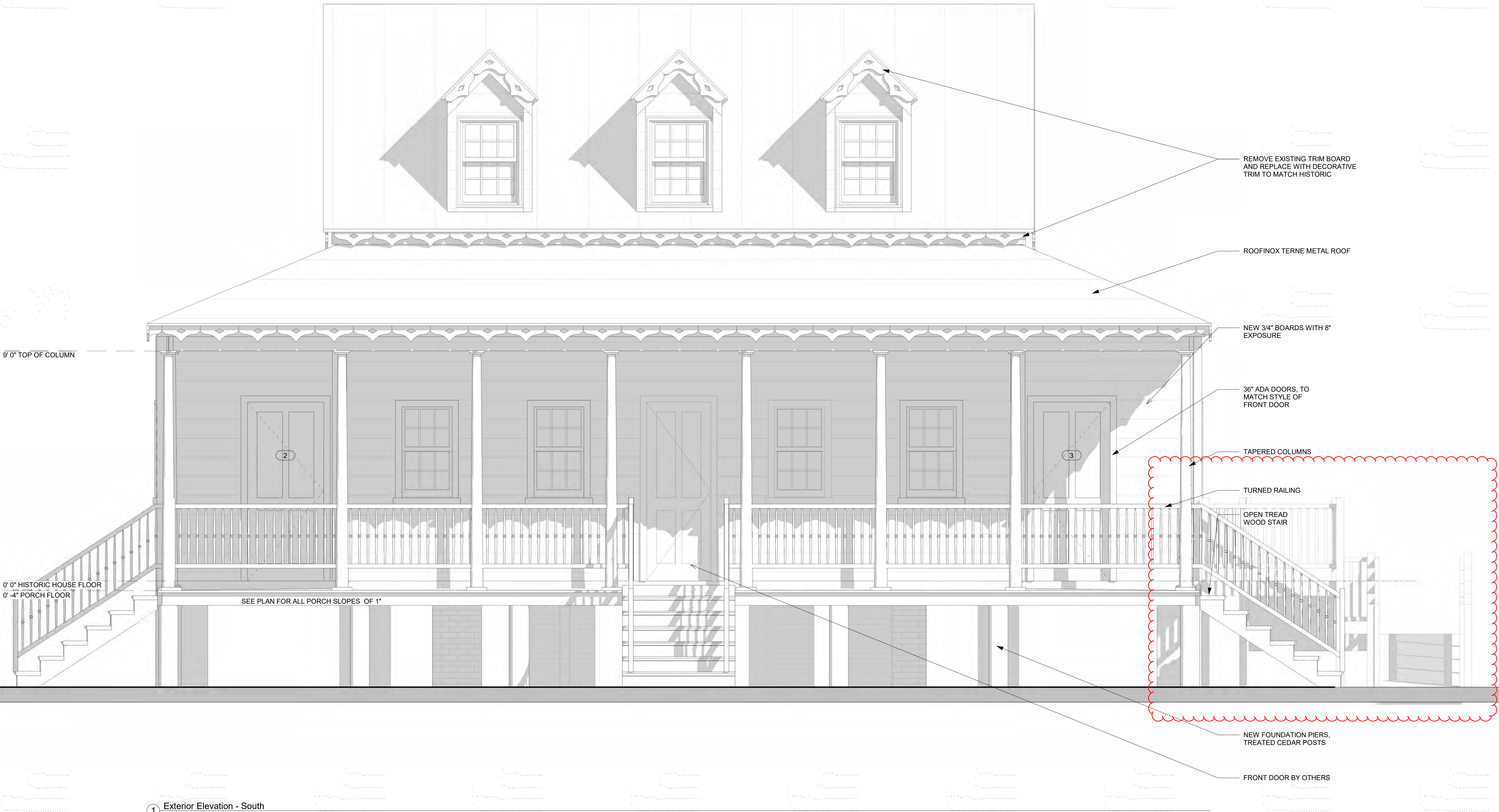
Hutchinson House

South Elevation

Project number	18401
Date	10.06.2023
Drawn by	SC
Checked by	SY

A201

Scale 1/2" = 1'-0"



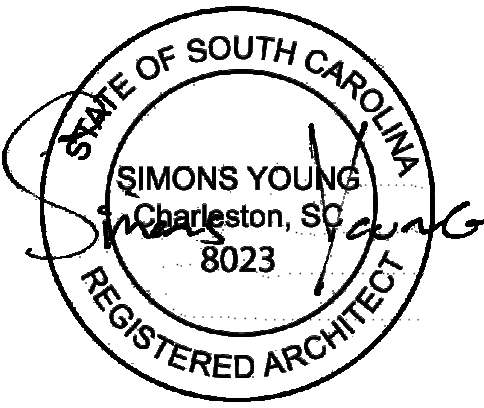
1 Exterior Elevation - South
1/2" = 1'-0"

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East Elevation

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

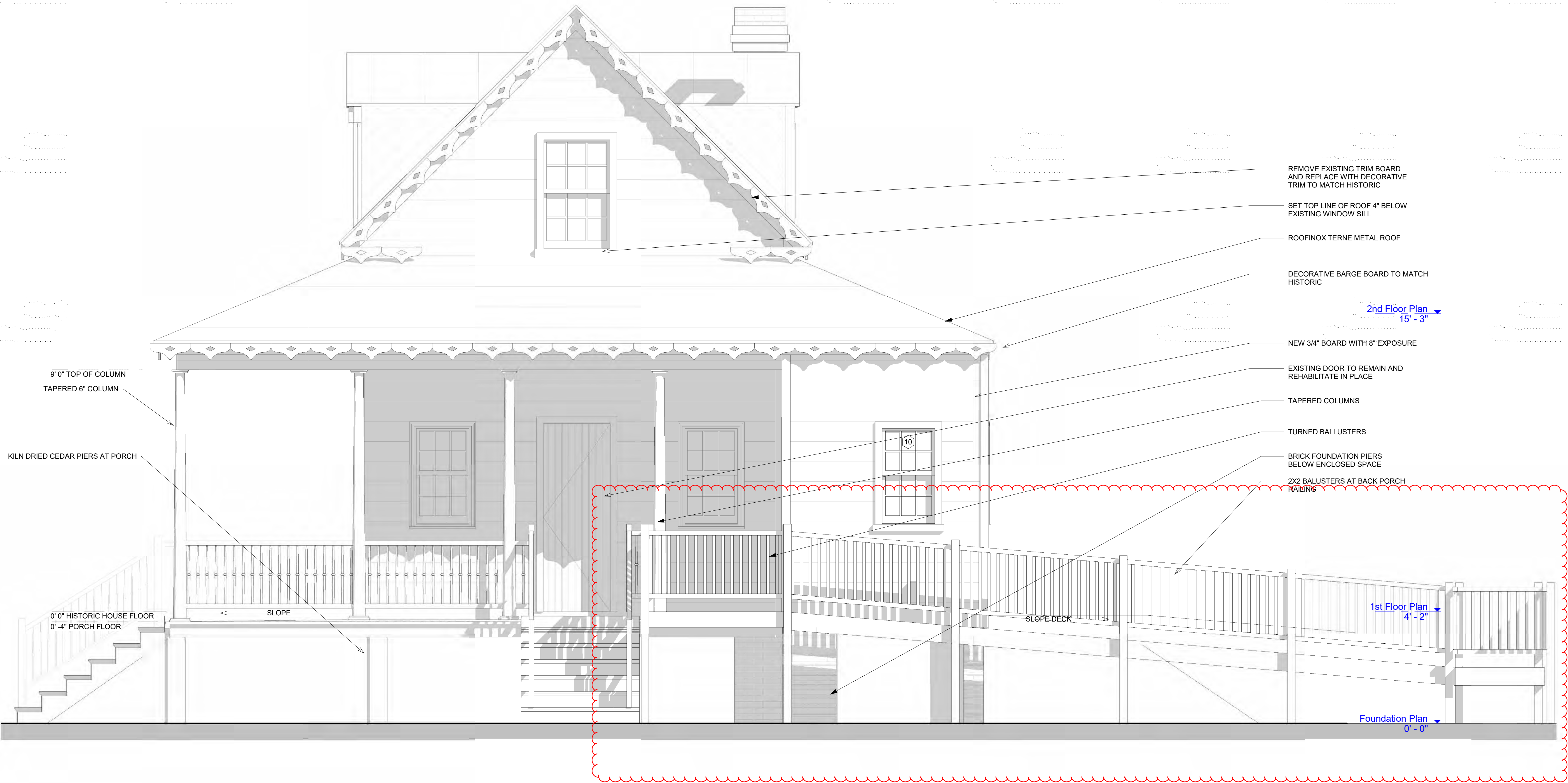
A202

Scale 1/2" = 1'-0"



1 Exterior Elevation - East
1/2" = 1'-0"

CURRENT:



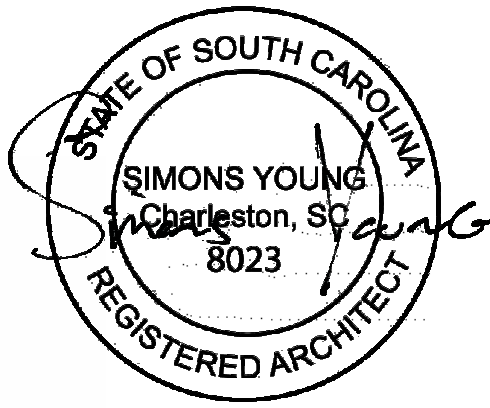
① Exterior Elevation - East
1/2" = 1'-0"

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East Elevation

Project number	18401
Date	10.06.2023
Drawn by	SC
Checked by	SY

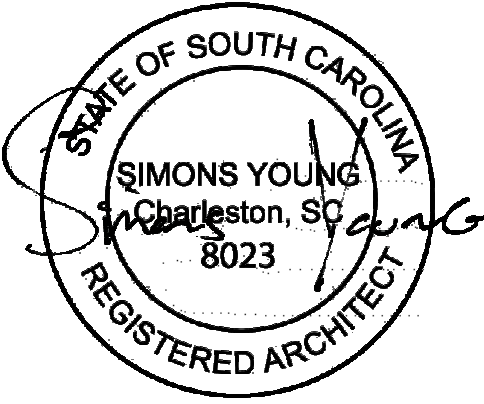
A202

Scale 1/2" = 1'-0"

Project Name



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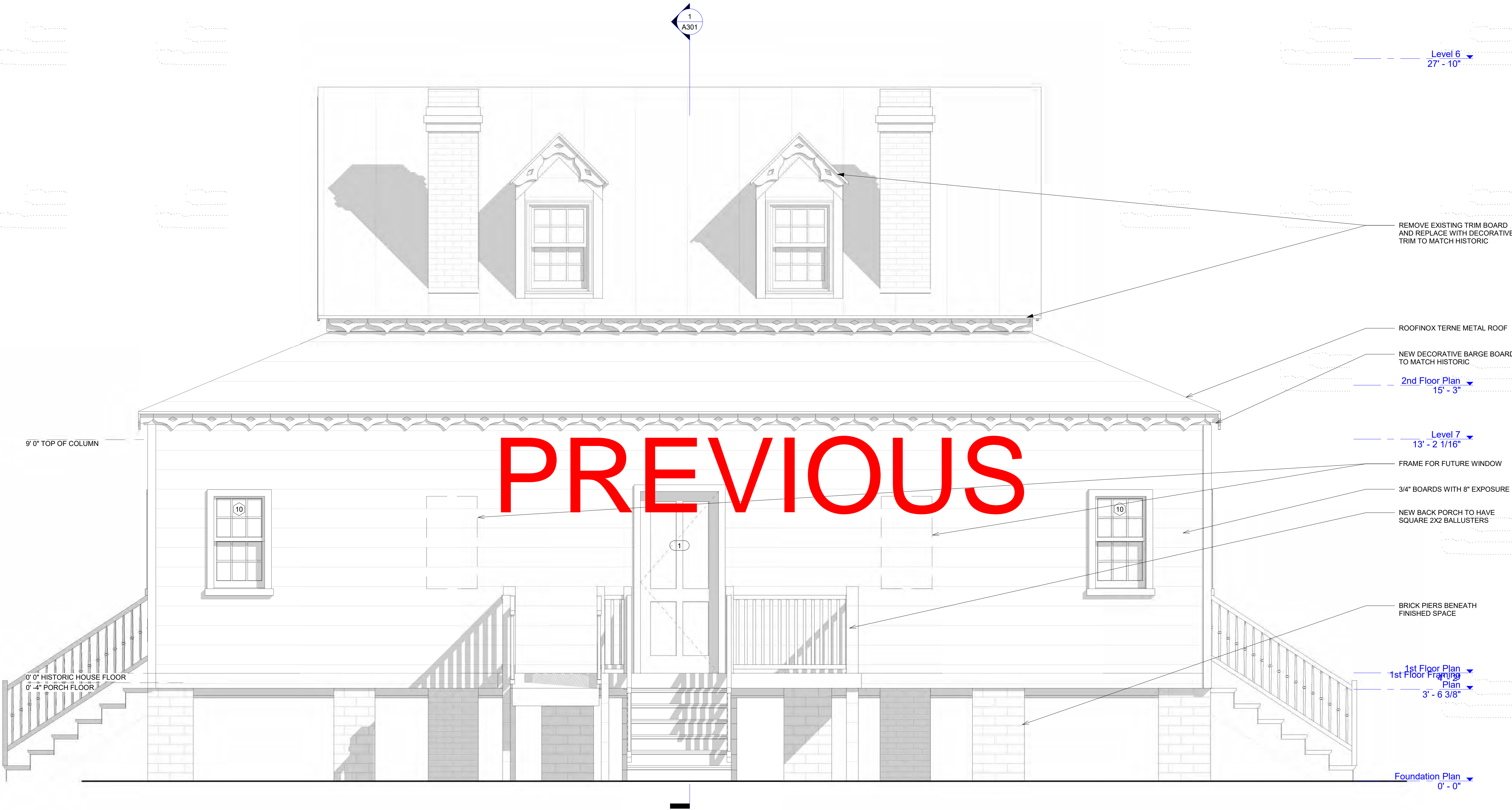
Hutchinson House

North Elevation

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A203

Scale 1/2" = 1'-0"



1 Exterior Elevation - North
1/2" = 1'-0"

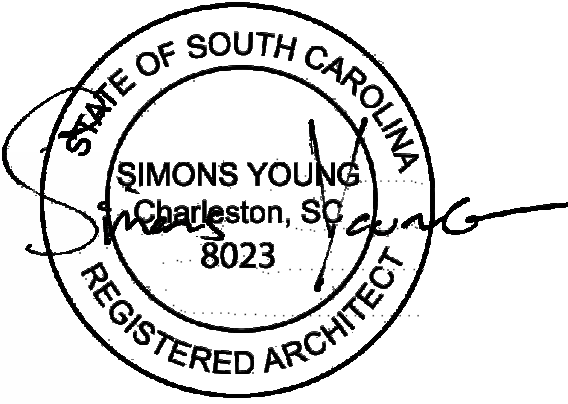
CURRENT:

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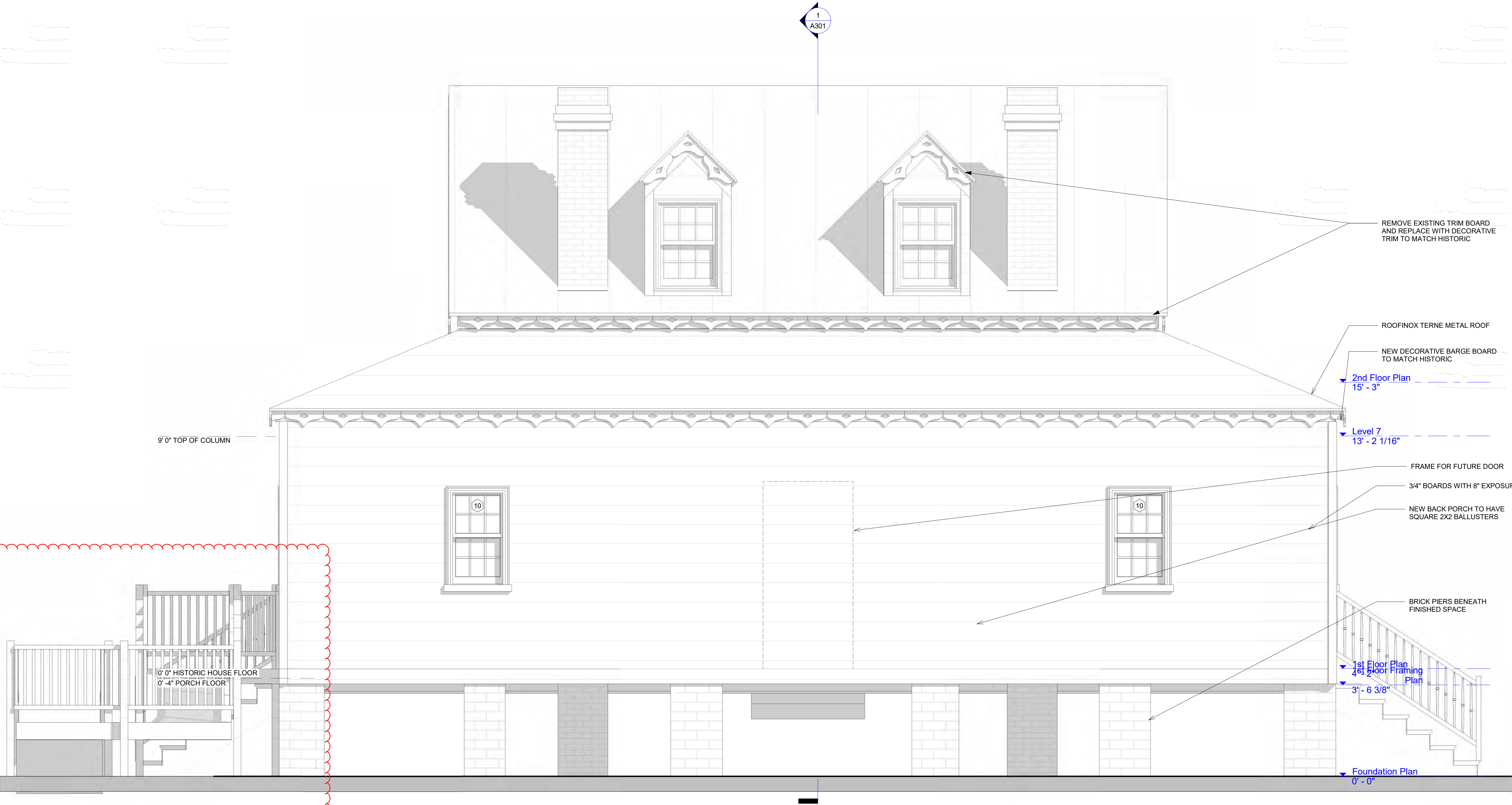
North Elevation

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Date	10.06.2023
Drawn by	SC
Checked by	SY

A203

Scale 1/2" = 1'-0"

2/2/2024 10:47:11 AM Project Status



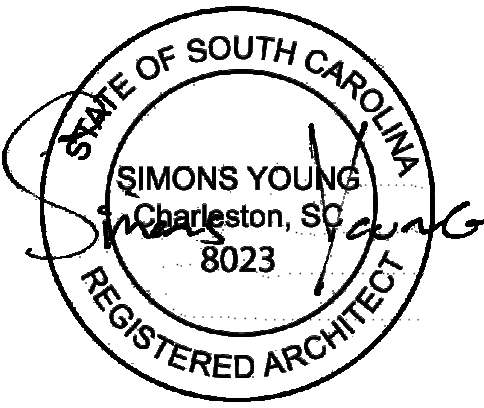
1 Exterior Elevation - North
1/2" = 1'-0"

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West Elevation

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A204

Scale 1/2" = 1'-0"



1 West
1/2" = 1'-0"

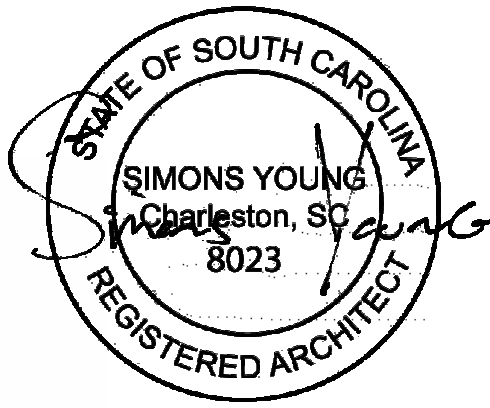
CURRENT:

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West Elevation

Project number	18401
Date	10.06.2023
Drawn by	SC
Checked by	SY

A204

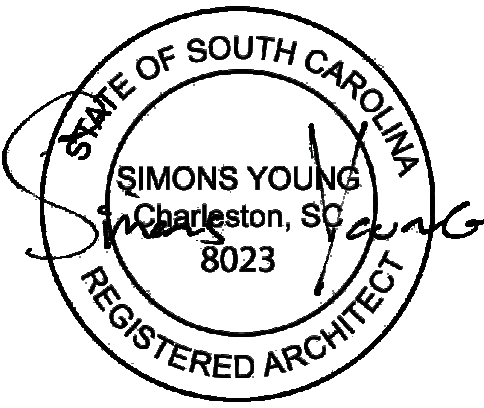
Scale 1/2" = 1'-0"



1 West
1/2" = 1'-0"



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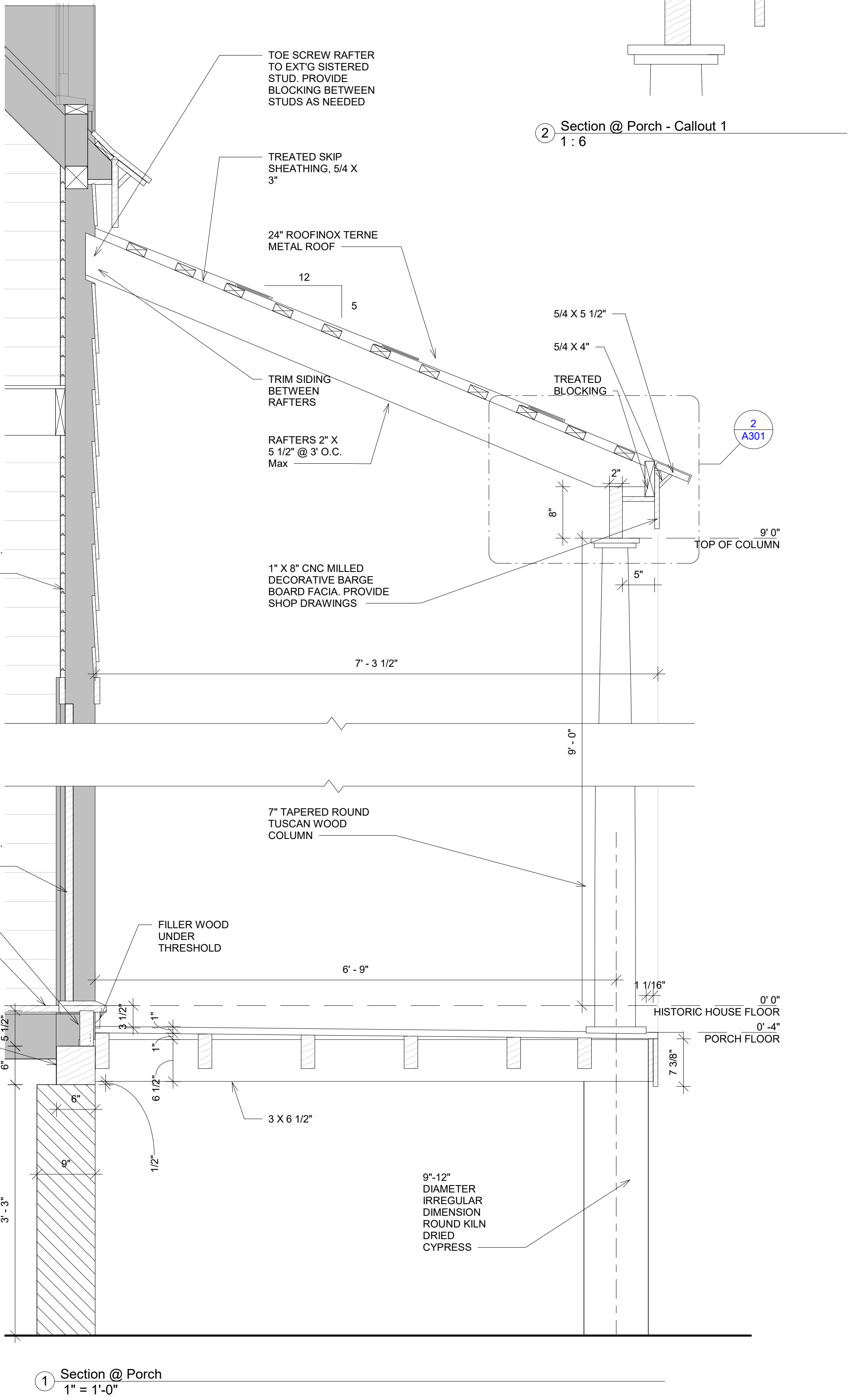
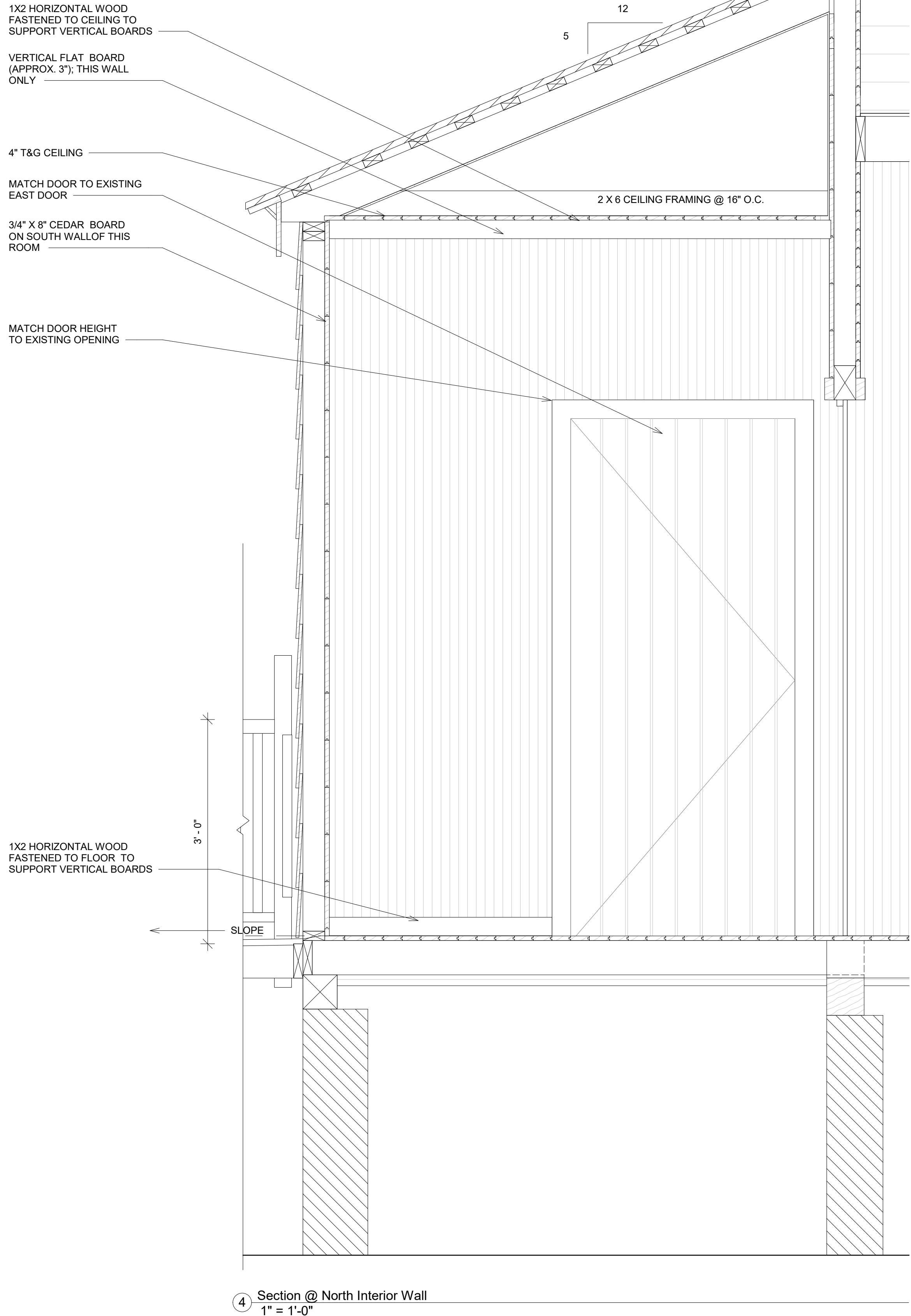
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Wall Sections

Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A301

Scale As indicated

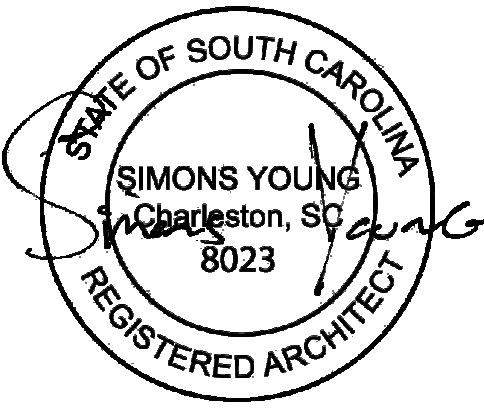


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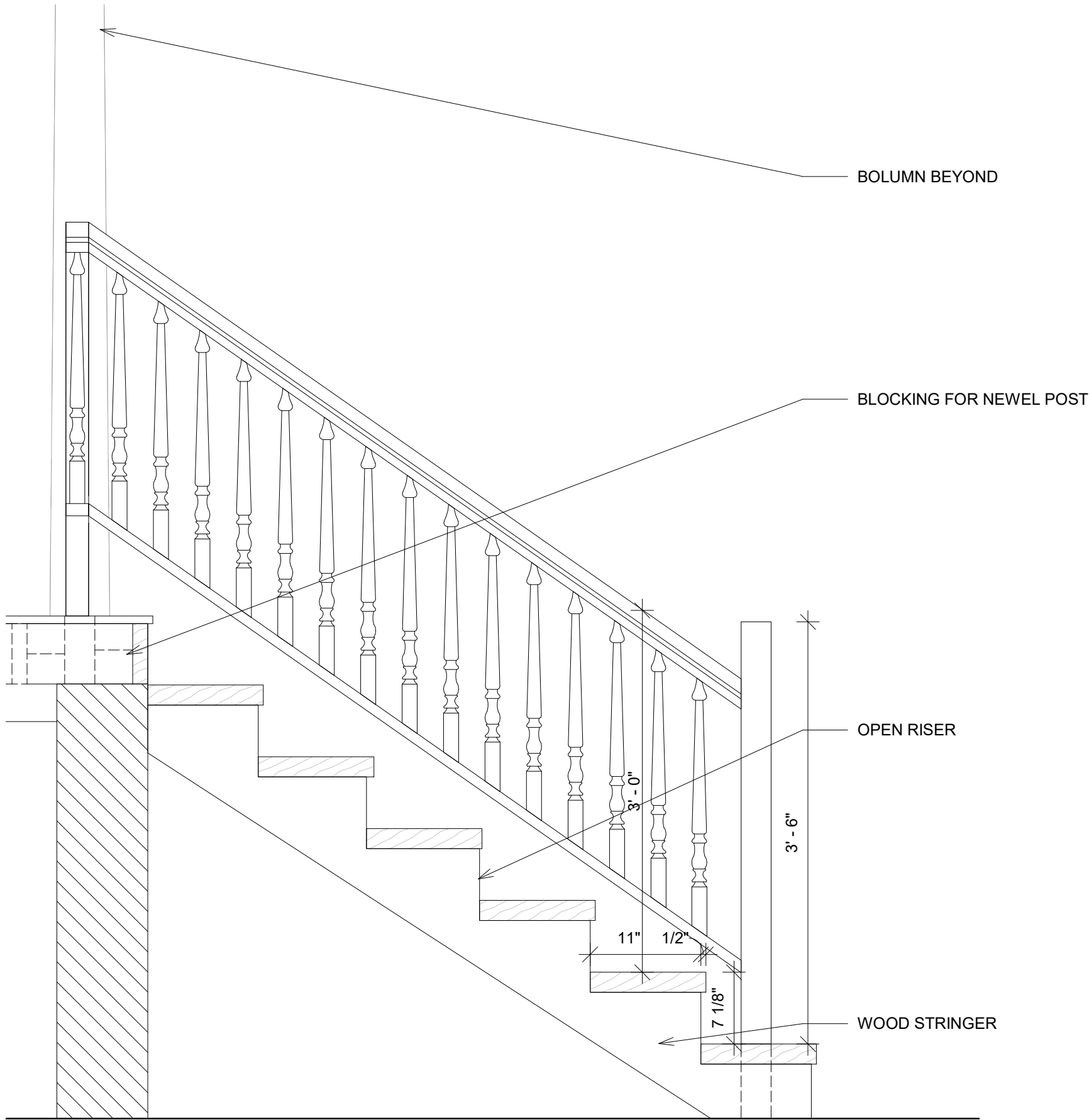
Hutchinson House

