

CHARLESTON COUNTY HISTORIC PRESERVATION COMMISSION MEETING
Lonnie Hamilton, III Public Services Building
Council Chambers, 2nd Floor
4045 Bridge View Drive, North Charleston, SC 29405

The public is invited to attend the meeting in person. The meeting will also be livestreamed (for viewing purposes only) at the link below:

<https://www.charlestoncounty.org/departments/county-council/cctv.php>

AGENDA
February 19, 2025
2:00 P.M.

- I. CALL TO ORDER
- II. COMPLIANCE WITH THE FREEDOM OF INFORMATION ACT
- III. INTRODUCTIONS
- IV. APPROVAL OF THE MINUTES FOR THE JANUARY 15, 2025 MEETING
- V. NEW BUSINESS:
 - a. HIST-01-25-00126: Certificate of Historic Appropriateness request for the placement of a Manufactured Housing Unit on TMS 583-00-00-361, 2956 Bobo Road, a property within the Phillips Community Historic District.
 - b. HIST-01-25-00127: Certificate of Historic Appropriateness request for the construction of a Single-Family Dwelling Unit with attached garage and an inground pool at TMS 614-00-00-189, 3910 Nelson View Drive, a property within the Ten Mile Community Historic District.
- VI. NEXT MEETING: MARCH 19, 2025 (ANNUAL MEETING)
- VII. ADJOURNMENT

**CHARLESTON COUNTY
HISTORIC PRESERVATION COMMISSION
MEETING MINUTES
January 15, 2025**

ATTENDEES

Historic Preservation Commission: Chair Melanie Millar, Michael German, Pat Jones, Brent Halversen, Amy Garrard, and Mike Walsh were present. Anna Johnson and Dawna Gardner were absent.

County staff: Marc Belle, Assistant County Attorney; Andrew Hethington, Assistant County Attorney; Joel Evans, Director of Zoning/Planning; Andrea Melocik-White, Deputy Director of Zoning/Planning; Emily Pigott, Planner II; Monica Eustace, Planner II; and Stephanie Ondo, Planning Technician II.

Members of the public: Paul Spies, David Smith, Craig Wellman, Kevin Coffey, and Barb Widdicombe.

CALL TO ORDER

Chair Millar called the Charleston County Historic Preservation Commission meeting to order at 2:01 PM.

COMPLIANCE WITH THE FREEDOM OF INFORMATION ACT & INTRODUCTIONS

(YouTube Timestamp: 0:22)

Chair Millar announced that the meeting was noticed in compliance with the South Carolina Freedom of Information Act and stated the purpose of the Historic Preservation Commission. Chair Millar introduced the Commissioners and asked Mr. Evans to introduce Charleston County staff in attendance.

APPROVAL OF THE DECEMBER 18, 2024 MEETING MINUTES

(YouTube Timestamp: 3:54)

Commissioner Jones put forward a motion to approve the December 18, 2024 meeting minutes. The motion was seconded by Commissioner German. The Commission voted, 6-0, to approve the same.

CERTIFICATE OF HISTORIC APPROPRIATENESS REQUEST (HIST-09-24-00115)

(YouTube Timestamp: 5:08)

Chair Millar introduced the next item on the agenda, a Certificate of Historic Appropriateness request for a new single-family dwelling unit with attached garage, as well as retroactive expansion of an existing accessory structure on TMS 615-00-00-013, 4170 Pritchard Green Lane, a property within the Chandler Road area of the Ten Mile Community Historic District.

Ms. Pigott delivered the staff report, providing details about the proposal and the significance of the Ten Mile Community. She stated, based on the applicant's responses, staff believes the applicable approval criteria have been satisfied; therefore, staff recommends approval.

Chair Millar opened the floor for public comment. Paul Spies (4170 Pritchard Green Lane), the applicant, spoke in support of the request.

Chair Millar asked the applicant whether he built the existing accessory structure; he answered in the negative, stating it was existing when he purchased the property. Chair Millar asked whether the

improvements to the accessory structure were permitted; the applicant stated he had fixed the roof without realizing it needed permitting but later went through the Board of Zoning Appeals to receive a variance.

David Smith, 4183 Pritchard Green Lane, spoke in support of the request.

Commissioner Walsh put forth a motion to approve the request, which he amended to state that all three approval criteria have been met. Commissioner Jones seconded the amended motion. The Commission voted, 6-0, to approve the request.

CERTIFICATE OF HISTORIC APPROPRIATENESS REQUEST (HIST-11-24-00123)

(YouTube Timestamp: 16:51)

Chair Millar introduced the next item on the agenda, a Certificate of Historic Appropriateness request for the construction of a new on-site wastewater system to replace the existing system that is in disrepair at Magnolia Plantation and Gardens, TMS 361-00-00-001, a property listed on the National Register of Historic Places.

Ms. Pigott delivered the staff report, providing details about the proposal and the historic significance of the subject parcel. She stated, based on the applicant's responses, staff believes the applicable approval criteria have been satisfied; therefore, staff recommends approval.

Chair Millar opened the floor for public comment. Kevin Coffey, a representative for the applicant, spoke in support of the request.

Commissioner Jones put forth a motion to approve the request because it meets all three approval criteria. Commissioner Walsh seconded the motion. The Commission voted, 6-0, to approve the request.

CERTIFICATE OF HISTORIC APPROPRIATENESS REQUEST (HIST-12-24-00124)

(YouTube Timestamp: 23:50)

Chair Millar introduced the next item on the agenda, a Certificate of Historic Appropriateness request for the construction of a single-family dwelling unit with attached garage, as well as the retroactive approval of an accessory structure and demolition of a portion of the same accessory structure, at TMS 583-00-00-470, 2985 Bennett Charles Road, a property within the Phillips Community Historic District.

Ms. Eustace delivered the staff report, providing details about the proposal and the significance of the Phillips Community Historic District. She stated, based on the applicant's responses, staff believes the applicable approval criteria have been met; therefore, staff recommends approval.

Chair Millar opened the floor for public comment. Barb Widdicombe (2981 Bennett Charles Road), the applicant, spoke in support of the request.

Chair Millar asked the applicant why she is demolishing part of the shed. The applicant stated it is because it would be too close to the new home.

Commissioner Walsh put forth a motion to approve the request because it meets all three approval criteria. Commissioner Jones seconded the motion. The Commission voted, 6-0, to approve the request.

DIRECTOR'S REMARKS

Mr. Evans stated that, on December 18, 2024, the Charleston County Zoning and Planning Department received a letter from Aaron Brummitt and Heather Carpini of S&ME, Inc., regarding the Tobin-Boyd Elementary School located within the Red Top Community of Johns Island. He stated as part of their due diligence, S&ME, Inc. were informing the Historic Preservation Commission that there is going to be development on the school site, and that American Star Development SC, LLC will be applying for Coastal Zone Consistency Certification (CZC) as part of the redevelopment. The SC Department of Environmental Services (SCDES) requires site mitigation as part of the certification process; the letter invites interested parties to provide some input on that process. Copies of the letter were made available to Commission members at the conclusion of the meeting.

Mr. Evans stated staff would like to schedule site visits for the Commissioners to visit all of the Charleston County historic districts this spring, beginning with the three locally-designated districts in the East Cooper area: Phillips, Ten Mile, and Hamlin Beach.

CHAIR'S REMARKS

Chair Millar announced that the next Historic Preservation Commission meeting will be held on February 19, 2025 at 2:00 PM.

Chair Millar stated that, as of Tuesday, January 14, the Hamlin Beach Community has been locally designated as a historic district.

ADJOURNMENT

Chair Millar adjourned the meeting at 2:42 PM.

Stephanie Ondo
Recording for the Zoning & Planning Department

Ratified by the Charleston County Historic Preservation
Commission this 19th day of February, 2025.

Melanie Millar
Chair

Attest:

Joel Evans, PLA, AICP, Director
Zoning & Planning Department

**Certificate of Historic
Appropriateness Application:
HIST-01-25-00126**

- Case History**
- Presentation**
- Application**

**CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-01-25-00126
CASE HISTORY**

Historic Preservation Commission: February 19, 2025

CASE INFORMATION

Location: 2956 Bobo Road

Parcel Identification: 583-00-00-361

Council District: 1 - Sass

Property Size: 0.34 acres

Application: Certificate of Historic Appropriateness request for the construction of an accessory dwelling unit at TMS 583-00-00-361, 2956 Bobo Charles Road, a property within the Phillips Community Historic District.