Stairs, Railings, + Details

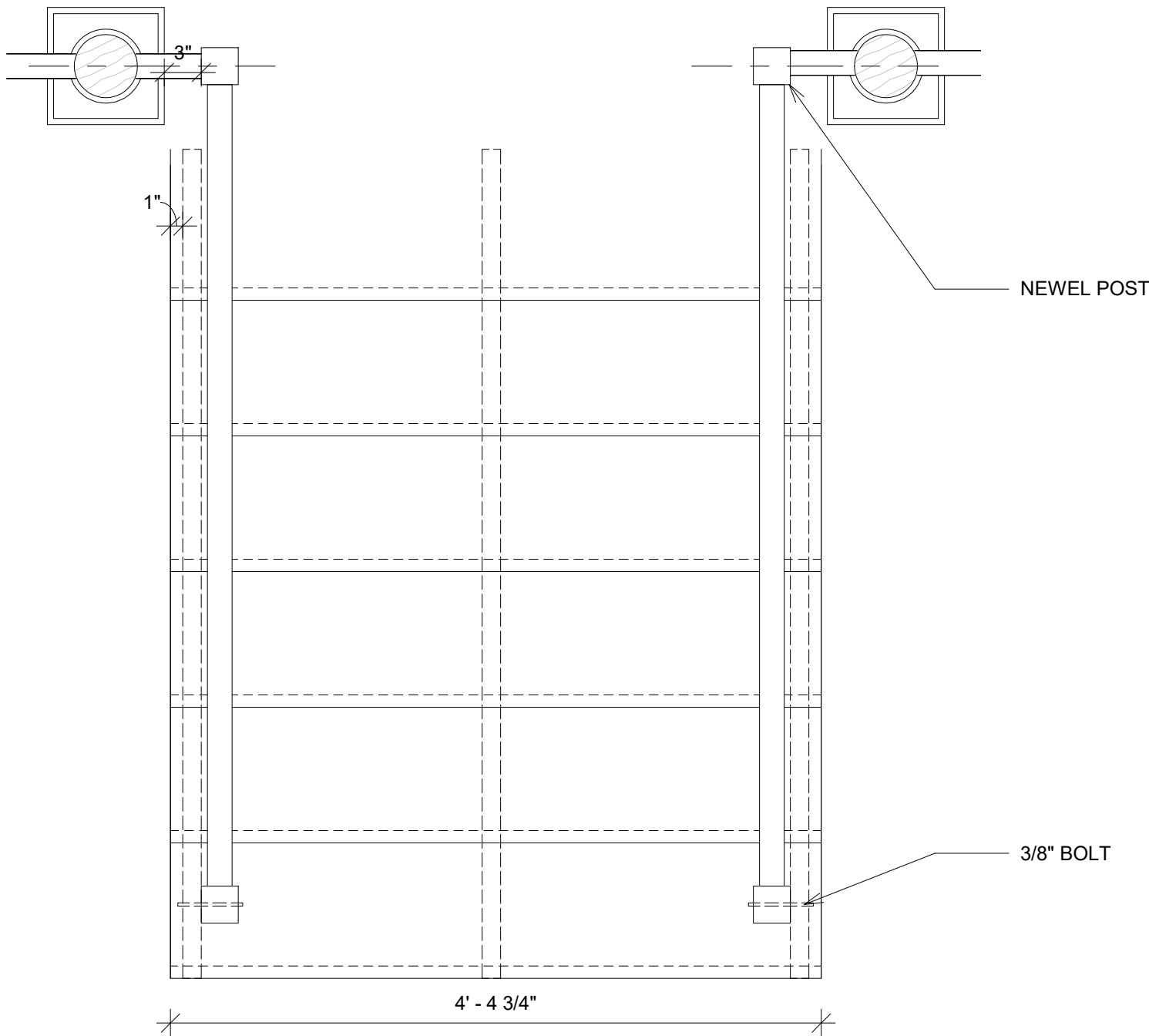
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Date	09.14.22
Drawn by	SC
Checked by	SY

A320

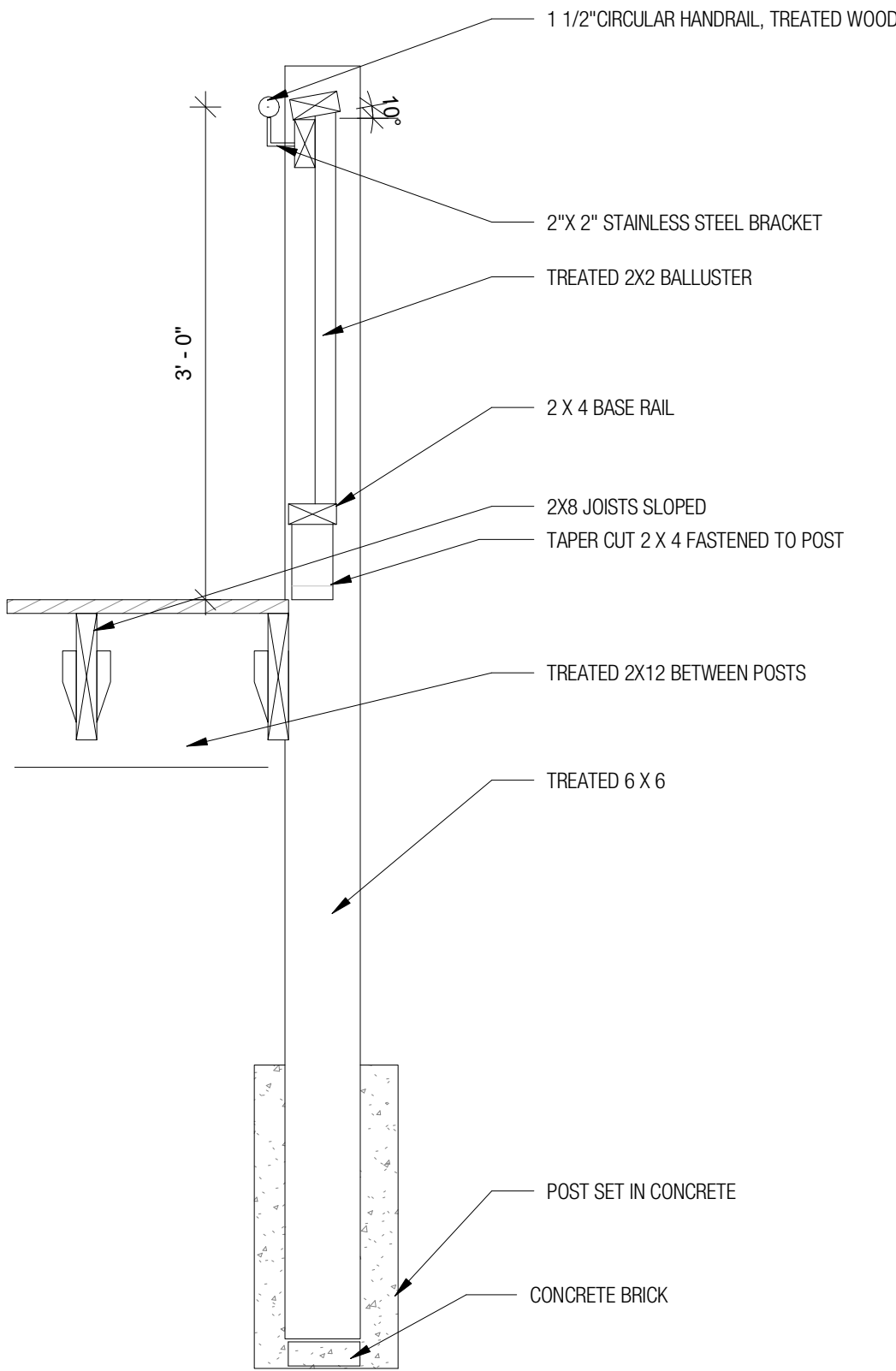
Scale As indicated



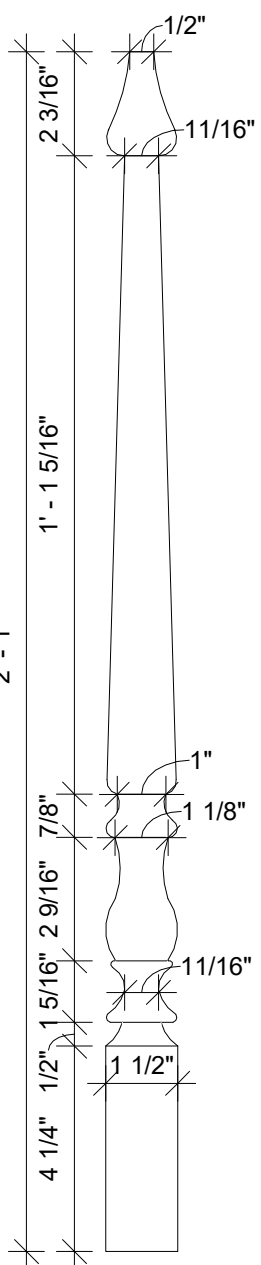
1 South Stair Section
1" = 1'-0"



2 South Stair Detail
1" = 1'-0"

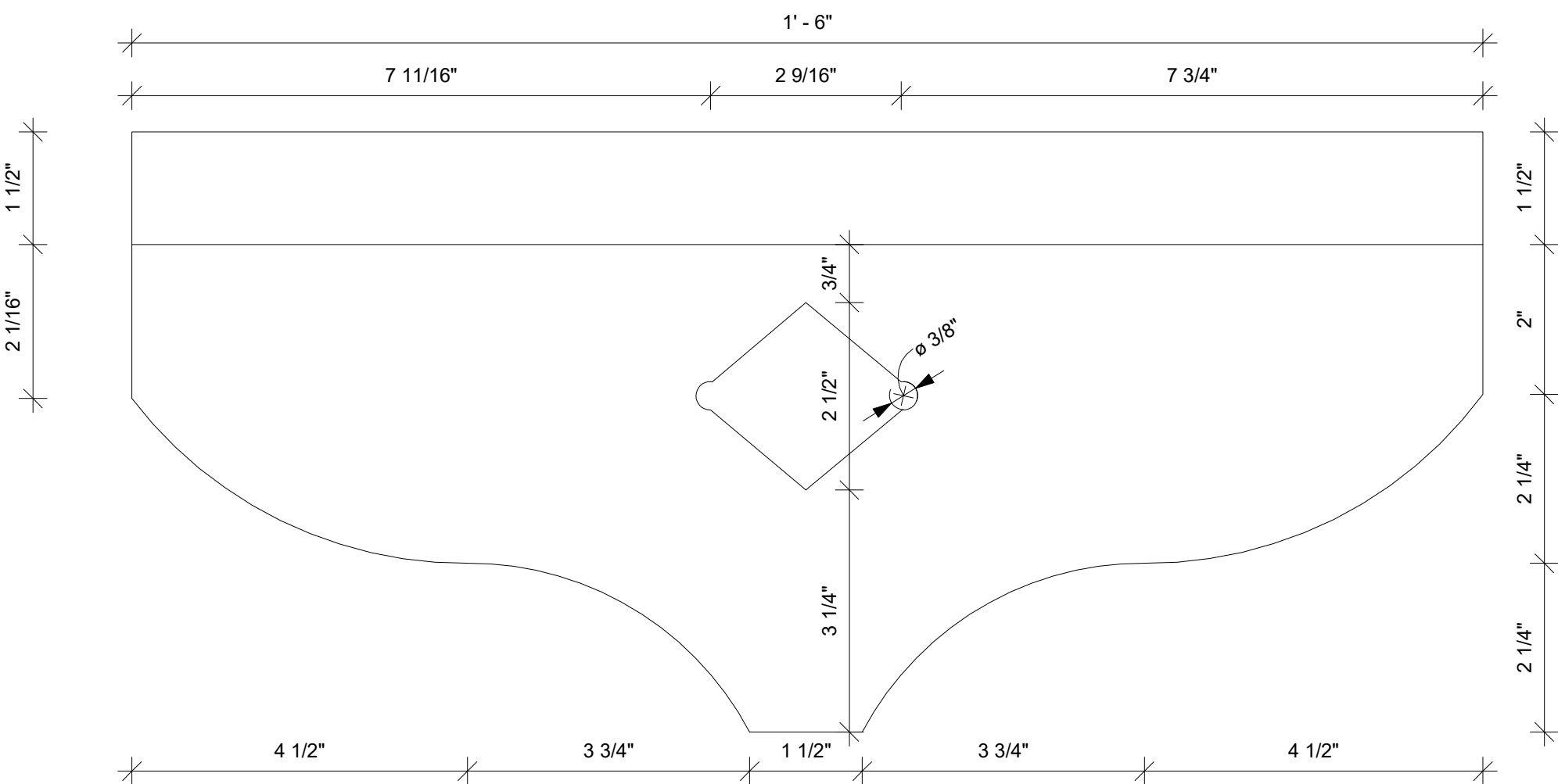


3 Ramp Section Detail
1" = 1'-0"



4 Baluster Profile
3" = 1'-0"

SHEET NOTE: CONTRACTOR
SUBMIT SHOP DRAWINGS
BEFORE FABRICATION.
ARCHITECT TO PROVIDE CAD
FILES FOR 20'
NON-REPETITIVE SECTION

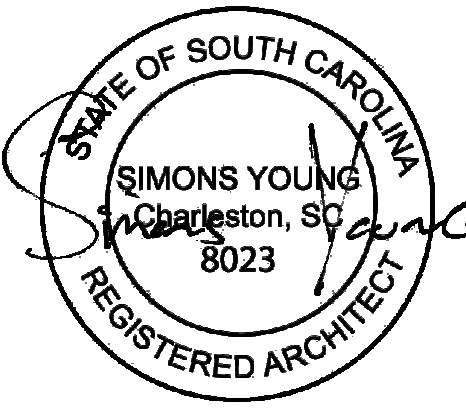
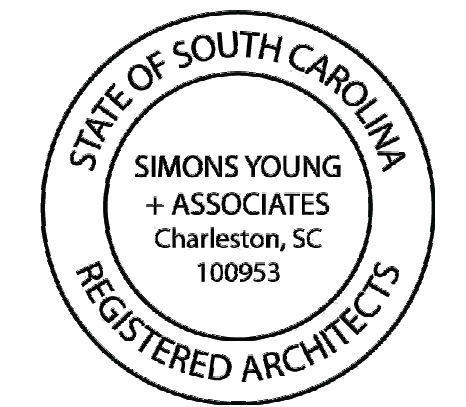


5 Barge Board Profile
6" = 1'-0"

HAND-CUT, OR CNC. FILE PROVIDED BY ARCHITECT.
INTENT IS TO SHOW HAND CRAFTED VARIATION IN THE RESTORATION OF THE BARGE BOARD.
15' OF ORIGINAL BOARD EXISTING, REPAIR AND REINSTALL ON EAST SIDE OF HOUSE NEAR ORIGINAL SIDING. ALL OTHER BARGE BAORD IS TO BE FABRICATED



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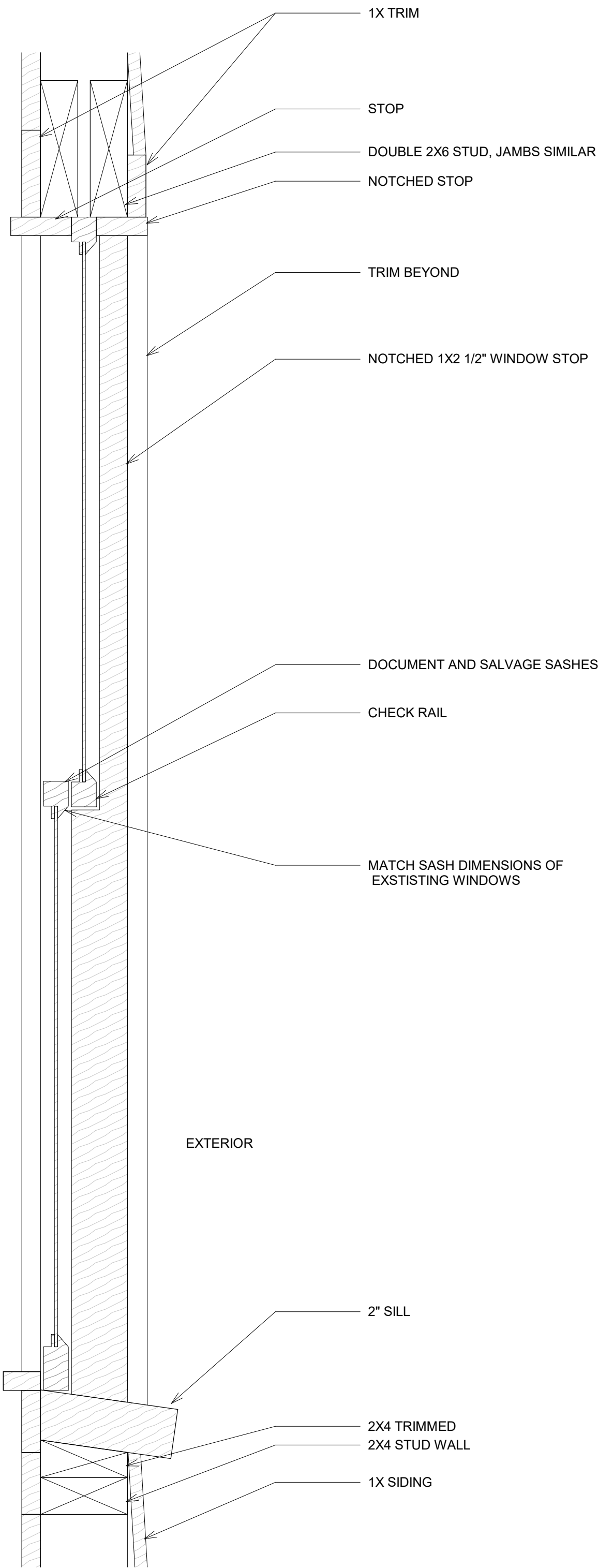
Hutchinson House

Window + Door Schedule

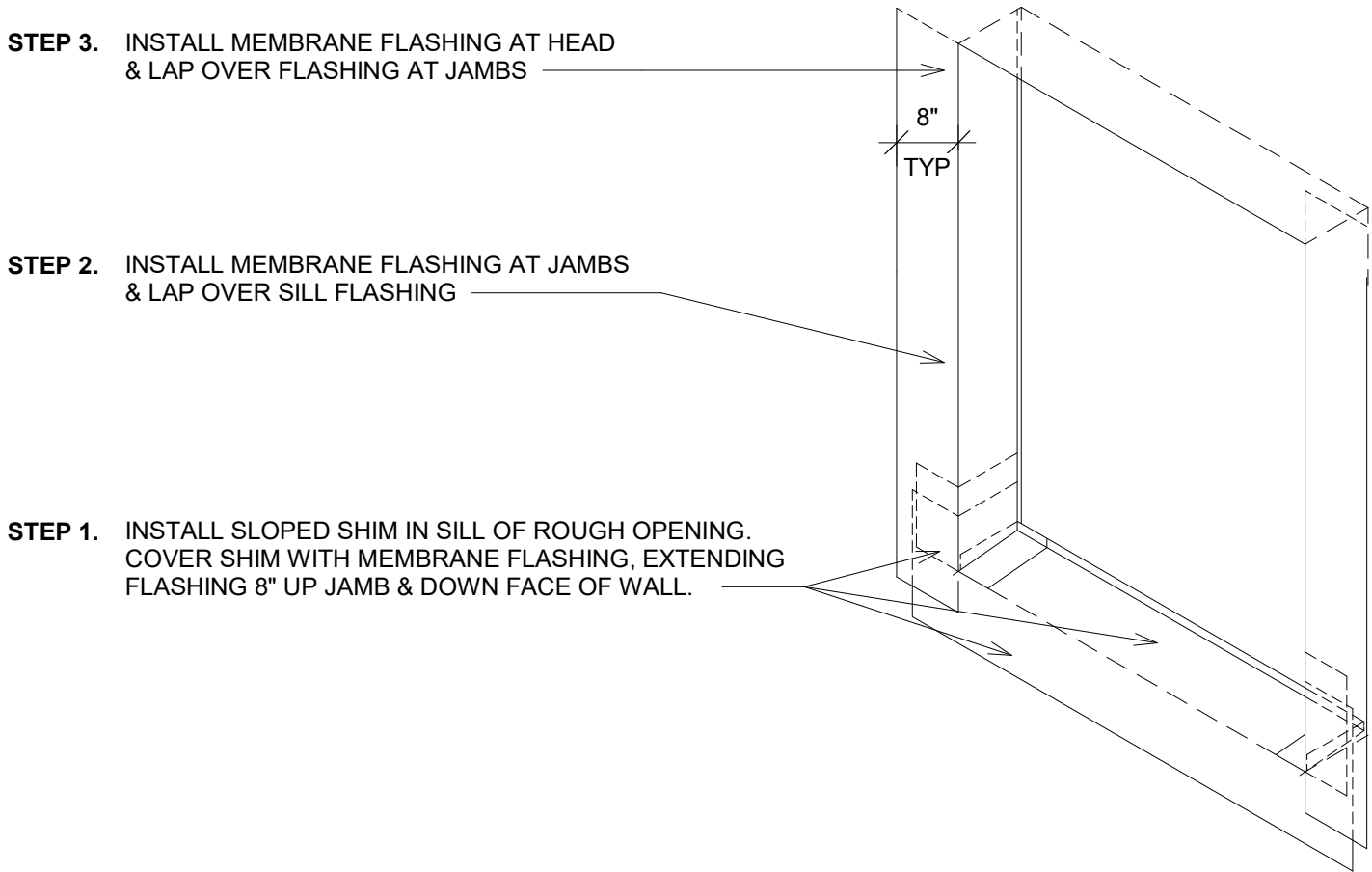
Project number	18401
Date	09.14.22
Drawn by	SC
Checked by	SY

A601

Scale As indicated



1 Window Detail
3" = 1'-0"



2 Flashing Detail
1/2" = 1'-0"

Door Schedule				
Mark	Width	Height	Phase Created	Comments
1	3' - 0"	7' - 0"	New Construction	4-PANEL
2	3' - 0"	7' - 0"	New Construction	4-PANEL
3	3' - 0"	7' - 0"	New Construction	4-PANEL
4	2' - 6"	7' - 0"	New Construction	BOARD AND BATTEN DOOR

* SEE INTERIOR DRAWINGS FOR INTERIOR DOORS

Window Schedule				
Mark	Width	Height	Phase Created	Comments
1	2' - 3"	3' - 10 1/2"	New Construction	TO MATCH EXISTING
2	2' - 3"	3' - 10 1/2"	New Construction	TO MATCH EXISTING
3	2' - 3"	3' - 10 1/2"	New Construction	TO MATCH EXISTING
4	2' - 3"	3' - 10 1/2"	New Construction	TO MATCH EXISTING

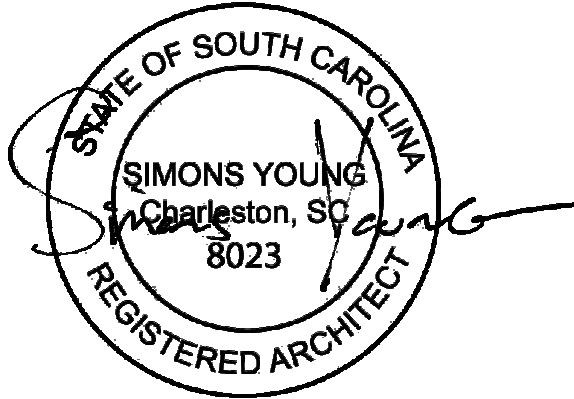
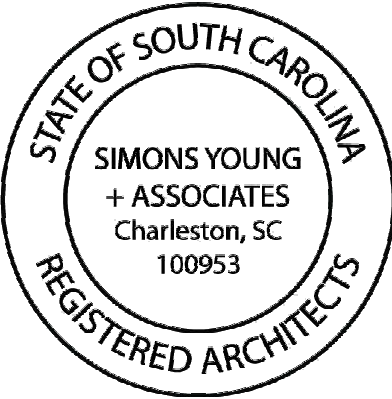


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Hutchinson House

Exterior Photographs

Project number	18401
Date	09.14.22
Drawn by	SC
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A900

Scale

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HUTCHINSON
HOUSE PORCH

GENERAL NOTES

Project number	
Date	8/18/2022
Drawn by	LGC
Checked by	JMM

S001

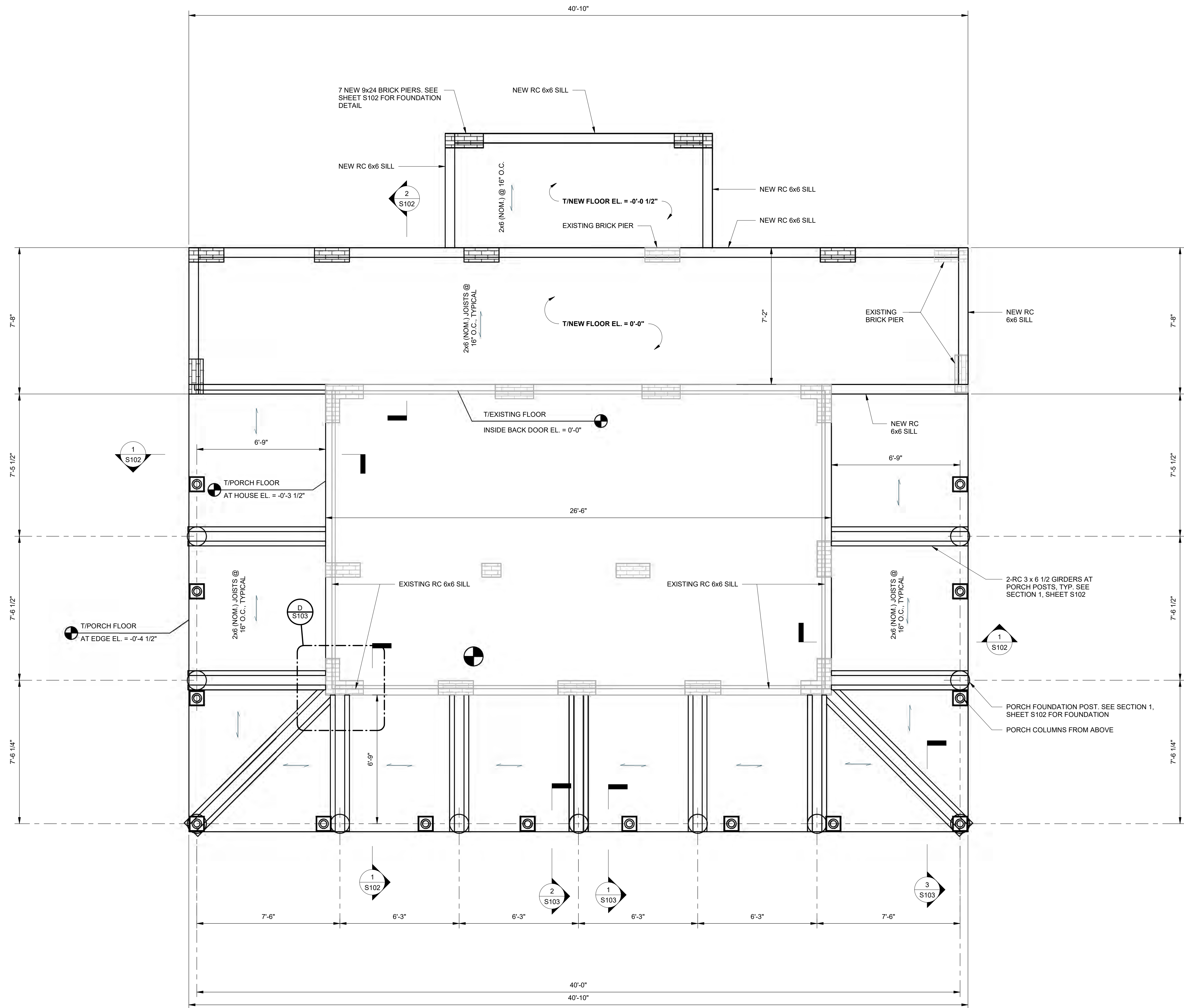
Scale

GENERAL STRUCTURAL NOTES

1. THE STRUCTURAL INTENT OF THIS PROJECT IS TO PROVIDE TO THE MAIN BODY OF THE HOUSE A REASONABLE LIVE LOAD CAPACITY TO THE SECOND FLOOR (40 PSF WITH MAX LIVE LOAD JOIST DEFLECTIONS OF L/360), WHERE ITS CAPACITY WHEN THE HOUSE WAS REPAIRED IN 2020 WAS MARGINAL. THIS NOMINAL AMOUNT OF LIVE LOAD DOES NOT AFFECT OTHER STRUCTURAL COMPONENTS OF THE HOUSE OR FOUNDATION. (LIVE LOAD CAPACITY OF EXISTING FIRST FLOOR IS 40 PSF MINIMUM). THE PROJECT SCOPE PRINCIPALLY INCLUDES RESTORING A WRAP AROUND PORCH ON THREE SIDES OF THE HOUSE AND RESTORING AN ADDITION ONTO TO THE NORTH SIDE OF THE HOUSE. CONSTRUCTION METHODS, AND SIZES OF STRUCTURAL MEMBERS HAVE PURPOSELY BEEN CLOSELY MATCHED WITH THE MAIN BODY OF THE HOUSE, AND PHOTOGRAPHS OF THE HOUSE WHEN THE PORCH AND ADDITION WERE IN PLACE.
2. THE SCOPE OF THE 2020 REPAIR OF THE MAIN BODY OF THE HOUSE WAS DESCRIBED ON THE STRUCTURAL DRAWINGS AS: THE CONDITION OF THE WOOD FRAMING GENERALLY WITHIN ONE FOOT OF THE FACE OF EXTERIOR WALL ENVELOPE IS SEVERELY DETERIORATED, REQUIRING SISTERING OF RAFTERS, STUDS, FLOOR JOISTS, AND ON ONE SIDE A NEW SILL. THREE BRICK MASONRY PIERS NEED TO BE DISASSEMBLED AND REBUILT IN KIND AND REPAIRS TO THE PIERS TO REMAIN ARE REQUIRED. IN ADDITION, THE NORTH WALL OF THE HOUSE HAS SUFFERED DUE TO SEVERE DETERIORATION AND CRUSHING OF THE SILL, AND IN OTHER PLACES THAT SILL IS MISSING, RESULTING IN A GENERAL DEFLECTION OF THE ROOF, BOTH FLOORS AND THE WALL TO A LOW POINT NEAR MID-LENGTH OF THE WALL. WE ARE ASKING FOR THE NORTH WALL TO BE LEVELED, ALONG WITH THE ROOF AND FLOORS IN THIS AREA. A METHOD OF DOING THIS HAS BEEN PROPOSED ON THE DRAWINGS. **ALL OF THIS WORK WAS DONE IN 2020.**
3. DURING CONSTRUCTION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL STABILITY OF THE BUILDING, AND ANY ADDITIONAL SHORING THAT IS REQUIRED SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS. OVERALL APPROXIMATE DIMENSIONS HAVE BEEN GIVEN ON THE DRAWINGS.
5. CONDITIONS FOUND BY THE GENERAL CONTRACTOR NOT NOTED ON THE DRAWINGS THAT IN THEIR VIEW REQUIRE FURTHER OR REVISED DETAILING SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

MATERIAL SPECIFICATIONS

1. CONCRETE FOR NEW PIERS SHALL CONFORM TO ACI 301 AND 318 AND CAN BE SITE MIXED. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
2. NEW BRICK MASONRY PIERS SHALL BE MADE OF SALVAGED HISTORIC BRICKS OR NEW HANDMADE BRICKS MADE BY OLD CAROLINA BRICK CO. THAT MATCH THE SIZE, SHAPE, AND COLOR OF THE HISTORIC MASONRY PIERS UNDER THE MAIN BODY OF THE HOUSE. NEW BRICKS SHALL HAVE A MAXIMUM COMPRESSIVE STRENGTH OF 2500 PSI. MORTAR FOR NEW PIERS SHALL BE TYPE O. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS. MASONRY CEMENT SHALL NOT BE USED.
3. LUMBER SIZES NOTED FOR EXISTING COMPONENTS ARE ACTUAL DIMENSIONS. LUMBER SIZES NOTED FOR NEW COMPONENTS ARE NOMINAL DIMENSIONED LUMBER NOTED AS (NOM) OR FULL SIZE ROUGH CUT DIMENSION LUMBER NOTED AS (RC). LUMBER NOTED AS LVL SHALL BE LAMINATED VENEER LUMBER MANUFACTURED BY WEYERHAEUSER.
4. ALL NEW LUMBER, OTHER THAN LVL'S, SHALL BE PRESERVATIVE TREATED MEETING AWPA STANDARD UC4A.
5. ALL NEW LUMBER SHALL BE SYP NO. 1 KILN-DRIED AFTER TREATMENT.
6. NEW IRREGULAR DIAMETER (9 TO 12 INCHES) CEDAR POSTS SHALL BE KILN-DRIED. THE EMBEDDED BOTTOMS OF POSTS SHALL BE TREATED WITH COPPER NAPHTHENATE.
7. ALL STRUCTURAL STEEL SHAPES AND THREADED RODS SHALL CONFORM TO ASTM A36 AND SHALL BE HOT-DIPPED GALVANIZED.
8. ALL SCREW FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG TIE. SCREWS FOR ALL FIRST- FLOOR FASTENINGS AND OPEN PORCH FASTENINGS SHALL BE SIMPSON SDWS TIMBER SCREWS SS (STAINLESS STEEL). ALL OTHER SCREWS SHALL BE SIMPSON SDWS TIMBER SCREWS.