Parcel Information and Area Description: The subject property is zoned Special Management (S-3) and contains a Single-Family Dwelling Unit and small accessory structure. The Future Land Use designation is Urban/Suburban Cultural Community Protection. All surrounding properties are also zoned S-3 and contain Single-Family Dwelling Units. The subject property is in the shaded X and X flood zones.

Historic Significance: In 2021, Charleston County adopted the Phillips Community as a locally designated historic district. The district covers roughly 420 acres.

Settled along Horlbeck Creek, the Phillips Community is considered to be an example of a "South Carolina Land Commission Platted Community" where former plantations were subdivided and sold to black and white landless farmers and tradesmen between 1869 and 1890 (*Charleston County Historic Resources Survey Update*, p. 65). Settlement communities have distinct settlement patterns that are indicative of the means of land acquisition and settlement by formerly enslaved individuals and their families. Spatial arrangements of parcels of varying lot sizes are specific to individual settlement communities; however, there are three characteristics that are shared between most settlement communities: traditional burial grounds, traditional community access to nearby waterways, and a reliance on heirs' property whereby land is conveyed and held "in common" by the descendants of the original deed owner (*Survey*, p. 65). Specifically, the Phillips Community contained 25 parallelogram gridded farm lots ranging in size from 8 ½ acres to 25 acres (*Survey*, p. 65). Smaller lots were narrow and rectangular in shape oriented to the road, while the larger parcels abutted the canal (*Survey*, p. 65). This land configuration is an example of the second type of historic African American community planning in Charleston County, sharing other patterns such as clustering of businesses, residences, and institutional buildings near primary roads; most lots have been subdivided into smaller, rectangular parcels over time; buildings with frontage along the waterway is uncommon, as are fence enclosures (*Survey*, p. 74). The boundaries of the original subdivision dated 1875 is still apparent today.

Several significant figures in history are associated with the Phillips Community:

- Dr. John Rutledge, first doctor in Christ Church Parish
 - John Rutledge (son of Dr. Rutledge), signer of United States Constitution
 - Edward Rutledge (son of Dr. Rutledge), signer of Declaration of Independence
 - Sam Scott and Benjamin Bennett, members of the 129th U.S. Colored Infantry who fought in the Civil War
 - Maj. General Abraham J. Turner, decorated military personnel and foreign war veteran
- Important aspects of the Phillips Community:

- Most properties within the district contain the original homes, and if subdivided at all, only to grant to heirs of the original landholders.
- Most land is still held by descendants of the original landholders.
- History of former Society Hall, Schoolhouse, boat landing, and Parker's Ferry Bridge; some structures remain in place.
- "The Society", now known as The Phillips Community Association, has been a continual part of the community's history.

Project Description:

Applicant's Project Description: *"I hope this letter finds you well. I am writing to formally notify the Historic Preservation Division of my intention to add a 1-story, 1,162 sq ft mobile home to my property at 2956 Bobo Rd, Mt. Pleasant, SC 29466, which currently has an existing 1,247 sq ft single-family residence. The proposed mobile home will be constructed with vinyl siding, including a porch on the front and a small deck on the side that will serve as a secondary exit for the home. This addition is planned to be in compliance with all local building codes and zoning requirements, and I will ensure that the design and placement of the mobile home maintain the aesthetic of the existing structure and surrounding area. The entire project, including the existing home, will consist of approx. 21.15% of impervious surface coverage. This is under the 40% threshold explained to me by mapping and zoning. The shed that currently exists on the property is 64 sq ft and will be moved to accommodate the mobile home. I've contacted the arborist, Kyle Foster, to discuss my plans to cut the tree to the right of my current home and he confirmed my ability to cut the tree. There are no grand trees located on the lot. There are no Contributing Resources on the subject property. Thank you for your consideration of approval for this proposed addition to my property."*

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-5.B, *Applicability*, states, "Review and determination of Certificates of Historic Appropriateness by the Commission pursuant to the requirements and processes of this Section and as determined by the Historic Preservation Officer is required prior to the following: a. Site Plan Review and Limited Site Plan Review approvals for Historic Properties and properties within Historic Districts, with the exception of short-term rental zoning permit applications. b. Site Plan Review approvals for properties located within 300 feet of a Historic Property or Historic District, except that Certificates of Historic Appropriateness are not required for Limited Site Plan Review applications pursuant to Article 3.7, Site Plan Review, of the Charleston County Zoning and Land Development Regulations Ordinance and short-term rental zoning permit applications for properties within 300 feet of a Historic Property or Historic District. The issuance of zoning permits on a Historic Property or a property located in a Historic District. The following specific types of zoning permit applications are exempt from the Certificate of Historic Appropriateness requirements of this Ordinance: i. The proposed work is part of a project undertaken by Charleston County Public Works and the subject property(ies) do not contain identified Contributing Resources; ii. Historic markers/signs; iii. Existing Communications Towers where no changes to the lease area or equipment area are proposed; iv. Face changes for existing, legally permitted Signs; v. Home Occupations; vi. Permits for Tree Removal that meet the requirements of the Charleston County Zoning and Land Development Regulations Ordinance; vii. Use changes that do not require Site Plan Review approval; viii. Sweetgrass basket stands; ix. Short-term rentals; x. Power Poles where no Alteration, modification, addition to, new construction, Rehabilitation, relocation, or Restoration is proposed; xi. Temporary Special Events; xii. Temporary uses and structures; and xiii. Proposed work that does not include changes to the architecture, site layout, or building size/configuration and that is not located on a property containing a Contributing Resource as determined by the Historic Preservation Officer. d. The issuance of zoning permits for the Demolition of structures on Historic Property(ies) or on property(ies) located in a Historic District when the structure proposed for Demolition has been noted as a Contributing Resource on the National Register of Historic Places listing or by the County Council. The issuance of any zoning permit for: i. Clearing and grubbing of one acre or more on Historic Property(ies) or on property(ies) located in a Historic District; and ii. For clearing and grubbing on Historic Property(ies) or on property(ies) located in a Historic District when there is a

Contributing Resource on the subject property or an adjacent property. The clearing and grubbing application must illustrate the proposed development for which the clearing and grubbing is requested. A Certificate of Historic Appropriateness is not required for clearing and grubbing applications associated with an approved development plan or violation.”

Sec. 21-5.1, *Approval Criteria*, states “In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met: a. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council; b. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources; and c. Any negative impacts to the applicable Historic Property or Historic District have been minimized and mitigated. For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, *Commission Considerations*.”

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-5.I:

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

- 1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.**

Applicant Response: *“The mobile home is compatible with the historic, cultural, and architectural character of the Phillips Community because a good portion of the surrounding homes are mobile homes. The mobile home that I would like to add is modest in design and is 1-story, similar to the ones in the area.”*

Staff Response: The overwhelming majority of lots within the Phillips Community Historic District contain only one house, whether that be a manufactured housing unit or single-family detached dwelling. There are a few lots, however, that contain two homes, usually with at least one being a manufactured housing unit. The style, form, and mass of the proposed home is consistent with existing development in this area of the historic district. This request is compatible with the character of the Phillips Community Historic District because the construction of this additional home on the subject parcel will not detract from the existing pattern of development and streetscape along Bobo Road.