PORCH FRAMING PLAN
3/8" = 1'-0"

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**HUTCHINSON
HOUSE PORCH**

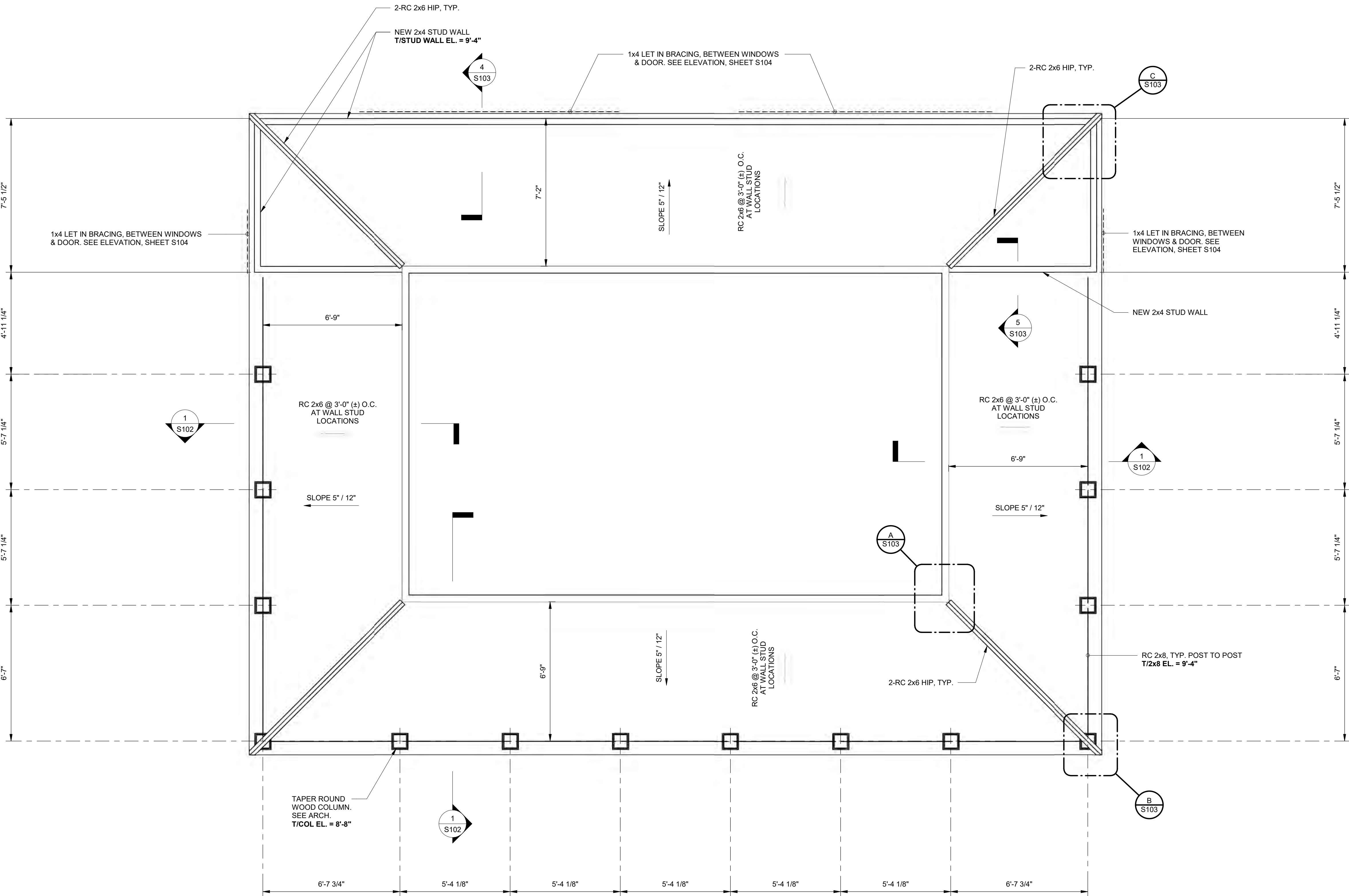
PORCH FRAMING PLAN

Project number	
Date	8/3/2022
Drawn by	LGC
Checked by	JMM

S100

Scale	3/8" = 1'-0"
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8/4/2022 1:59:35 PM



ROOF FRAMING PLAN
3/8" = 1'-0"

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HUTCHINSON HOUSE PORCH

PORCH FRAMING SECTION

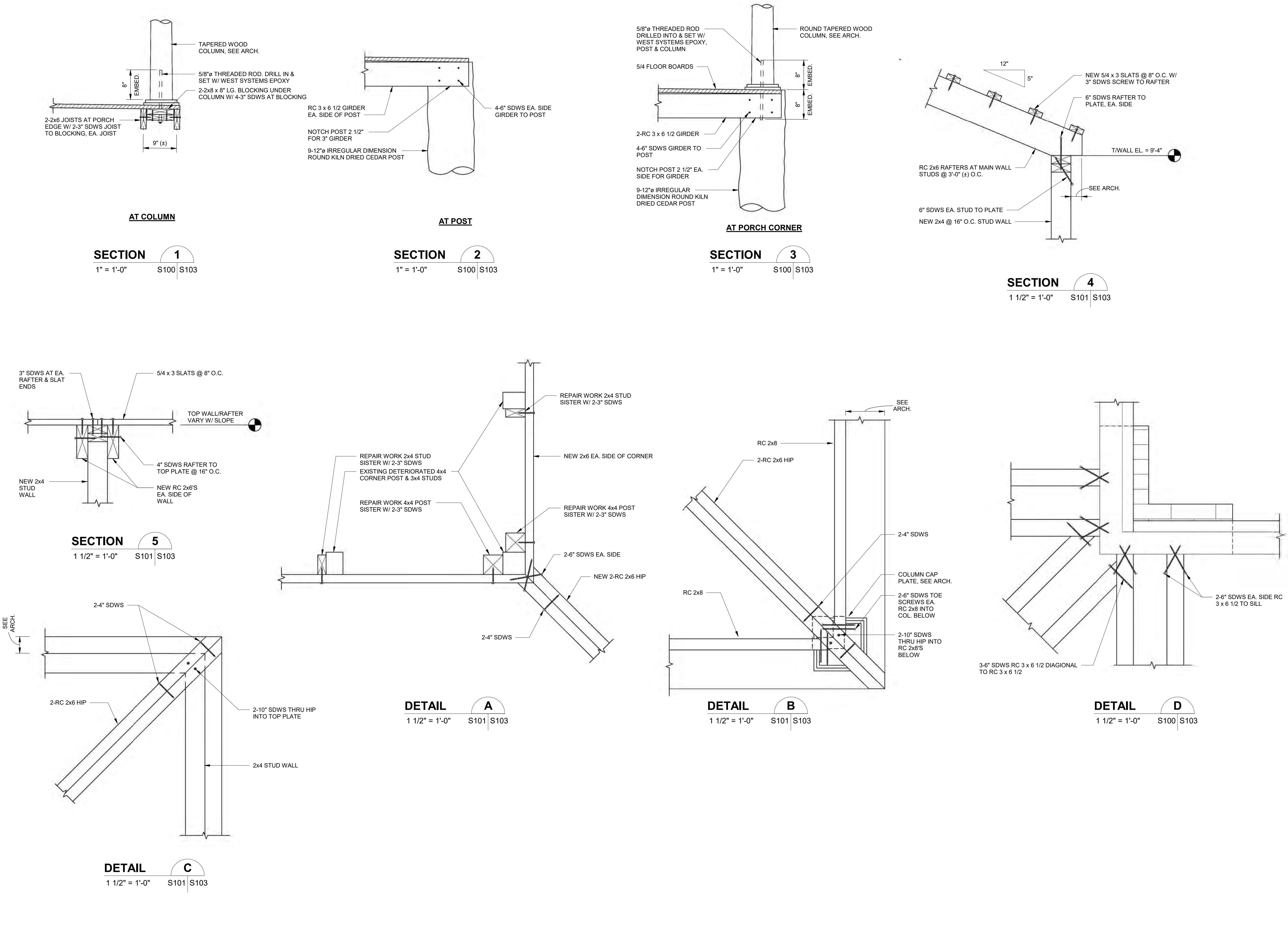
Project number	
Date	8/3/2022
Drawn by	LGC
Checked by	JMM

S102

Scale As indicated



NOTE: SHIM NEW JOISTS AT EXISTING SILL AS REQUIRED TO MATCH EXISTING FLOOR.



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HUTCHINSON HOUSE PORCH

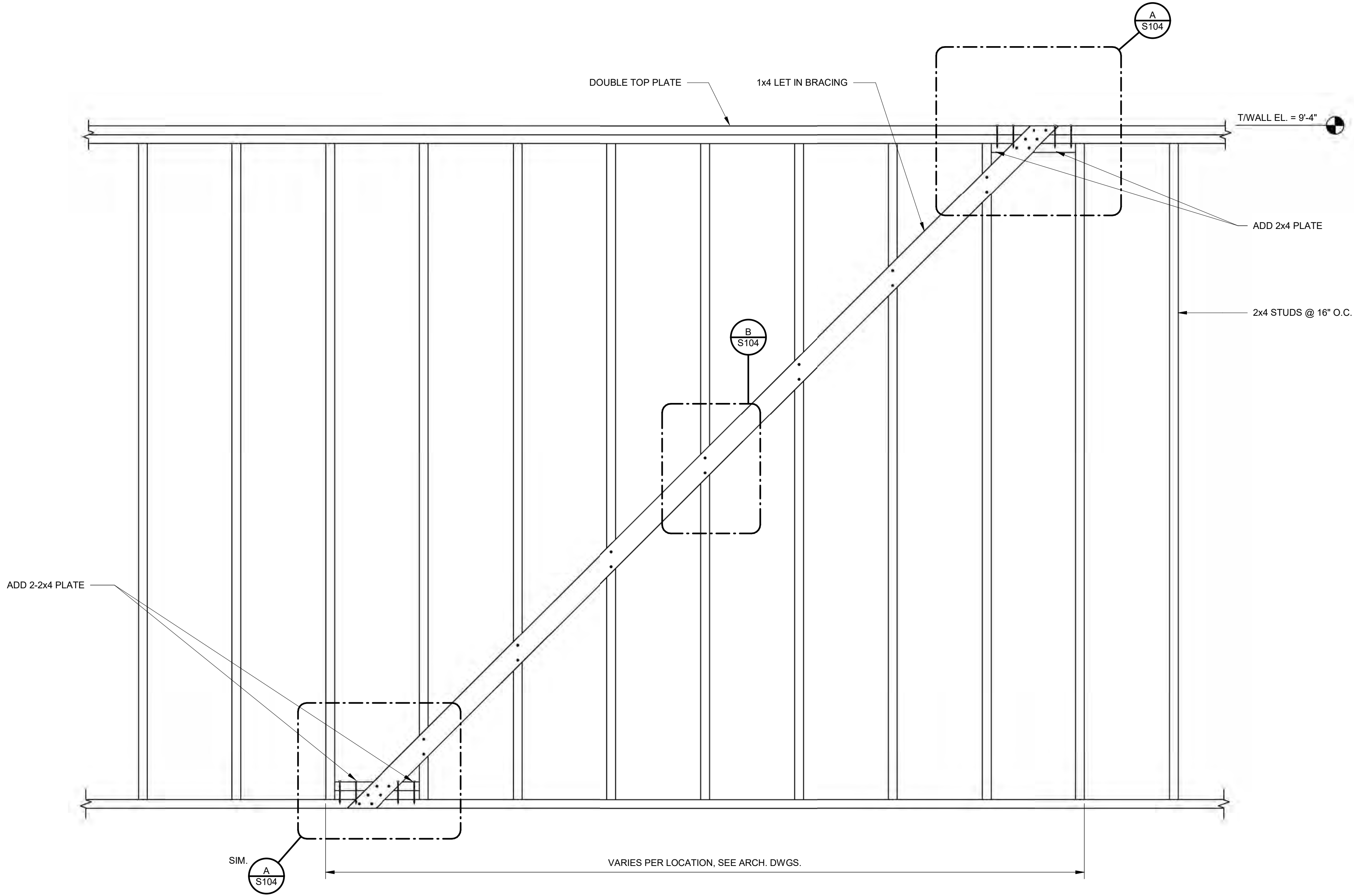
FRAMING DETAILS

Project number	
Date	8/3/2022
Drawn by	LGC
Checked by	JMM

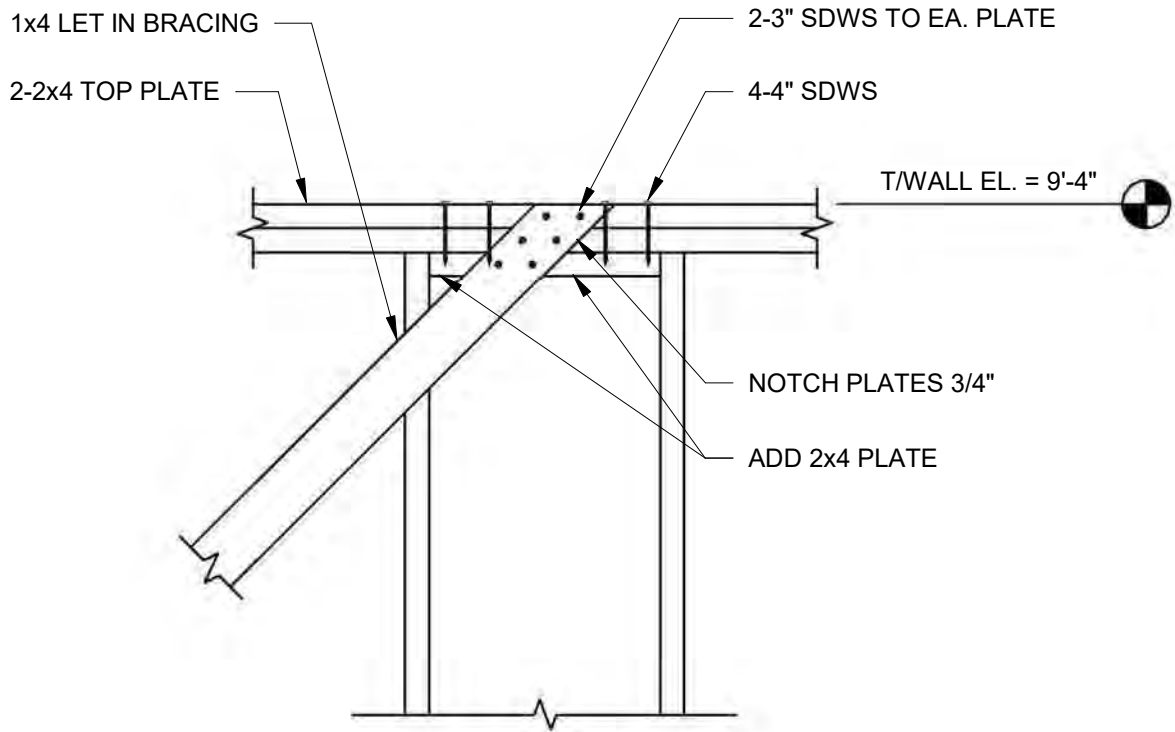
S103

ScaleAs indicated

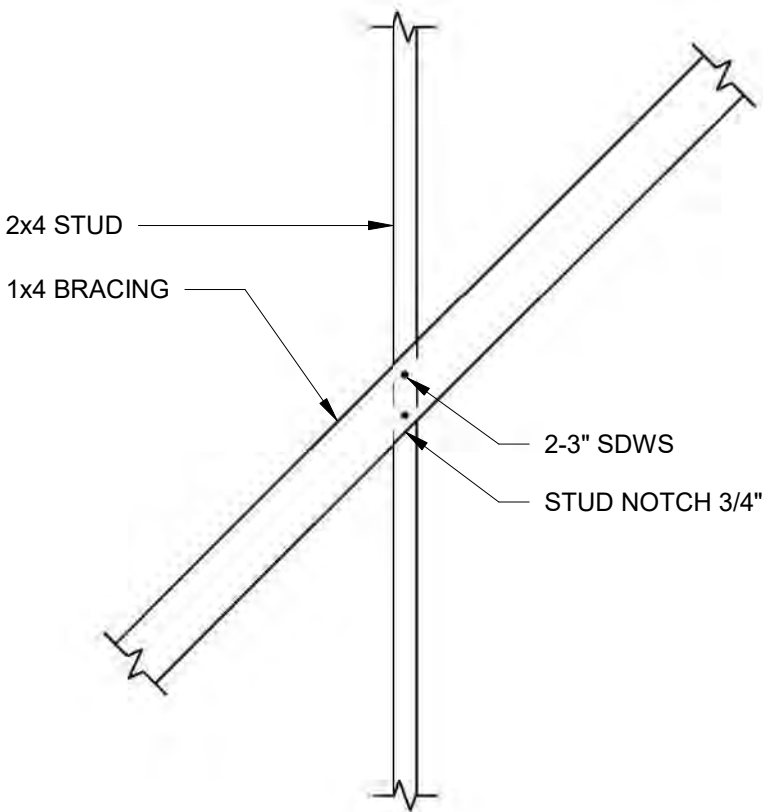
8/4/2022 1:55:10 PM



WALL BRACING ELEVATION
1" = 1'-0"



DETAIL A
1" = 1'-0" S104 S104



DETAIL B
1" = 1'-0" S104 S104

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HOUSE PORCH**

**WALL BRACING
ELEVATION & DETAILS**

Project number	
Date	8/3/2022
Drawn by	LGC
Checked by	JMM

S104

Scale 1" = 1'-0"

8/4/2022 1:55:14 PM

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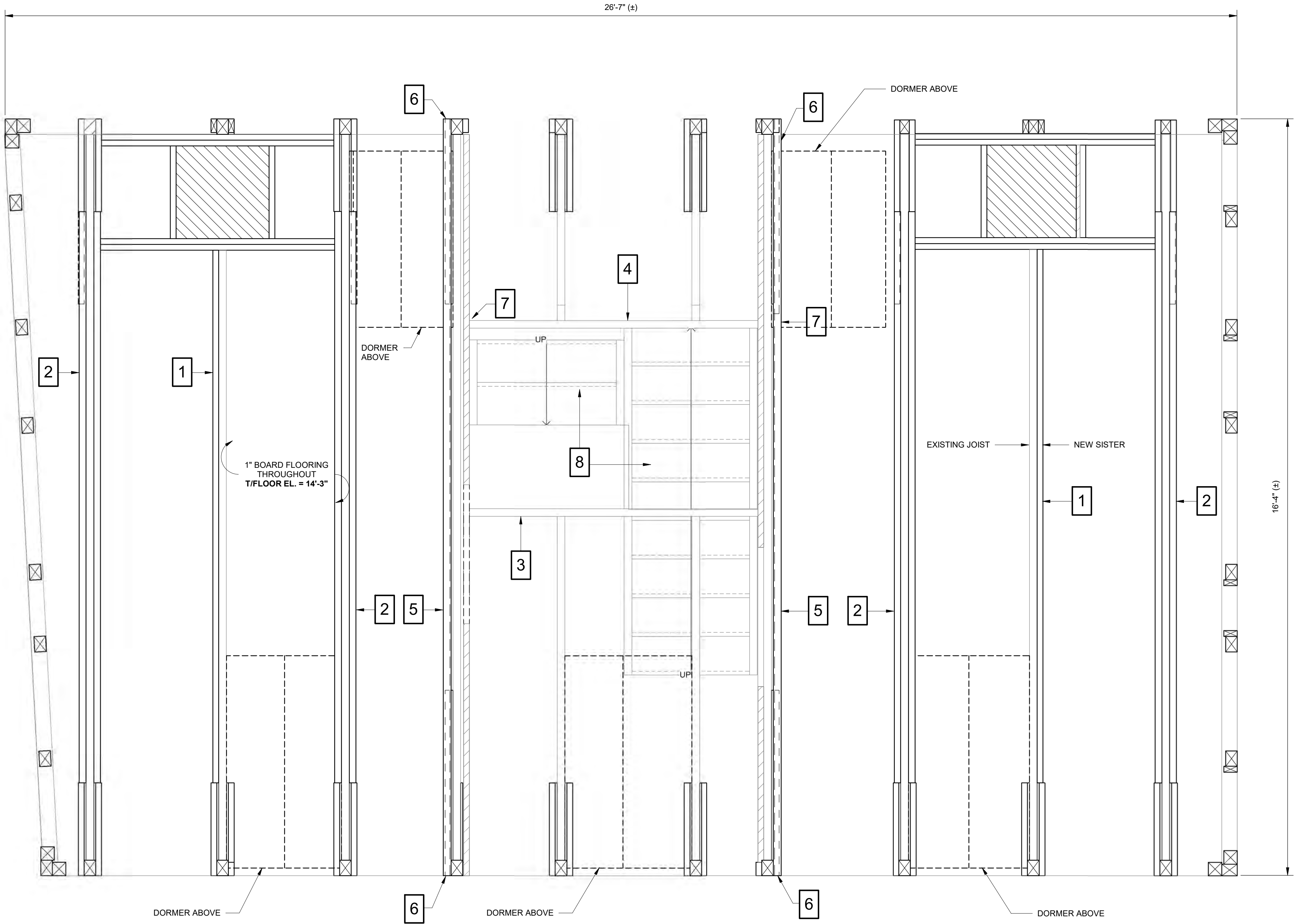
HUTCHINSON
HOUSE PORCH

SECOND FLOOR
FRAMING PLAN -
REQUIRED
MODIFICATIONS FOR 40
psf LIVE LOAD

Project number
Date 8/3/2022
Drawn by LGC
Checked by JMM

S105

Scale 3/4" = 1'-0"



SECOND FLOOR FRAMING PLAN - REQUIRED MODIFICATIONS FOR 40 psf ALLOWABLE LIVE LOAD CAPACITY. MAX LIVE LOAD JOIST DEFLECTION = L/360
3/4" = 1'-0"

NOTE: REFERENCE HUTCHINSON HOUSE SECOND FLOOR FRAMING PLAN DATED 3/6/2022

SEE PLAN FOR LOCATIONS

1. SISTER JOIST IN FRONT OF CHIMNEY W/ A NEW 2x8.
2. CUT BACK 4'-0" SISTER AT NORTH WALL TO 2'-0" LONG. SISTER EA. SIDE OF EXISTING JOIST W/ A 1 3/4 x 7 1/4 LVL. EXISTING 2'-0" SISTERS AT ENDS TO REMAIN.
3. SECOND FLOOR HEADER ASSUMED TO BE 2 x 7 1/2 ACTUAL (TO BE VERIFIED) IS ADEQUATE.
4. INTERMEDIATE LANDING HEADER ASSUMED TO BE A 2 x 7 1/2 ACTUAL (TO BE VERIFIED) IS ADEQUATE.
5. REMOVE 4'-0" SISTER AT EA. END. ADD STRUCTURAL STEEL C6x10.5 CHANNEL SISTER, FULL LENGTH.
6. ENSURE NEW C6 SISTER HAS FULL BEARING ON STUD SISTER BELOW.

NOTES

7. INSPECT INTERMEDIATE LANDING WOOD HANGER & CONNECTIONS TO FLOOR JOIST ABOVE. SIZE & CONNECTIONS NOT KNOWN AT PRESENT.
8. INSPECT STAIR STRINGERS. SIZE & NUMBER NOT KNOWN AT PRESENT.

SISTER FASTENING SCHEDULE

2x8 TO EXISTING	3" SDWS @ 8" O.C.
1 3/4 x 7 1/4 LVL TO EXISTING	4" SDWS @ 8" O.C.
C6x10.5 CHANNEL TO EXISTING	2 ROWS OF 3" SDWS @ 8" O.C. 3" APART

Certificate of Historic Appropriateness Application:

HIST-02-24-00108

- Case History**
- Presentation**
- Application**

CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-04-24-00108
CASE HISTORY

Historic Preservation Commission: May 15, 2024

CASE INFORMATION

Location: 1765 Folly Road

Parcel Identification: TMS 334-10-00-056

Council District: 8 - Boykin

Property Size: 0.5 acres

Application: Certificate of Historic Appropriateness request to repair existing Single-Family Dwelling Unit; demolish existing accessory structures; and construct a new detached garage on TMS 334-10-00-056, within the Beefield Community Historic District.

Parcel Information and Area Description: The subject property is zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contains a Single-Family Dwelling Unit. The Future Land Use designation is Neighborhood Commercial. Surrounding properties to the North, South, and West are also zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contain either Single-Family Dwelling Units or are undeveloped. The property to the East, across Folly Road, is also zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contains a Single-Family Dwelling Unit. The subject property is in the AE-10 flood zone.

Historic Significance: On May 24, 2022, Charleston County adopted the Beefield Community as a locally designated historic district. The district covers roughly 56.9 acres.

The Beefield Community is located on the southeast side of James Island and is included within a larger African American settlement community known as Grimball Farm. The Grimball Farm Community was identified in the 2016 *Charleston County Cultural Resources Survey Update* as a remnant freedmen community. While National Register listing eligibility is in need of additional research, this is a community amongst many that contribute to the history of the Lowcountry.

This area is also a significant source of military history where two very important Civil War battles occurred: the 1862 Battle of Secessionville and an 1864 battle known as the 3rd Assault on James Island. Additionally, this community was the site of Federal camps and artillery positions as Union troops were preparing to attack Fort Lamar at Secessionville, including the 54th and 55th Massachusetts Volunteer Infantry regiments and the 33rd Regiment of the United States Colored Troops. The area has been identified as a source of Civil War earthworks and extant archaeological sites that have not been studied to date.

After the conclusion of the Civil War, 150 acres known as the "Bee Tract" located south of the Grimball estate and North of Sol Legare were granted to Horace Rivers. In 1872 Sarah Rivers sold part of the Bee Tract at public auction to several African American families, including the Greens, Richardsons, Prioleaus, Hazards, Browns, Fraisers and the Backmans. The land that was originally sold to these families has continued to be conveyed to family members up to the present day.

Certificates of Historic Appropriateness Applications in the Beefield Community Historic District:

Case Number	Status	Request	TMS Number
HIST-11-22-00067	Denied	Request for clearing/grubbing	TMS 334-05-00-082; 334-05-00-

		(both proposed and retroactive) and installation of a gravel driveway	083; 334-05-00-036; 334-05-00-081; 334-05-00-084; 334-05-00-079; 334-05-00-080; and 334-05-00-071
HIST-04-24-00108	Pending	Request to repair existing home, demolish accessory structures, and construct new detached garage	TMS 334-10-00-056

Application History

Recent Applications:

- **ZONE-01-20-07694:** Zoning Permit approval to establish home occupation “Johnson Painting Co.” issued January 30, 2020.
- **ZONE-01-24-18386:** Zoning Permit approval to demolish interior drywall and flooring issued January 17, 2024.

Applicant's Project Description

“The subject property is located at 1765 Folly Road and is part of the Beefield Community Historic District. Proposed projects on this property include renovations to the existing home and a detached garage. Existing home renovations include removal of rear “lean to” shed additions, roof shingle replacement, and necessary wood rot repairs. Detached garage includes a single story, residential style, 30’x40’ building with 4/12 slope roof to complement the home.”

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-4.B, Applicability, states, “A Certificate of Historic Appropriateness is required: a. Before the issuance of Zoning Permits for the demolition, alteration, modification, addition to, new construction, rehabilitation, relocation, or restoration to a Historic Property including construction of new structures in Historic Districts; and b. Before Subdivision Plat and Site Plan Review approvals for properties located within 300 feet of a Historic Property.”

Sec. 20-4.F, Approval Criteria, states “In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider: a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration; b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District; c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.”

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-4.F:

1. In granting a Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:
 - a. The historic, cultural, and architectural significance of the district, site, building, structure, or object under consideration;

Applicant Response: *"Within Grimball Farm Community, Beefield Community is a part of an African American settlement. This district was the location of two very important Civil War battles. First was the 1864 Battle of Successionville. Followed shortly thereafter by the 1864 3rd assault on James Island. The site also housed federal camps and artillery positions. After the Civil War ended, the "Bee Tract" area was granted to Mr. Horace Rivers. The buildings on this site have no known historic, cultural, or architectural significance."*

Staff Response: The Beefield Community Historic District was adopted by County Council on May 24, 2022, in a community-wide effort to protect the historic African American settlement community's character and history tied to the land.

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *"The proposed existing home improvements and new detached garage should only positively impact the surrounding properties. Surrounding structures are varied in style and current state of preservation while having no known historical significance."*

Staff Response: The applicant is proposing in-kind replacement of roof shingles on the existing Single-Family Dwelling Unit, along with the removal of "lean-tos" that were added onto the rear of the home. These two changes will have no impact upon other structures in the Historic District. Additionally, the applicant is proposing a new single-story 1,200 square-foot detached garage to be constructed to the side of the existing home. With the proposed new construction, the lot coverage would be 29.7%. Many homes within the Beefield Community have garages or similar accessory structures on their residential lots.

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: *"While the existing home does not have historical significance, the proposed renovations include restoration of the building back to its original brick ranch form by eliminating wood "shed" or "lean to" additions previously added. The proposed detached garage is kept complimentary in design to the existing home in scale, shape, and roof slope. These proposed projects preserve the historical significance of the overall Beefield Community Historical District."*

Staff Response: The applicant has demonstrated that although the home itself is not known as a significant historic structure, the proposed renovations seek to bring the house back to its original form. Additionally, the applicant has demonstrated that the design of the proposed new accessory structure seeks to complement the character of the existing brick ranch home.

d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *"This proposed project being kept in scale with the surrounding homes demonstrates consistency with prevailing patterns. This and surrounding lots are relatively large with low density."*

Staff Response: This request is consistent with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Beefield Community Historic District.

e. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation

Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: "Not applicable."

Staff Response: Because there is no application for Site Plan Review, this criterion is not applicable.

Because the approval criteria have been satisfied, Staff recommends approval with the following condition:

1. Ensure that no additional runoff from the subject property onto adjacent properties will occur, through the utilization of gutters, French drains, swales, etc.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-4.F, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-4.F.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *Case # HIST-04-24-00108: Certificate of Historic Appropriateness request to repair existing Single-Family Dwelling Unit; demolish existing accessory structures; and construct a new detached garage on TMS 334-10-00-056, within the Beefield Community Historic District.*

HISTORIC PRESERVATION COMMISSION MEETING: May 15, 2024

Notifications: 433 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, property owners within the Beefield Community Historic District, and individuals on the Historic Preservation Commission and James Island Interested Parties list on April 26, 2024. Additionally, the request was noticed in the Post & Courier on April 26, 2024.

Certificate of Appropriateness Request

Parcel ID: TMS 334-10-00-056

Acreage: 0.5 acres

Property Address: 1765 Folly Road

Area: James Island

Owner: Fab Folly One, LLC

Applicant: Brian Cruse

Request: Certificate of Historic Appropriateness request to repair existing Single-Family Dwelling Unit; demolish existing accessory structures; and construct a new detached garage on TMS 334-10-00-056, within the Beefield Community Historic District.

Application History

Recent Applications:

- **ZONE-01-20-07694:** Zoning Permit approval to establish home occupation “Johnson Painting Co.” issued January 30, 2020.
- **ZONE-01-24-18386:** Zoning Permit approval to demolish interior drywall and flooring issued January 17, 2024.