- 2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.**

Applicant Response: *“The proposed addition of a mobile home will not decrease the historic integrity of 2973, 2929, and 2939 Bennett Charles Rd because the mobile home is smaller than the existing home, will follow zoning guidelines, and maintain appropriate setbacks while upholding the appearance and function of the community.”*

Staff Response: There are no identified Contributing Resources on the subject property, although in the vicinity of the subject parcel, the following properties were noted to contain Contributing Historic Resources: 2973 and 2929 Bennett Charles Road and 2928 Bobo Road. TMS 583-00-00-022, 2973 Bennett Charles Road, contains a c. 1950s three-by-two bay, one story frame bungalow. TMS 583-00-00-020, 2929 Bennett Charles Road, contains the House of Prayer Pentecostal Holiness Church, c. 1970. TM 583-00-00-217, 2928 Bobo Road, is significant for its c. 1950s three-by-three bungalow; what is now Bobo Road was built along the original driveway for this home. The proposed addition of this accessory dwelling unit on the subject parcel will not decrease the Historic Integrity of properties Contributing Resources due to the proposed location and scale of the proposed home. The proposed site for the new home is about 80 feet from the nearest property containing Contributing Resources, TMS 583-00-00-022, and about 210 feet from the actual Contributing Resource on that nearby property. Additionally, the one-story, just over 1,100-

square foot accessory dwelling unit will not overwhelm the existing structures and will blend in well with the existing vernacular.

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Applicant Response: “There are no negative impacts to contributing resources, therefore negative impacts are already minimized on the Historic District.”

Staff Response: No negative impacts have been identified; therefore, this criterion has been met.

Based on the applicant’s responses, we believe the application meets the approval criteria. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-5.1, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-5.1.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *HIST-01-25-00126: Certificate of Historic Appropriateness request for the construction of an accessory dwelling unit at TMS 583-00-00-361, 2956 Bobo Road, a property within the Phillips Community Historic District.*”

HISTORIC PRESERVATION COMMISSION MEETING: February 19, 2025

Notifications: 274 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel and individuals on the Historic Preservation Commission and East Cooper Interested Parties lists on January 31, 2025. Signs were posted on the subject parcel on January 27, 2025. Additionally, the request was noticed in the Post & Courier on January 31, 2025.

Certificate of Appropriateness Request

Parcel ID: 583-00-00361

Acreage: 0.34 acres

Property Address: 2956 Bobo Road

Area: East Cooper

Applicant: Rachel Garrison-Green

Request: Certificate of Historic Appropriateness request for an accessory dwelling unit at TMS 583-00-00-361, 2956 Bobo Road, a property within the Phillips Community Historic District.

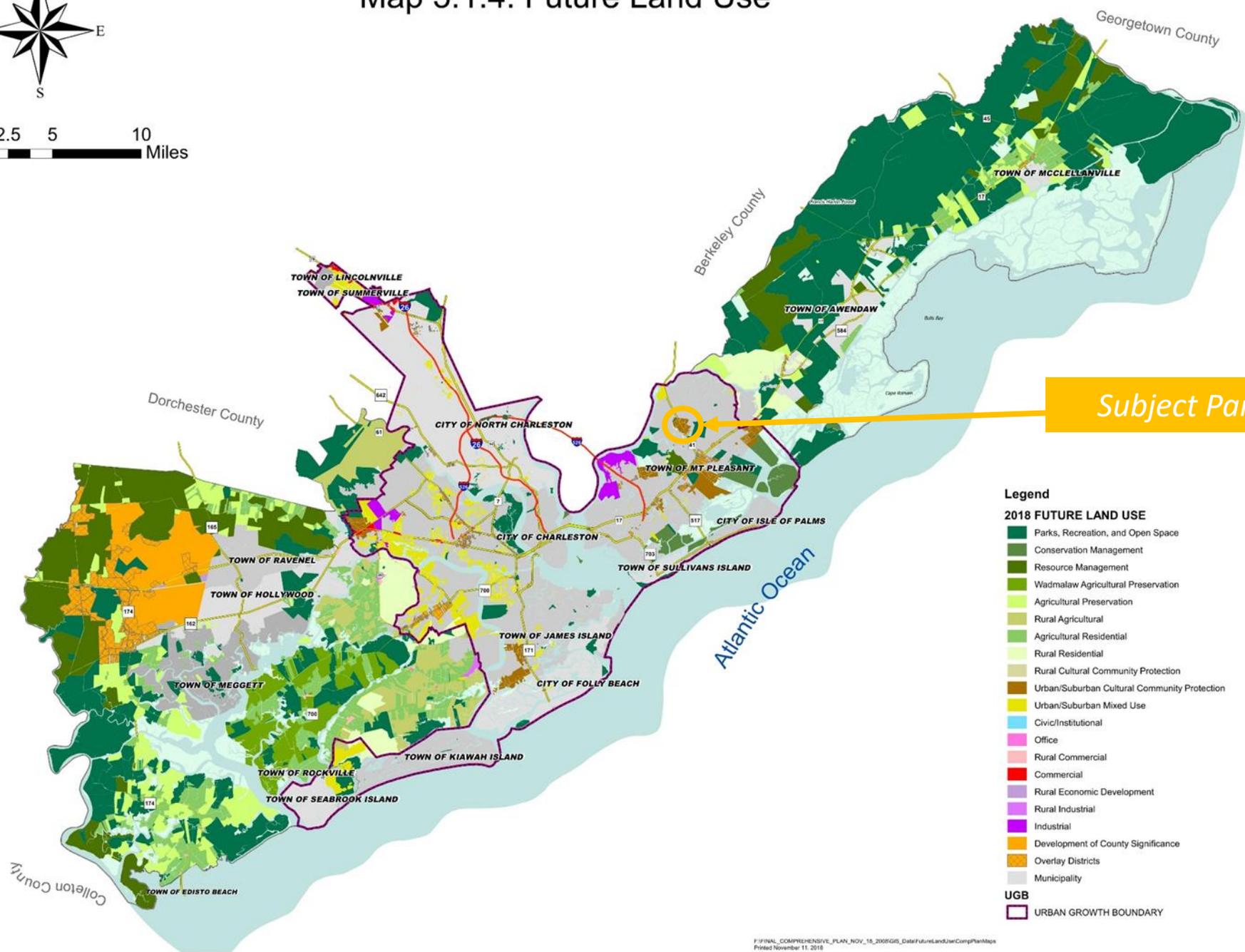
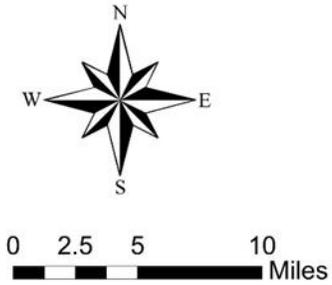
Certificates of Historic Appropriateness Applications in the Phillips Community Historic District

HIST-11-21-00042	Approved	Request to subdivide and place a Mobile Home	TMS 583-00-00-243
HIST-01-22-00048	Approved	Request to renovate and construct an addition on a residential home	TMS 583-00-00-145
HIST-01-22-00049	Approved	Request to construct a Nature Trail and Community Garden	TMS 583-00-00-072
HIST-03-22-00054	Approved	Request to construct one Single-Family Dwelling Unit and one barndominium (3,901.5 total square feet; 2,195 square feet of heated space)	TMS 583-00-00-214; 583-00-00-412
HIST-04-22-00055	Denied	Request for Short-Term Rental, Extended Home Rental	TMS 583-00-00-118
HIST-05-22-00057	Approved	Request for installation of roof-mounted solar panels	TMS 583-00-00-103
HIST-06-22-00058	Withdrawn by Applicant	Request for the placement of an accessory structure	TMS 583-00-00-269
HIST-07-22-00059	Approved	Request for Mobile Home placement	TMS 583-00-00-382
HIST-09-22-00062	Approved with conditions	Request for clearing/grubbing, grand tree removal, and demolition of two accessory structures	TMS 583-00-00-139
HIST-11-22-00063	Approved	Request for retroactive clearing/grubbing and concrete slab placement as well as proposed accessory structure	TMS 583-00-00-215
HIST-02-23-00075	Denied	Request for the construction of a barndominium (4,000 total square feet; 1,500 square feet of heated space)	TMS 583-00-00-041
HIST-02-23-00076	Approved	Request to construct a Single-Family Dwelling Unit	TMS 583-00-00-289
HIST-04-23-00081	Deferred	Request for clearing/grubbing of entire lot	TMS 583-00-00-287
HIST-05-23-00082	Denied	CHA for barndominium (4,000 total square feet; 1,500 square feet of heated space)	TMS 583-00-00-041
HIST-07-23-00089	Approved	Request for the Mobile Home placement	TMS 583-00-00-452
HIST-07-23-00090	Deferred	Request to construct a Single-Family Dwelling Unit	TMS 583-00-00-195
HIST-07-23-00091	Approved	CHA for the Phillips Community Drainage Improvement Project	TMS 583-00-00-008; -011; -021; -024; -025; -026; -028; -122; -123; -159; -190; -200; -216; -221; -249; 252; -262; -267; -276; -293; -294; -296; -305; -309; -329; -330; -331; and -385
HIST-08-23-00093	Approved	Request to demolish an existing Manufactured Housing Unit and construct a new Single-Family Dwelling Unit	TMS 583-00-00-408
HIST-08-23-00094	Approved	Retroactive demolition of an accessory structure	TMS 583-00-00-083
HIST-09-23-00099	Approved	Request to construct a deck on an existing Single-Family Dwelling Unit	TMS 583-00-00-122
HIST-12-24-00124	Approved	Request for construction of a single-family dwelling unit with attached garage, retroactive approval of an accessory structure and partial demo of the same accessory structure	TMS 583-00-00470
HIST-01-25-00126	Pending	Request for an Accessory Dwelling Unit	TMS 583-00-00-361

Project Description

Applicant's Project Description: *"I hope this letter finds you well. I am writing to formally notify the Historic Preservation Division of my intention to add a 1-story, 1,162 sq ft mobile home to my property at 2956 Bobo Rd, Mt. Pleasant, SC 29466, which currently has an existing 1,247 sq ft single-family residence. The proposed mobile home will be constructed with vinyl siding, including a porch on the front and a small deck on the side that will serve as a secondary exit for the home. This addition is planned to be in compliance with all local building codes and zoning requirements, and I will ensure that the design and placement of the mobile home maintain the aesthetic of the existing structure and surrounding area. The entire project, including the existing home, will consist of approx. 21.15% of impervious surface coverage. This is under the 40% threshold explained to me by mapping and zoning. The shed that currently exists on the property is 64 sq ft and will be moved to accommodate the mobile home. I've contacted the arborist, Kyle Foster, to discuss my plans to cut the tree to the right of my current home and he confirmed my ability to cut the tree. There are no grand trees located on the lot. There are no Contributing Resources on the subject property. Thank you for your consideration of approval for this proposed addition to my property."*

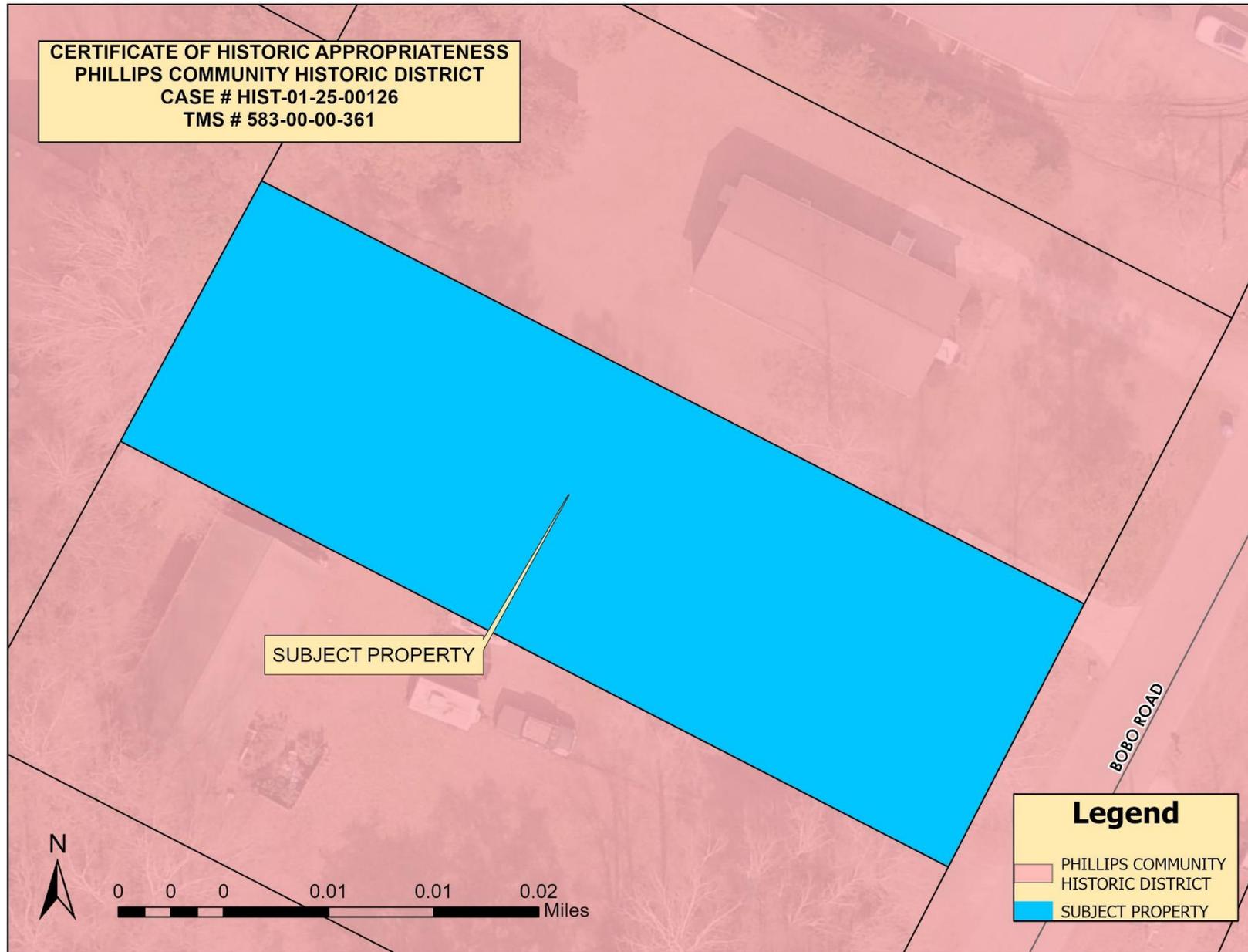
Map 3.1.4: Future Land Use



Subject Parcel

- Legend**
- 2018 FUTURE LAND USE**
- Parks, Recreation, and Open Space
 - Conservation Management
 - Resource Management
 - Wadmalaw Agricultural Preservation
 - Agricultural Preservation
 - Rural Agricultural
 - Agricultural Residential
 - Rural Residential
 - Rural Cultural Community Protection
 - Urban/Suburban Cultural Community Protection
 - Urban/Suburban Mixed Use
 - Civic/Institutional
 - Office
 - Rural Commercial
 - Commercial
 - Rural Economic Development
 - Rural Industrial
 - Industrial
 - Development of County Significance
 - Overlay Districts
 - Municipality
- UGB**
- URBAN GROWTH BOUNDARY