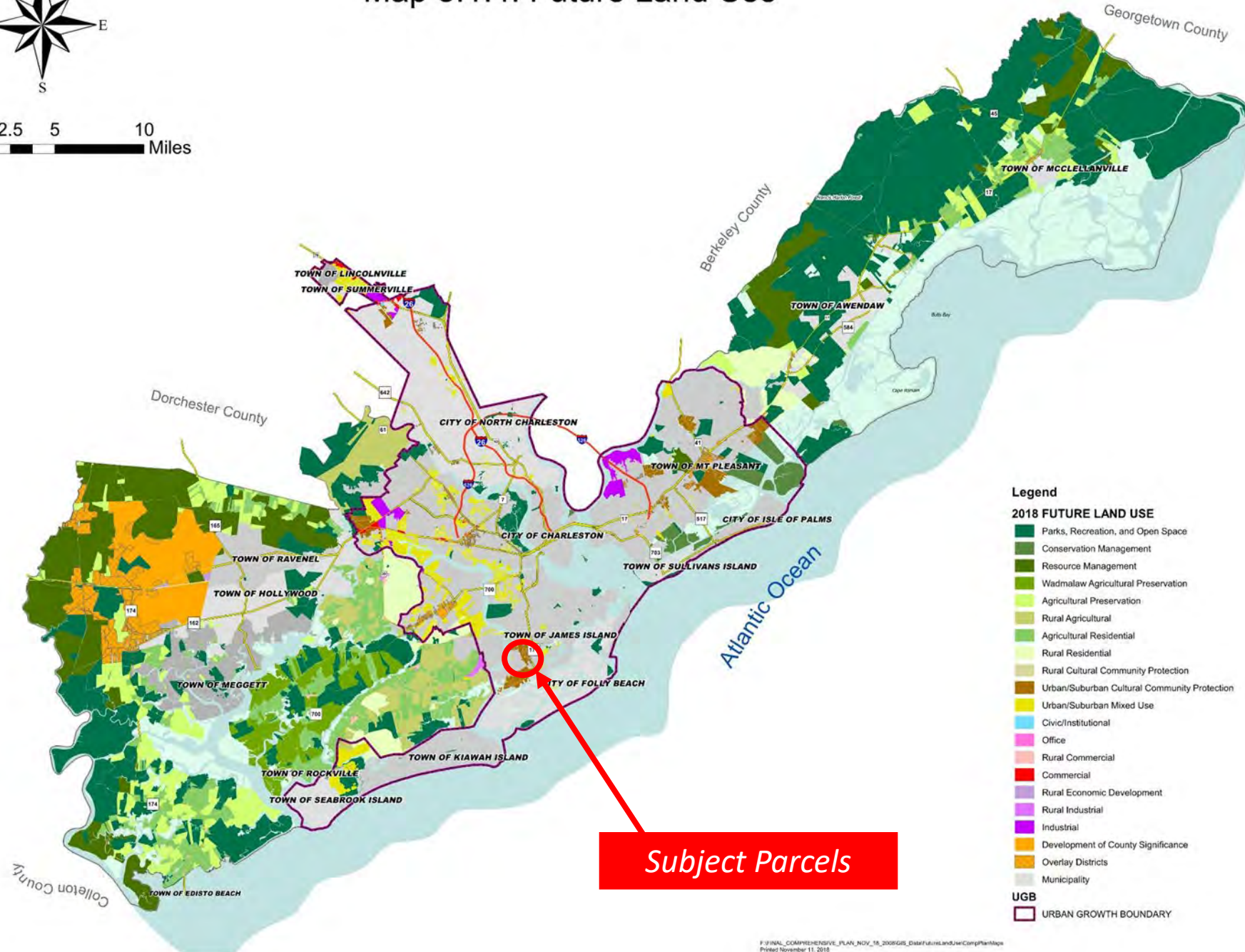
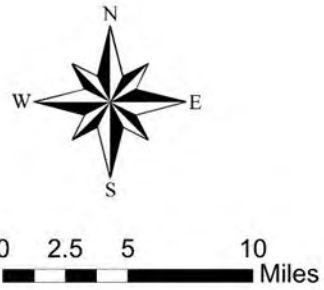
Certificates of Historic Appropriateness Applications in the Beefield Community Historic District

Case Number	Status	Request	TMS Number
HIST-11-22-00067	Denied	Request for clearing/grubbing (both proposed and retroactive) and installation of a gravel driveway	TMS 334-05-00-082; 334-05-00-083; 334-05-00-036; 334-05-00-081; 334-05-00-084; 334-05-00-079; 334-05-00-080; and 334-05-00-071
HIST-04-24-00108	Pending	Request to repair existing home, demolish accessory structures, and construct new detached garage	TMS 334-10-00-056

Applicant's Project Description

“The subject property is located at 1765 Folly Road and is part of the Beefield Community Historic District. Proposed projects on this property include renovations to the existing home and a detached garage. Existing home renovations include removal of rear “lean to” shed additions, roof shingle replacement, and necessary wood rot repairs. Detached garage includes a single story, residential style, 30’x40’ building with 4/12 slope roof to complement the home.”

Map 3.1.4: Future Land Use



Legend

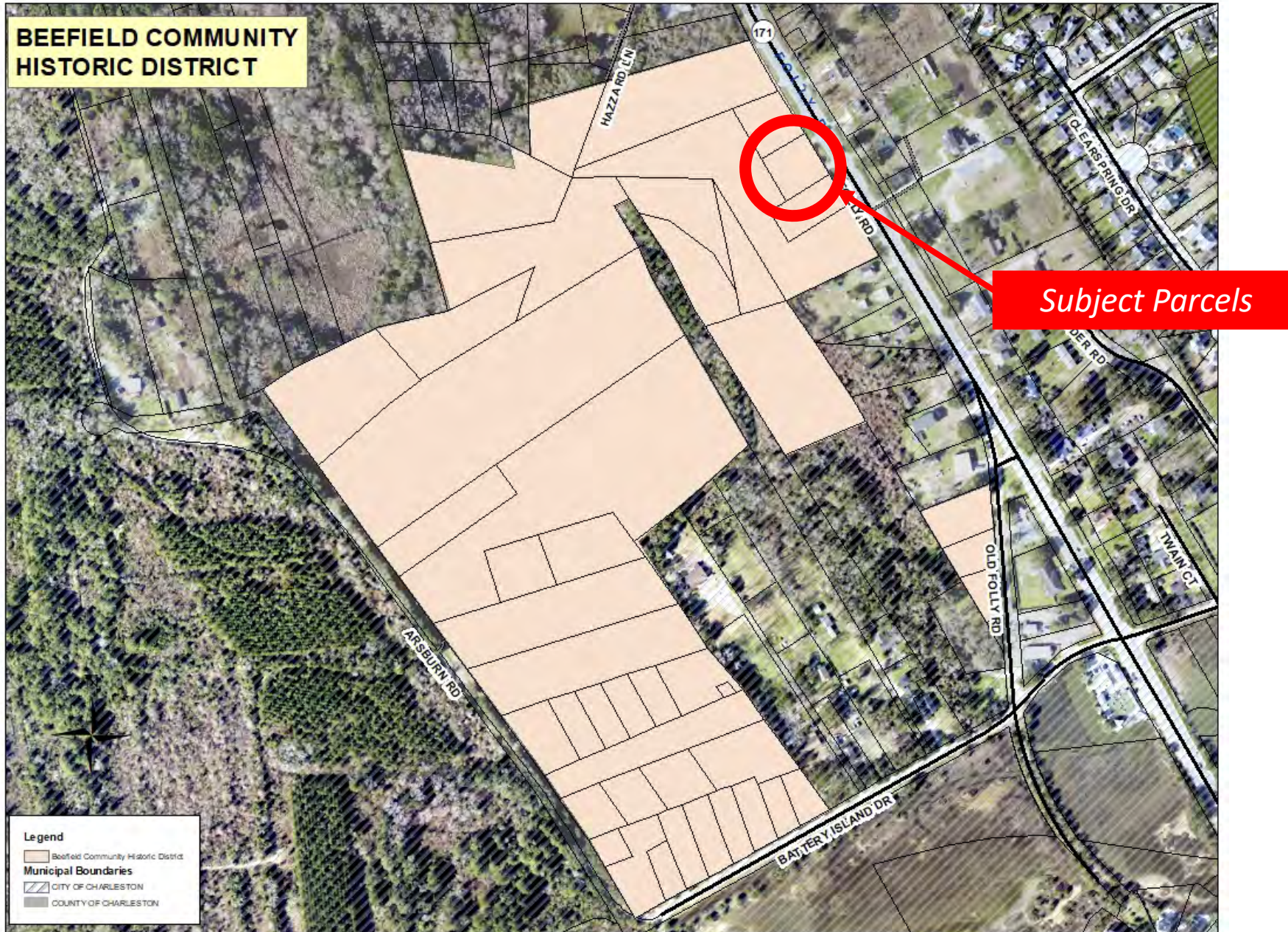
2018 FUTURE LAND USE

- Parks, Recreation, and Open Space
- Conservation Management
- Resource Management
- Wadmalaw Agricultural Preservation
- Agricultural Preservation
- Rural Agricultural
- Agricultural Residential
- Rural Residential
- Rural Cultural Community Protection
- Urban/Suburban Cultural Community Protection
- Urban/Suburban Mixed Use
- Civic/Institutional
- Office
- Rural Commercial
- Commercial
- Rural Economic Development
- Rural Industrial
- Industrial
- Development of County Significance
- Overlay Districts
- Municipality

UGB

- URBAN GROWTH BOUNDARY

Beefield Community Historic District



Beefield Community Historic Significance

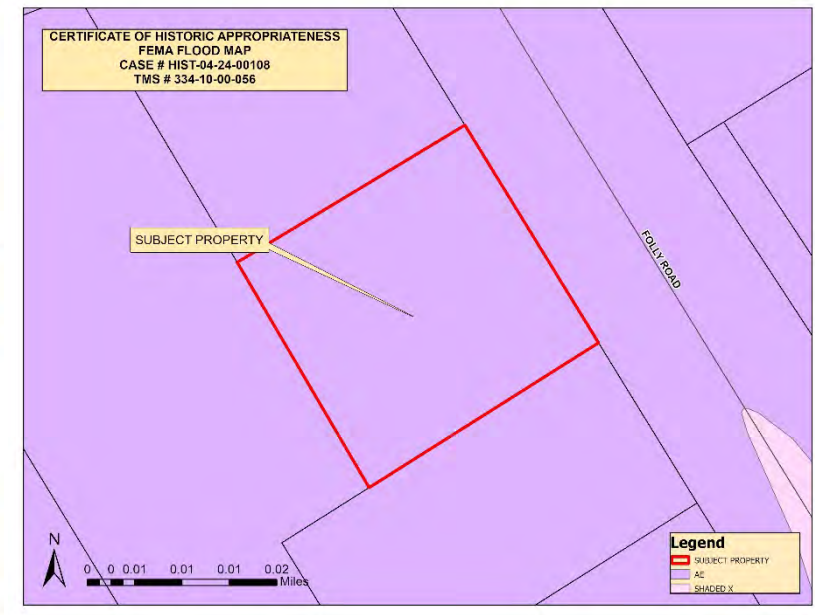
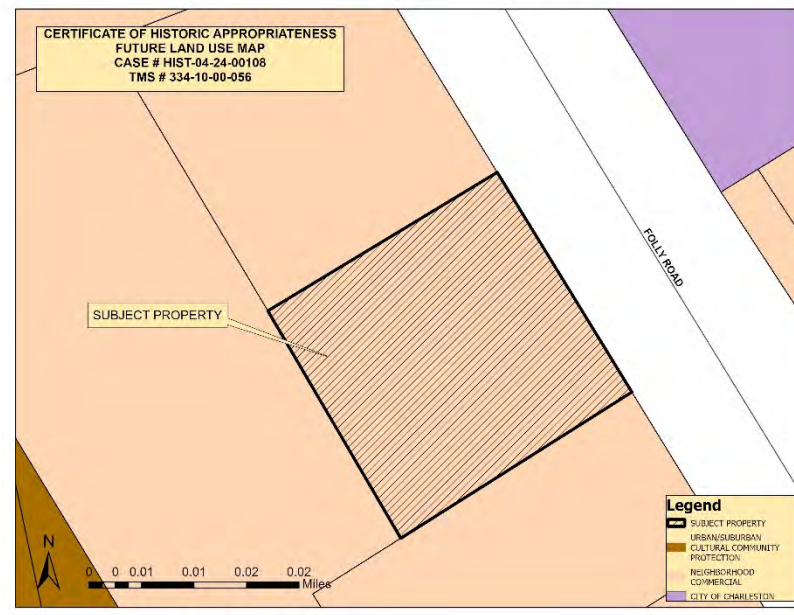
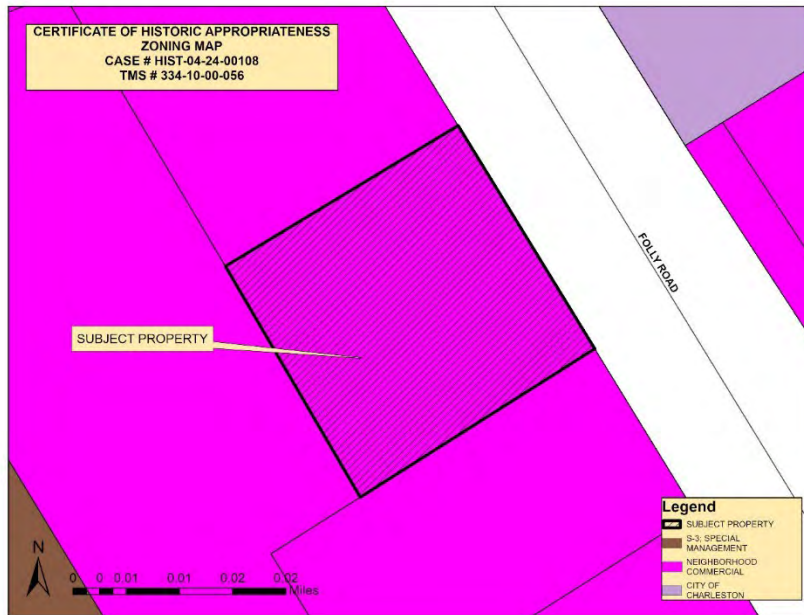
In May of 2022, Charleston County adopted the Beefield Community as a locally designated historic district. The district covers roughly 56.9 acres.

The Beefield Community is located on the southeast side of James Island and is included within a larger African American settlement community known as Grimball Farm. The Grimball Farm Community was identified in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedmen community. While National Register listing eligibility is in need of additional research, this is a community amongst many that contribute to the history of the Lowcountry.

This area is also a significant source of military history where two very important Civil War battles occurred: the 1862 Battle of Secessionville and an 1864 battle known as the 3rd Assault on James Island. Additionally, this community was the site of Federal camps and artillery positions as Union troops were preparing to attack Fort Lamar at Secessionville, including the 54th and 55th Massachusetts Volunteer Infantry regiments and the 33rd Regiment of the United States Colored Troops. The area has been identified as a source of Civil War earthworks and extant archaeological sites that have not been studied to date.

After the conclusion of the Civil War, 150 acres known as the “Bee Tract” located south of the Grimball estate and North of Sol Legare were granted to Horace Rivers. In 1872 Sarah Rivers sold part of the Bee Tract at public auction to several African American families, including the Greens, Richardsons, Prioleaus, Hazards, Browns, Fraisers and the Backmans. The land that was originally sold to these families has continued to be conveyed to family members up to the present day.

Zoning, Future Land Use, and Flood Zone



The subject property is zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contains a Single-Family Dwelling Unit. The Future Land Use designation is Neighborhood Commercial. Surrounding properties to the North, South, and West are also zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contain either Single-Family Dwelling Units or are undeveloped. The property to the East, across Folly Road, is also zoned Neighborhood Commercial within the Neighborhood Preservation Area of the Folly Road Overlay Zoning District and contains a Single-Family Dwelling Unit. The subject property is in the AE-10 flood zone.