Phillips Community Historic District

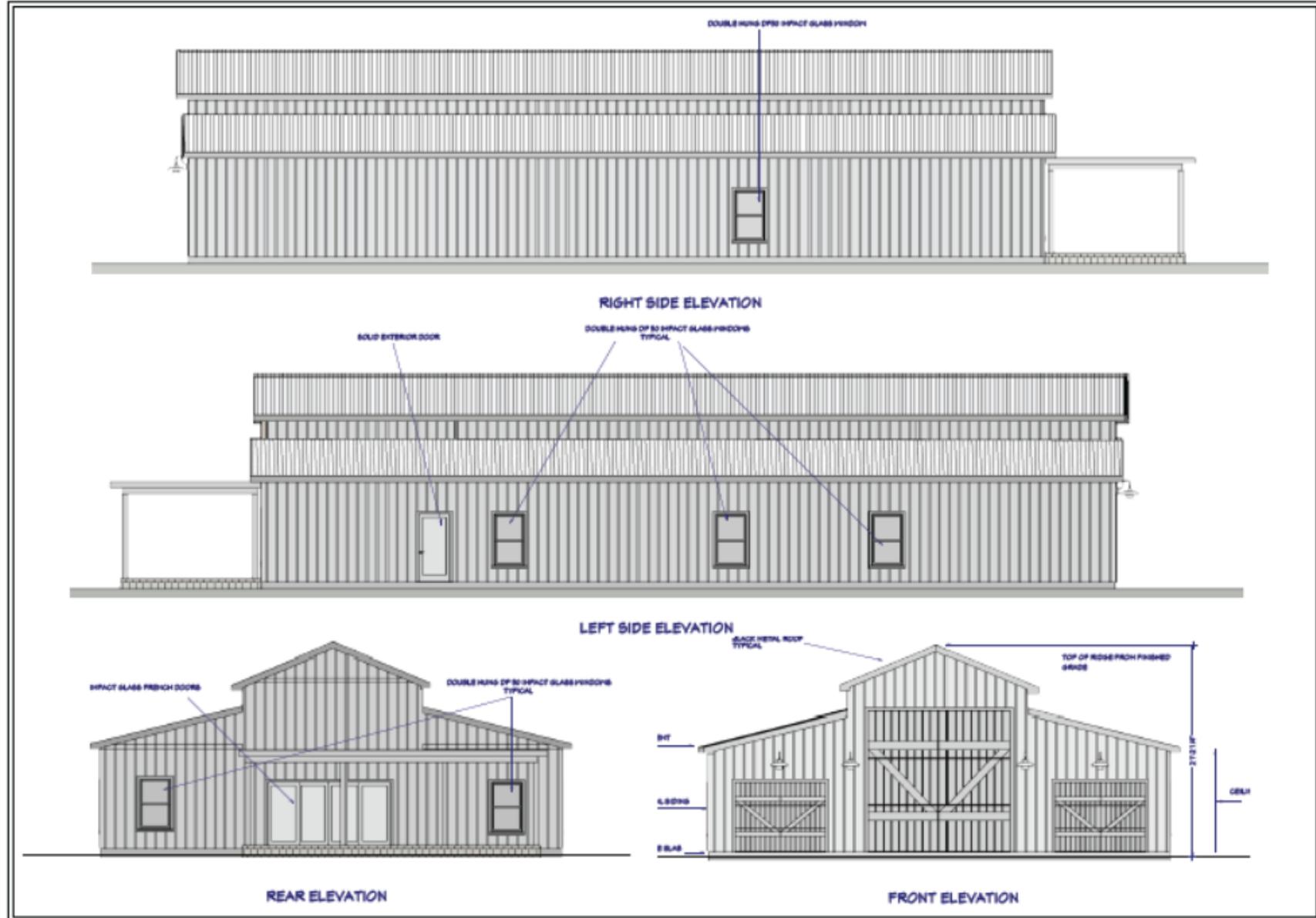


Approved CHAs within 500 feet of the Subject Parcel

HIST-09-23-00099
2959 Bennett Charles Road
TMS 583-00-00-122
Approved 10/18/23



Approved CHAs within 500 feet of the Subject Parcel



HIST-03-22-00054
2970 Bobo Road and
2972 Bobo Road
TMS 583-00-00-412 and
TMS 583-00-00-214
Approved 4/19/22

Approved CHAs within 500 feet of the Subject Parcel



FRONT ELEVATION

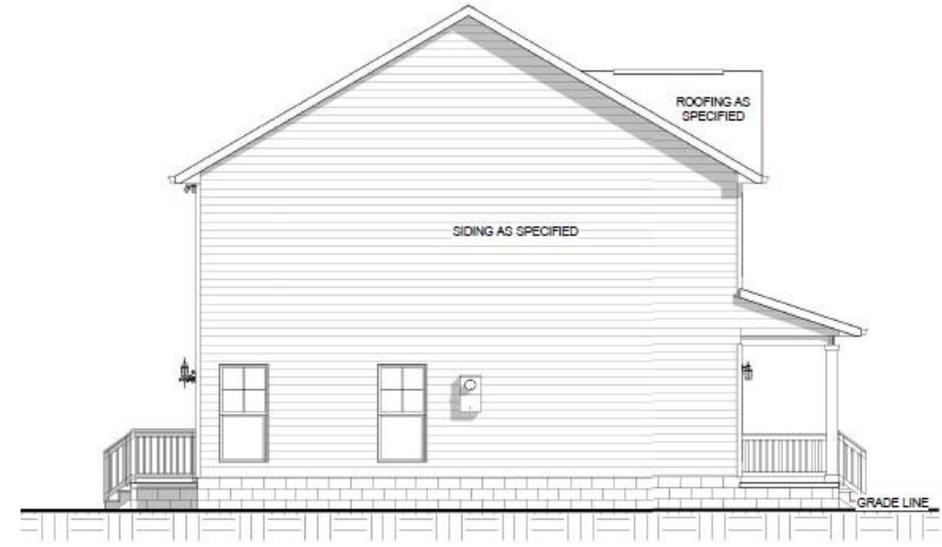


REAR ELEVATION

HIST-06-23-00085
2939 Bennett Charles Road
TMS 583-00-00-021
Approved 7/19/23

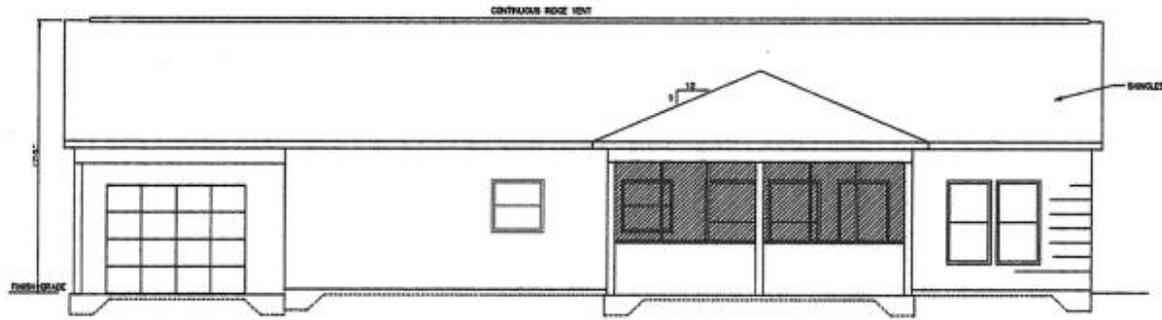


RIGHT ELEVATION



LEFT ELEVATION

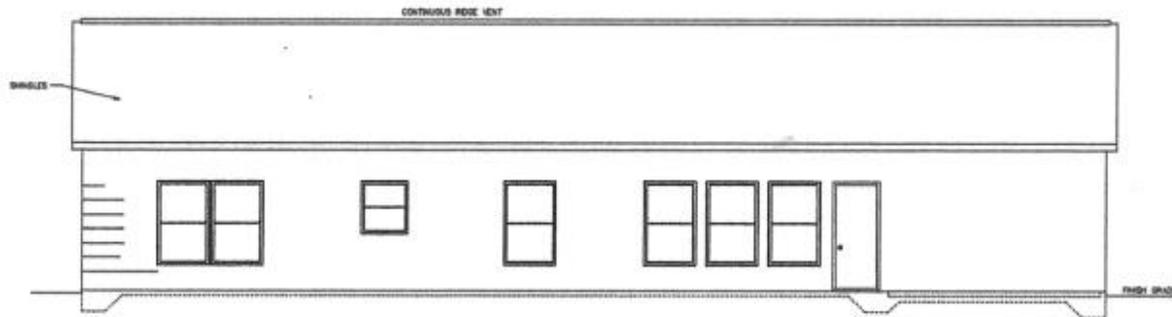
Approved CHAs within 500 feet of the Subject Parcel



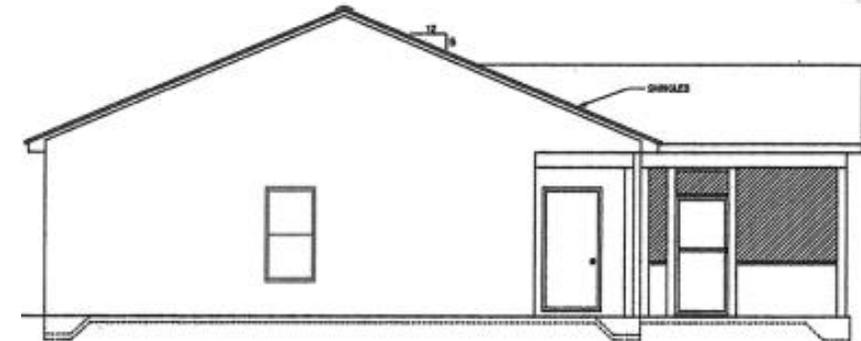
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

HIST-12-24-00124

2985 Bennett Charles Road

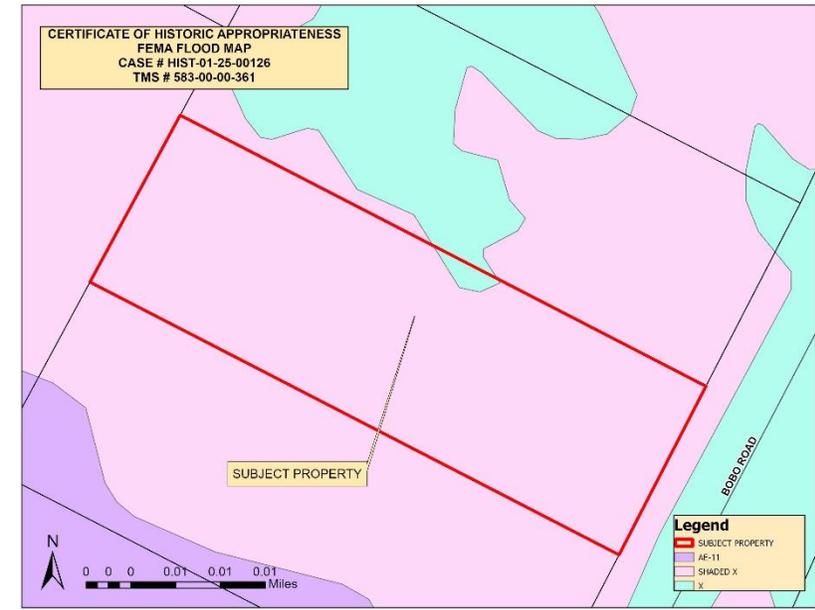
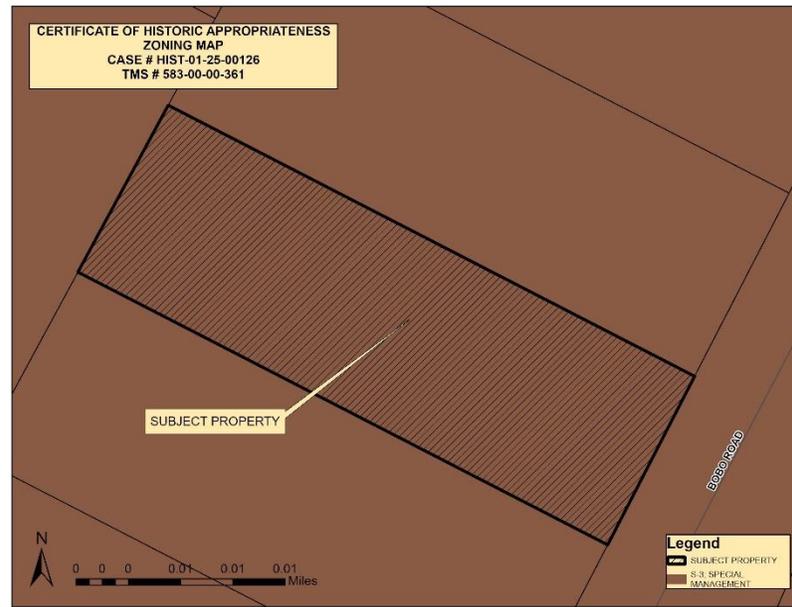
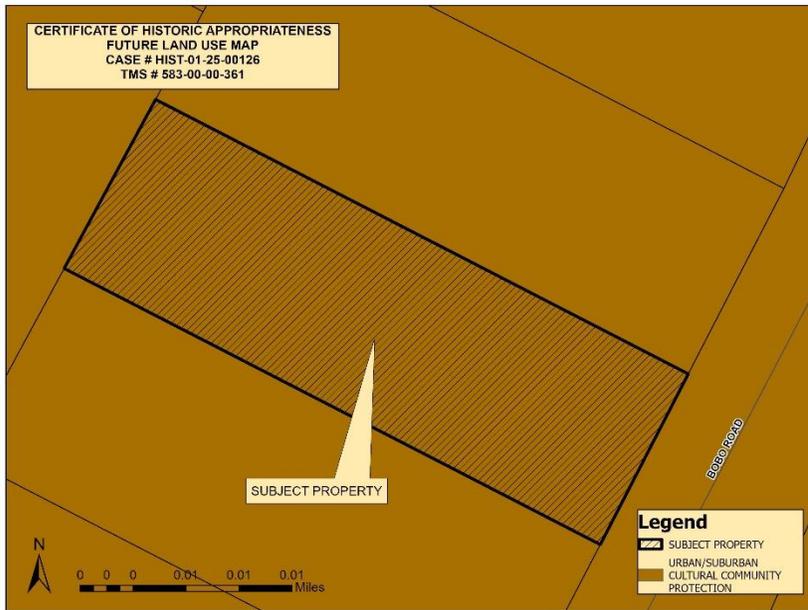
TMS 583-00-00-470

Approved 1/15/25

Phillips Community Historic Significance

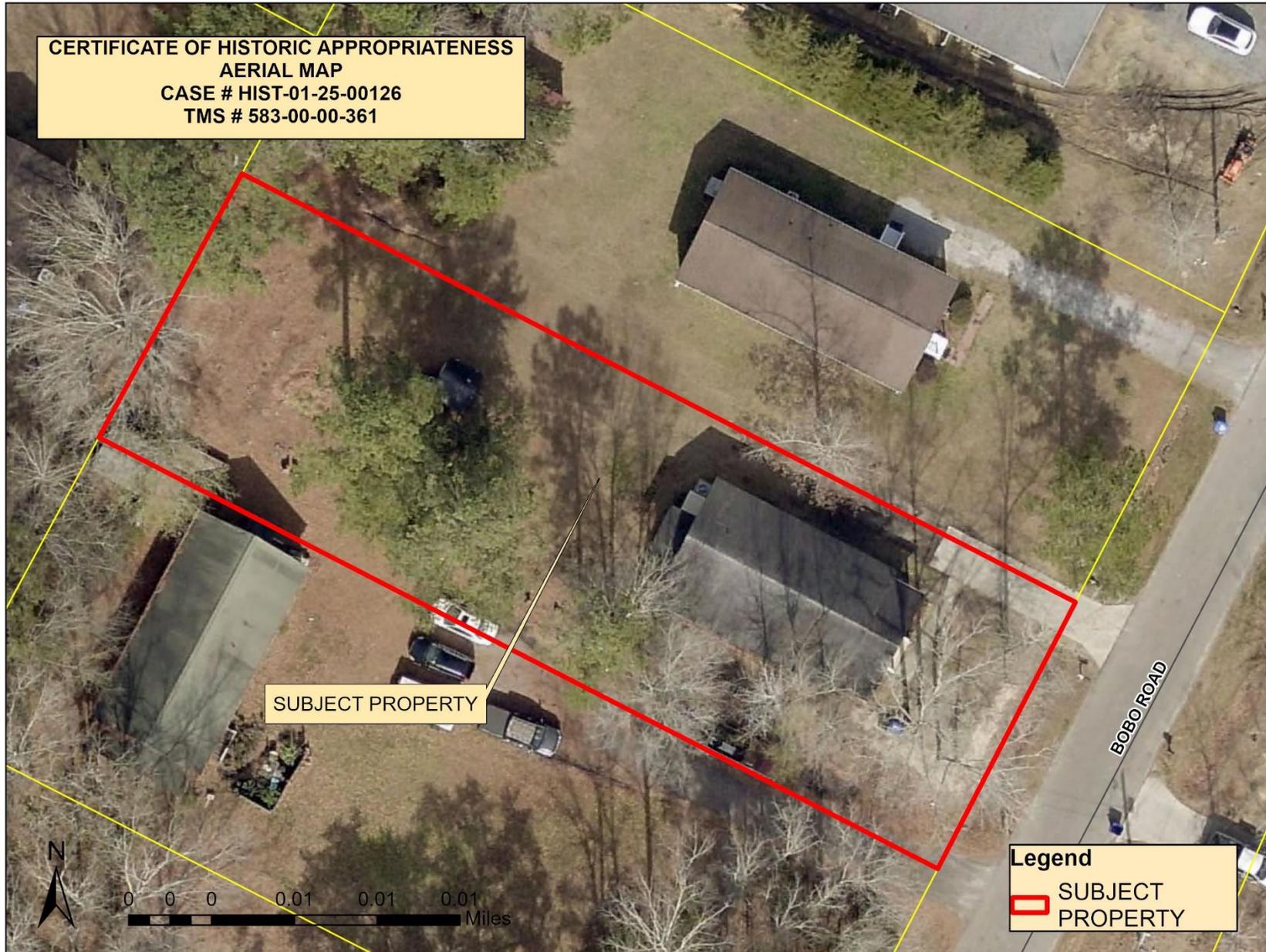
- In 2021, Charleston County adopted the Phillips Community as a locally designated historic district. The district covers roughly 420 acres.
- Originally Phillips Plantation; subdivided in 1875 into 25 lots ranging from 8 ½ acres to 25 acres and sold to formerly enslaved individuals, two of which were female.
 - Example of community planning as a Reconstruction Era South Carolina Land Commission Platted Community where former plantation land was subdivided and sold to black and white landless farmers and tradesmen.
 - Most parcels are narrow and rectangular in shape and oriented to the roadway while larger parcels were located around the perimeter of the platted boundary, and along the waterway.
- Several significant figures in history associated with Phillips Community:
 - Dr. John Rutledge, first doctor in Christ Church Parish
 - John Rutledge (son of Dr. Rutledge), signer of United States Constitution
 - Edward Rutledge (son of Dr. Rutledge), signer of Declaration of Independence
 - Sam Scott and Benjamin Bennett, members of the 129th U.S. Colored Infantry who fought in the Civil War
 - Maj. General Abraham J. Turner, decorated military personnel and foreign war veteran
- Important aspects of the Community:
 - Most properties within the district contain the original homes, and if subdivided at all, only to grant to heirs of the original landholders.
 - Most land is still held by descendants of the original landholders.
 - History of former Society Hall, Schoolhouse, boat landing, and Parker's Ferry Bridge; some structures remain in place.
 - "The Society", now known as The Phillips Community Association, has been a continual part of the community's history.