Aerial View



Site Photos- Subject Property



TMS 334-10-00-056
1765 Folly Road



TMS 334-10-00-056
1765 Folly Road

Neighboring Properties

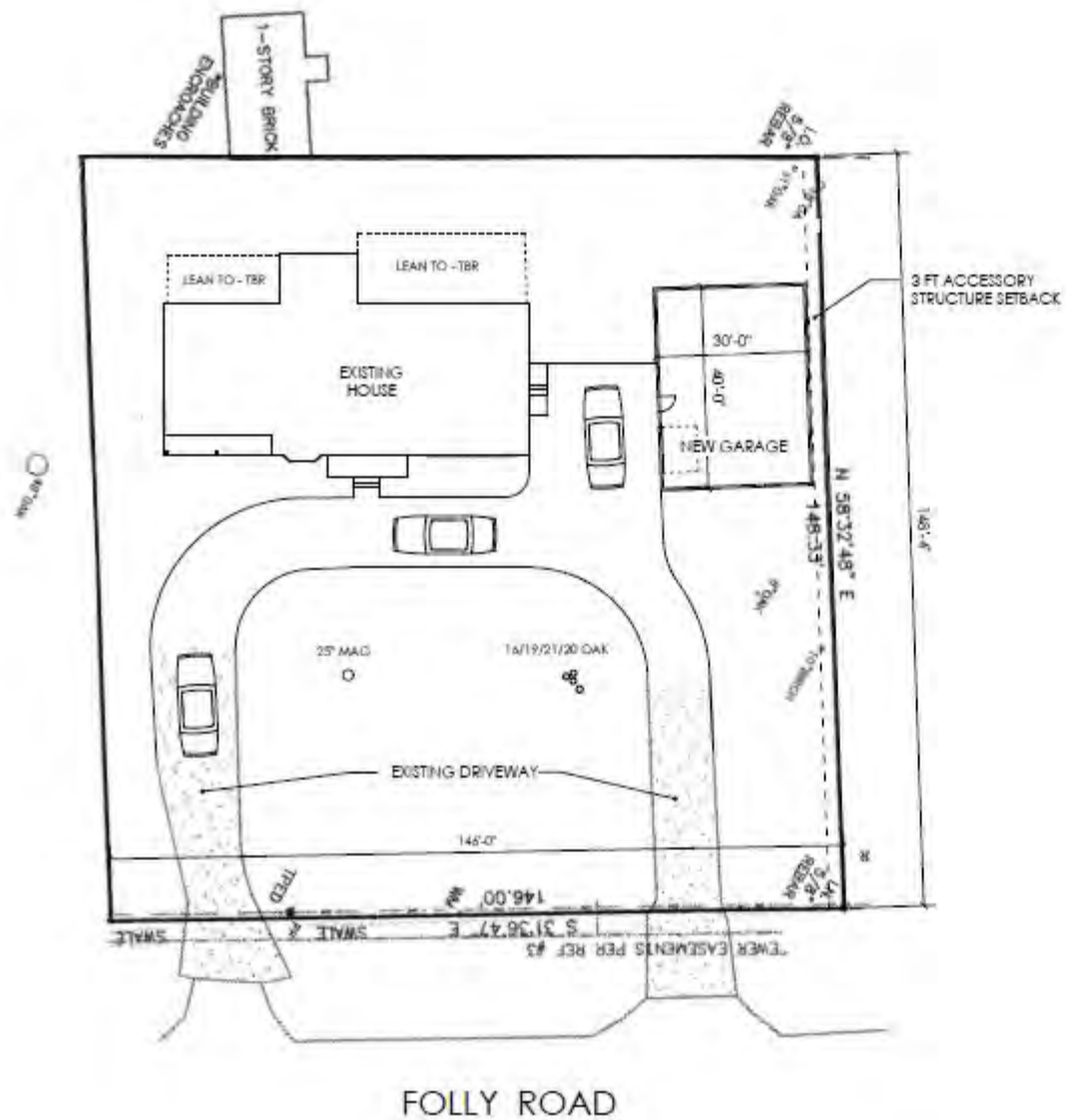


TMS 334-10-00-014
1753 Folly Road

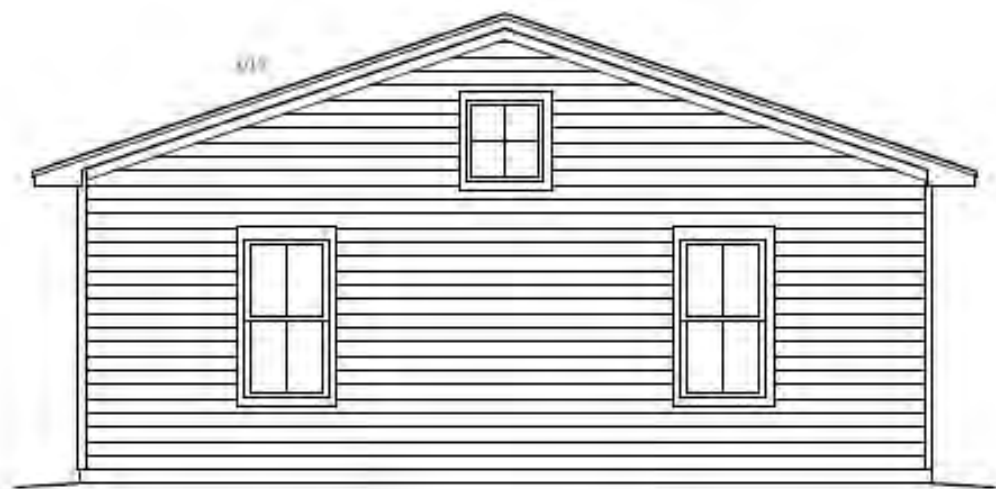


TMS 334-10-00-016
1773 Folly Road

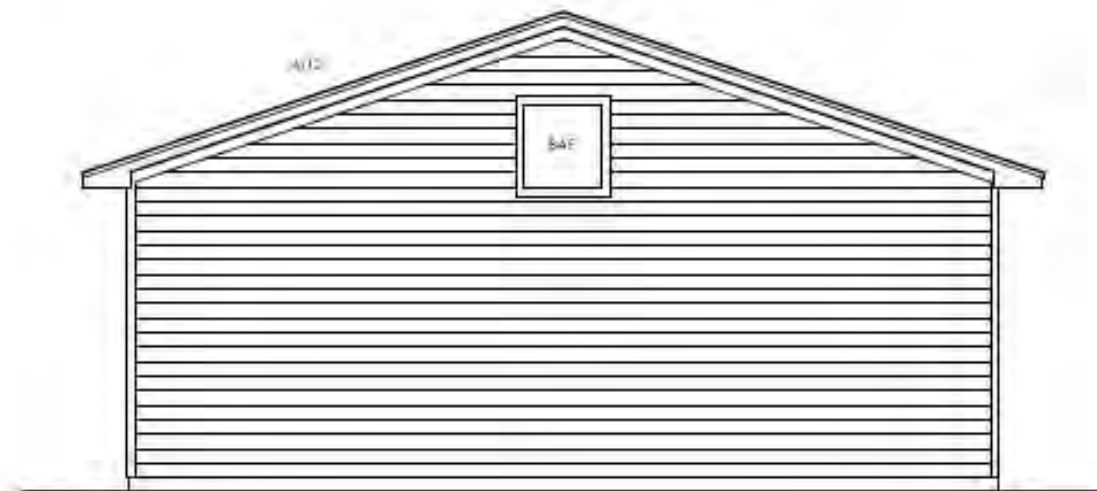
Proposed Site Plan



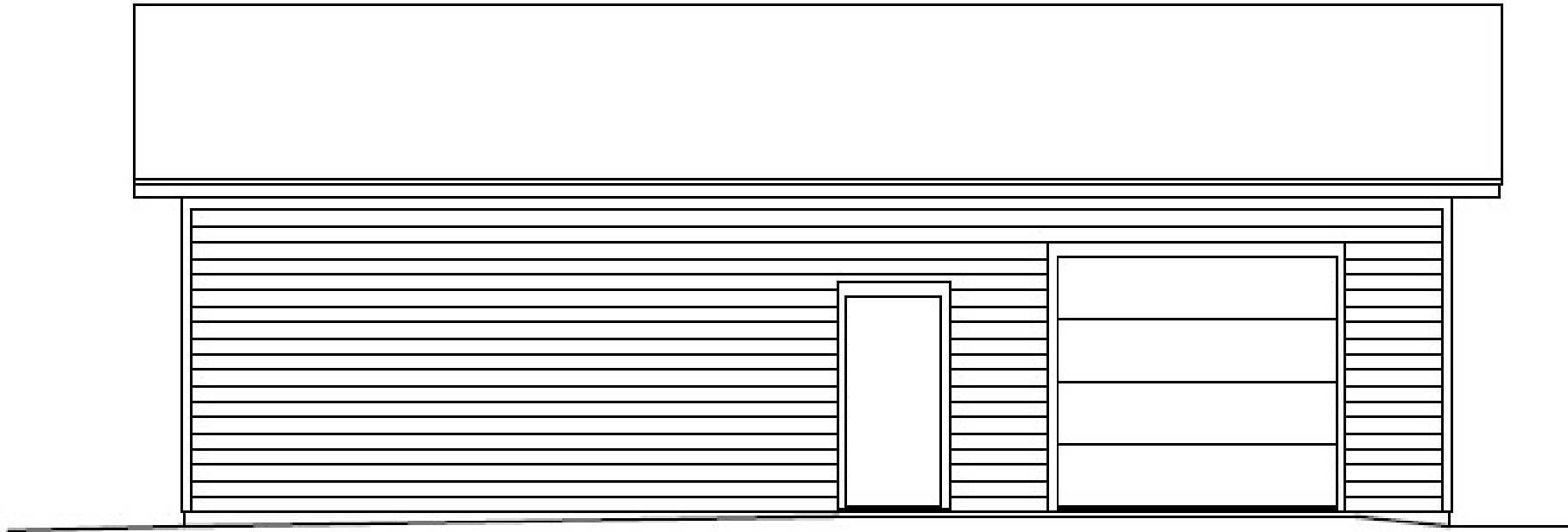
LOT COVERAGE	
LOT AREA - 21747 SQ FT	
EXISTING HOUSE	2935 SQ FT
EXISTING PAVING	3156 SQ FT
EXISTING TOTAL	5491 SQ FT
NEW GARAGE	1200 SQ FT
TOTAL	6691 SQ FT
LOT COVERAGE	29.7%



Front Elevation



Rear Elevation



Side Elevation

Approval Criteria

In granting Certificate of Historic Appropriateness applications, the Historic Preservation Commission shall consider:

- a. The historic, cultural, and architectural significance of the District, Site, Building, Structure, or Object under consideration;

Applicant Response: *“Within Grimball Farm Community, Beefield Community is a part of an African American settlement. This district was the location of two very important Civil War battles. First was the 1864 Battle of Successionville. Followed shortly thereafter by the 1864 3rd assault on James Island. The site also housed federal camps and artillery positions. After the Civil War ended, the “Bee Tract” area was granted to Mr. Horace Rivers. The buildings on this site have no known historic, cultural, or architectural significance.”*

Staff Response: The Beefield Community Historic District was adopted by County Council on May 24, 2022 in a community-wide effort to protect the historic African American settlement community’s character and history tied to the land.

Approval Criteria

b. The exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District;

Applicant Response: *“The proposed existing home improvements and new detached garage should only positively impact the surrounding properties. Surrounding structures are varied in style and current state of preservation while having no known historical significance.”*

Staff Response: The applicant is proposing in-kind replacement of roof shingles on the existing Single-Family Dwelling Unit, along with the removal of “lean-tos” that were added onto the rear of the home. These two changes will have no impact upon other structures in the Historic District. Additionally, the applicant is proposing a new single-story 1,200 square-foot detached garage to be constructed to the side of the existing home. With the proposed new construction, the lot coverage would be 29.7%. Many homes within the Beefield Community have garages or similar accessory structures on their residential lots.

Approval Criteria

c. When considering applications for new construction, alteration, repair, rehabilitation, or restoration, the Historic Preservation Commission shall apply the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

Applicant Response: "While the existing home does not have historical significance, the proposed renovations include restoration of the building back to its original brick ranch form by eliminating wood "shed" or "lean to" additions previously added. The proposed detached garage is kept complimentary in design to the existing home in scale, shape, and roof slope. These proposed projects preserve the historical significance of the overall Beefield Community Historical District."

Staff Response: The applicant has demonstrated that although the home itself is not known as a significant historic structure, the proposed renovations seek to bring the house back to its original form. Additionally, the applicant has demonstrated that the design of the proposed new accessory structure seeks to complement the character of the existing brick ranch home.

Approval Criteria

d. Certificate of Historic Appropriateness applications for properties located within Historic Districts, or for Subdivision Plats or Site Plan Review proposals for properties located within 300 feet of Historic Districts, must demonstrate consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District that the Historic Preservation Commission deems applicable.

Applicant Response: *“This proposed project being kept in scale with the surrounding homes demonstrates consistency with prevailing patterns. This and surrounding lots are relatively large with low density.”*

Staff Response: This request is consistent with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Beefield Community Historic District.

Approval Criteria

- e. In granting a Certificate of Historic Appropriateness for Subdivision Plats and Site Plan Review proposals for properties located within 300 feet of a Historic Property, the Historic Preservation Commission shall require that potential negative impacts of the proposed development be minimized through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments.

Applicant Response: *“Not applicable.”*

Staff Response: Because there is no application for Site Plan Review, this criterion is not applicable.

Staff Recommendation: Because the approval criteria have been satisfied as applicable, Staff recommends approval with the following condition:

1. Ensure that no additional runoff from the subject property onto adjacent properties will occur, through the utilization of gutters, French drains, swales, etc.

Notifications

April 26, 2024: 433 letters were sent to owners of property located within the Beefield Community Historic District, non-historic district properties within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation Interested Parties List and the James Island Interested Parties Lists.

April 26, 2024: This meeting was advertised in the Post and Courier.

Certificate of Historic Appropriateness – Application Form

Owner Information

First Name: Last Name: FAB FOLLY ONE, LLC
Mailing Address: 461 FLEMING ROAD, SUITE B
Home/Cell Phone #: 843-795-1210
Email Address: FABFOLLYONE@GMAIL.COM

Applicant Information (if not being submitted by owner)

First Name: BRIAN Last Name: CRUSE
Mailing Address: 461 FLEMING ROAD, SUITE B
Home/Cell Phone: 843-795-1210
Email Address: BRIAN@UNIQUECONSTRUCTORS.COM

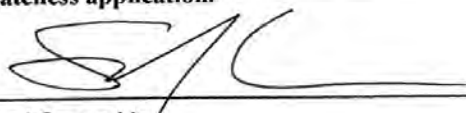
Property Information

Address: 1765 FOLLY ROAD, CHARLESTON, SC 29412
TMS #: 3341000056 Acres: .48
Deed Book/Page Number: 1220-906 Plat Book/Page Number: AM-1
Zoning District: BEEFIELD COMMUNITY HISTORIC DISTRICT


Description of proposed activity requiring a Certificate of Historic Appropriateness:

- PROPOSED REPAIRS TO THE EXISTING HOME.
- PROPOSED NEW DETACHED GARAGE PER ATTACHED PLAN

I (we) certify that BRIAN CRUSE is the authorized representative for my (our) Certificate of Historic Appropriateness application.


Signature of Owner(s)

3/28/24
Date


Signature of Applicant (if other than owner)

3/28/24
Date

OFFICE USE ONLY

Invoice Number _____

Amount Received _____ ☐ Cash ☐ Check # _____ ☐ Credit Card ☐ Online Invoice

Staff Signature _____

_____ Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a written description of the proposal which requires a Certificate of Historic Appropriateness and the Historic District or Property for which this process is required. Please attach additional paper if more room is needed.

THE SUBJECT PROPERTY IS LOCATED AT 1765 FOLLY ROAD AND IS PART OF THE BEEFIELD COMMUNITY HISTORIC DISTRICT. PROPOSED PROJECTS ON THIS PROPERTY INCLUDE REPAIRS TO THE EXISTING HOME AND A NEW DETACHED GARAGE. EXISTING HOME REPAIRS INCLUDE REMOVAL OF REM "LEAN TO" SHEDS, ROOF SHINGLE REPLACEMENT, AND NECESSARY WOOD ROT REPAIRS. DETACHED GARAGE INCLUDES A SINGLE STORY, RESIDENTIAL STYLE BUILDING WITH 4/12 SLOPE ROOF TO COMPLIMENT THE HOME.

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

1 a. Describe the historic, cultural, and architectural significance of the district, site, building, structure, or object which requires a Certificate of Historic Appropriateness to be obtained.

WITHIN GAINBALL FARM COMMUNITY, BEEFIELD COMMUNITY IS A PART OF AN AFRICAN AMERICAN SETTLEMENT. THIS DISTRICT WAS THE LOCATION OF TWO VERY IMPORTANT CIVIL WAR BATTLES. FIRST WAS THE 1864 BATTLE OF SECESSIONVILLE. FOLLOWED SHORTLY THEREAFTER BY THE 1864 3RD ASSAULT ON JAMES ISLAND, THE SITE ALSO HOUSED FEDERAL CAMPS AND ARTILLERY POSITIONS. AFTER THE CIVIL WAR ENDED, THIS "BEE TRACT" AREA WAS GRANTED TO MR. HOMER RIVERS. THE BUILDINGS ON THIS SITE HAVE NO KNOWN HISTORIC, CULTURAL, OR ARCHITECTURAL SIGNIFICANCE.

PART II continued.

1 b. Describe the proposed exterior form and appearance of any proposed additions or modifications and the effect of such additions and modifications upon other structures on the Historic Property or within the Historic District.

THE PROPOSED EXISTING HOME IMPROVEMENTS AND NEW DETACHED GARAGE SHOULD ONLY POSITIVELY IMPACT THE SURROUNDING PROPERTIES. SURROUNDING STRUCTURES ARE VARIED IN STYLE AND CURRENT STATE OF PRESERVATION WHILE HAVING NO KNOWN HISTORICAL SIGNIFICANCE.

1 c. Applications for new construction, alteration, repair, rehabilitation, or restoration, describe how the proposed work will use the Secretary of the Interior's Standards for the Treatment of Historic Properties.

WHILE THE EXISTING HOME DOES NOT HAVE HISTORICAL SIGNIFICANCE, THE PROPOSED RENOVATIONS INCLUDE RESTORATION OF THE BUILDING BACK TO ITS ORIGINAL BRICK RANCH FORM BY ELIMINATING WOOD "SHED" or "LEAN TO" ADDITIONS PREVIOUSLY ADDED. THE PROPOSED DETACHED GARAGE IS KEPT COMPLIMENTARY IN DESIGN TO THE EXISTING HOME IN SCALE, SHAPE AND ROOF SCOPE.

THESE PROPOSED PROTECTS PRESERVE THE HISTORICAL SIGNIFICANCE OF THE OVERALL BEEFIELD COMMUNITY HISTORICAL DISTRICT.

PART II continued.

1 d. Describe how the proposal demonstrates consistency with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. (This criterion is only applicable to properties within a Historic District; or for Site Plan Review proposals within 300 feet of Historic Districts.)

THIS PROPOSED PROJECT BEING KEPT IN SCALE WITH THE
SURROUNDING HOMES DEMONSTRATES CONSISTENCY WITH
PREVAILING PATTERNS. THIS AND SURROUNDING LOTS ARE
RELATIVELY LARGE WITH LOW DENSITY.

2. Describe how the proposal minimizes potential negative impacts through site design techniques such as the location of vehicular access points, screening treatments, and buffering treatments, etc. (This criterion is only applicable for Site Plan Review proposals on or within 300 feet of a Historic Property).

NOT APPLICABLE