Future Land Use, Zoning, and FEMA Flood Designation



The subject property is zoned Special Management (S-3) and contains a Single-Family Dwelling Unit and small accessory structure. The Future Land Use designation is Urban/Suburban Cultural Community Protection. All surrounding properties are also zoned S-3 and contain Single-Family Dwelling Units. The subject property is in the shaded X and X flood zones.

Aerial View



Site Photos - Subject Property



TMS 583-00-00-361
2956 Bobo Road



TMS 583-00-00-361
2956 Bobo Road

Surrounding Properties



TMS 583-00-00-199
2952 Bobo Road



TMS 583-00-00-336
2962 Bobo Road

Nearby Contributing Resources



TMS 583-00-00-022
2973 Bennett Charles Road



TMS 583-00-00-117
2928 Bobo Road

Nearby Contributing Resources



TMS 583-00-00-020
2929 Bennett Charles Road



TMS 583-00-00-020
2929 Bennett Charles Road

Proposed Site Plan

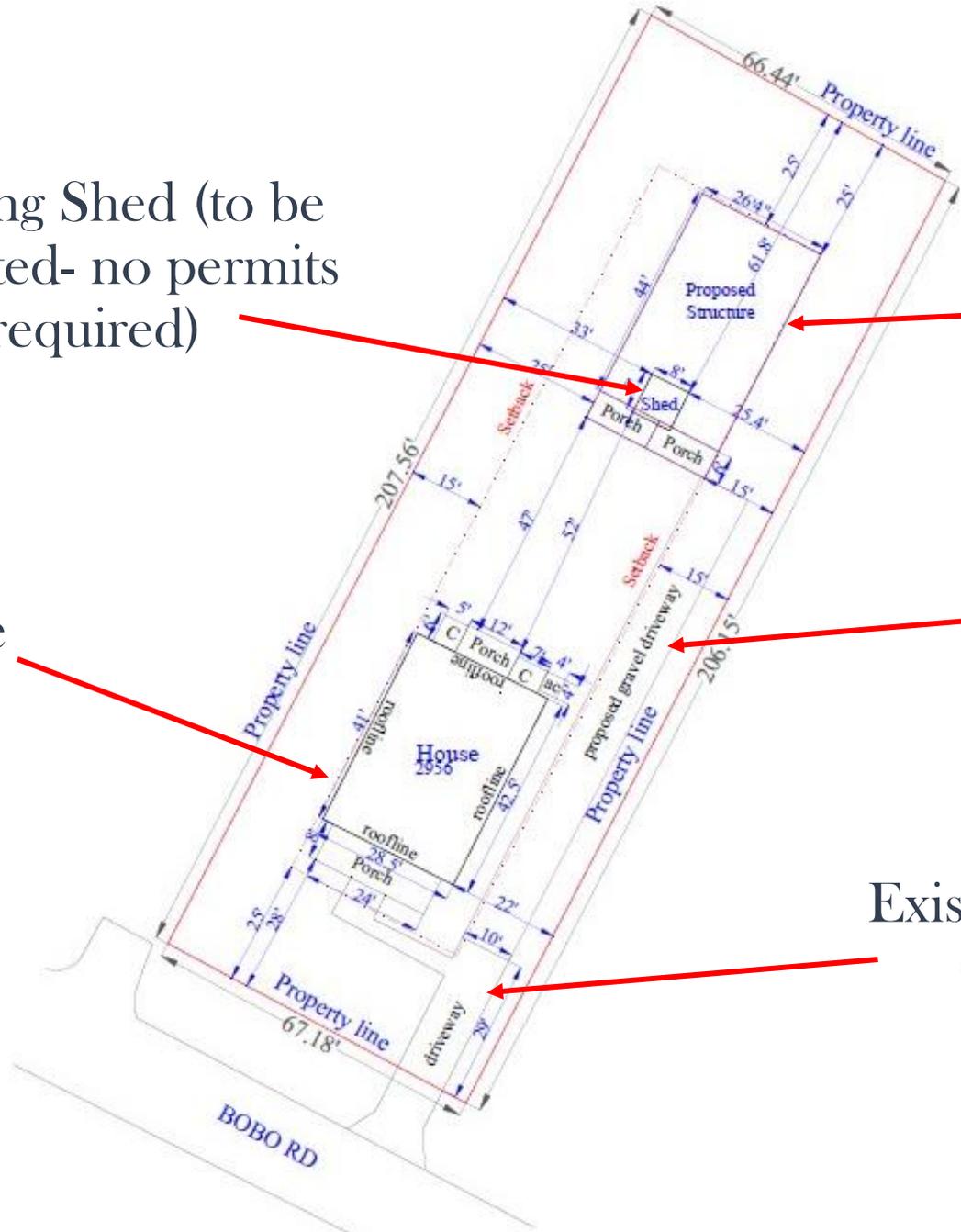
Existing House

Existing Shed (to be relocated- no permits required)

Proposed Accessory Dwelling Unit

Proposed Driveway extension (gravel)

Existing Driveway (concrete)

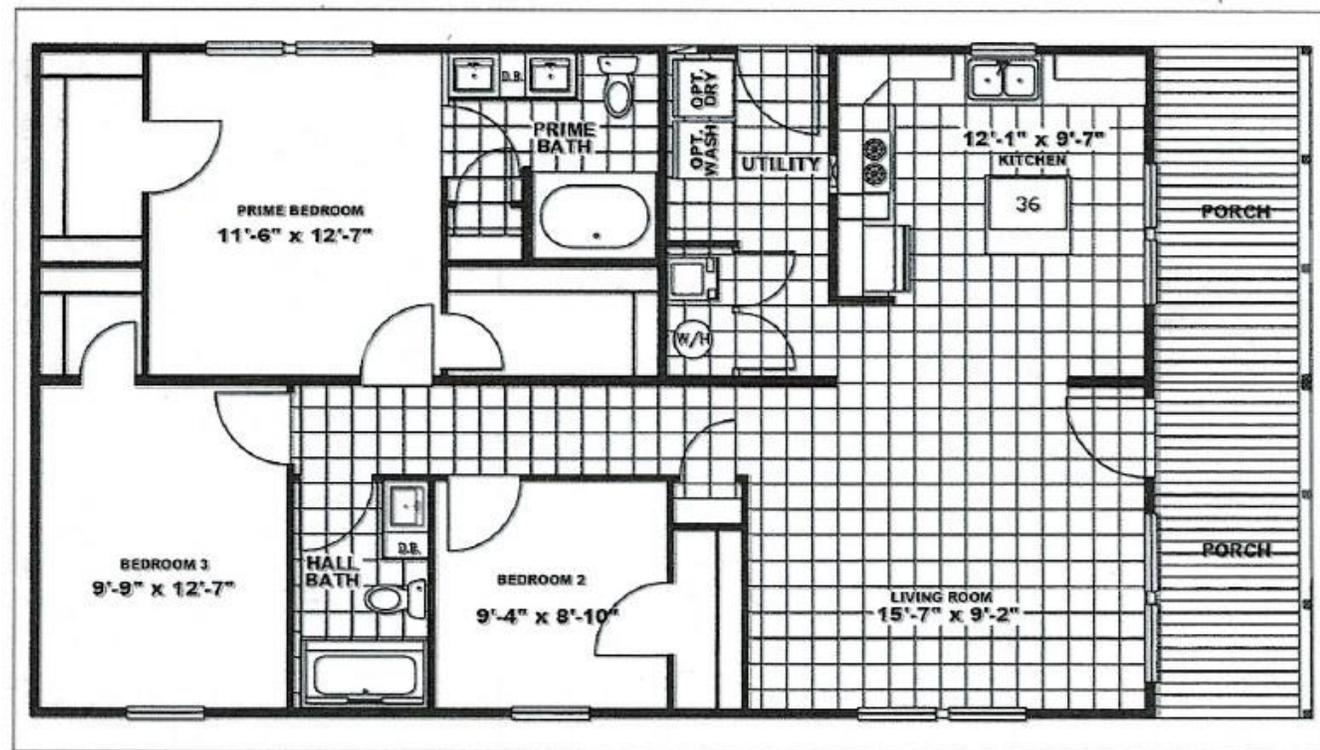


IMPERVIOUS SURFACE CALCULATION

Total Surface - Lot area: 13,822 sq.ft. (0.320 ACRES)
Total Impervious Surface: 3,258 sq. ft. (0.074 ACRES)

$$\text{Impervious Surface} = 3,258 / 13,822 = 0.23571 = 23.57\%$$

Parcel No. (APN) 583-00-00-361
Land Use RESIDENTIAL
SINGLE FAMILY RESIDENCE
Lot Area 13,822 SF (0.32 ACRES)



Proposed Accessory Dwelling Unit

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.

Applicant Response: *“The mobile home is compatible with the historic, cultural, and architectural character of the Phillips Community because a good portion of the surrounding homes are mobile homes. The mobile home that I would like to add is modest in design and is 1-story, similar to the ones in the area.”*

Staff Response: The overwhelming majority of lots within the Phillips Community Historic District contain only one house, whether that be a manufactured housing unit or single-family detached dwelling. There are a few lots, however, that contain two homes, usually with at least one being a manufactured housing unit. The style, form, and mass of the proposed home is consistent with existing development in this area of the historic district. This request is compatible with the character of the Phillips Community Historic District because the construction of this additional home on the subject parcel will not detract from the existing pattern of development and streetscape along Bobo Road.

Approval Criteria

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

Applicant Response: “The proposed addition of a mobile home will not decrease the historic integrity of 2973, 2929, and 2939 Bennett Charles Rd because the mobile home is smaller than the existing home, will follow zoning guidelines, and maintain appropriate setbacks while upholding the appearance and function of the community.”

Approval Criteria

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

Staff Response: There are no identified Contributing Resources on the subject property, although in the vicinity of the subject parcel, the following properties were noted to contain Contributing Historic Resources: 2973 and 2929 Bennett Charles Road and 2928 Bobo Road. TMS 583-00-00-022, 2973 Bennett Charles Road, contains a c. 1950s three-by-two bay, one story frame bungalow. TMS 583-00-00-020, 2929 Bennett Charles Road, contains the House of Prayer Pentecostal Holiness Church, c. 1970. TM 583-00-00-217, 2928 Bobo Road, is significant for its c. 1950s three-by-three bungalow; what is now Bobo Road was built along the original driveway for this home. The proposed addition of this accessory dwelling unit on the subject parcel will not decrease the Historic Integrity of properties Contributing Resources due to the proposed location and scale of the proposed home. The proposed site for the new home is about 80 feet from the nearest property containing Contributing Resources, TMS 583-00-00-022, and about 210 feet from the actual Contributing Resource on that nearby property. Additionally, the one-story, just over 1,100-square foot accessory dwelling unit will not overwhelm the existing structures and will blend in well with the existing vernacular.

Approval Criteria

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Applicant Response: *“There are no negative impacts to contributing resources, therefore negative impacts are already minimized on the Historic District.”*

Staff Response: No negative impacts have been identified; therefore, this criterion has been met.

Staff Recommendation: Based on the applicant's responses, we believe the application meets the approval criteria. Therefore, Staff recommends approval.

Notifications

January 27, 2025:

- A sign was posted on the subject parcel.

January 31, 2025:

- 274 letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel and individuals on the Historic Preservation and the East Cooper Interested Parties Lists.
- This meeting was advertised in the Post and Courier.

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.
2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Commission Consideration

In granting a Certificate of Historic Appropriateness, the Commission shall seek to avoid Negative Impacts to the Historic Property or Historic District in the context of the designation ordinance for the applicable Historic Property or Historic District or as included in the NRHP listing.

- a. The Commission shall consider, among other things, the general design, the character and appropriateness of design, the height, scale and mass of the structure, the arrangement, texture, materials, and color of the structure in question, and the relation of such aspects, features and elements to similar aspects, features, and elements of structures in its historic Setting. The Commission may require the use of architectural techniques such as building façade and mass modulations or adjustments to the footprint of a structure on a site to achieve appropriate form and proportion of a structure in relation to its Setting, so long as such techniques do not unreasonably restrict the use of a site in light of its current zoning.
- b. For Properties and Districts listed on the NRHP, the Commission shall consider the areas of significance and Contributing Resources outlined in the NRHP nomination listing;
- c. For Properties and Districts on the Charleston County list of Historic Properties and Historic Districts, the Commission shall consider the criteria under which the County Council approved the designation application and identified Contributing Resources;

Commission Consideration

- d. When considering applications for Preservation, Rehabilitation, Restoration, or Reconstruction, the Commission shall consider the Secretary of the Interior's Standards for the Treatment of Historic Properties as contained in Section 21-9 of this Ordinance; and
- e. If the application involves a request for Demolition, the Commission shall consider the following:
- i. Whether the historic structure is of such architectural or historic significance that demolition would be contrary to the purpose of this Ordinance;
 - ii. Whether a structure within a Historic District contributes to the distinctive historic character of the district and the probable visual impact of its removal;
 - iii. The extent to which the structure is of such unusual or uncommon design, texture, or materials that it could not be reproduced or be reproduced only with great difficulty and/or expense;
 - iv. Consideration shall be given to economic hardship or to deprivation of reasonable use of the property;
 - v. Whether the demolition is necessary to facilitate a defined public purpose;
 - vi. Whether the request is a result of Demolition by Neglect; and
 - vii. The structural soundness and integrity of the structure and the feasibility for its restoration or rehabilitation so as to allow for its reasonable use.

Certificate of Historic Appropriateness – Application Form

Applicant Information

First Name: Rachel Last Name: Garrison-Green
Mailing Address: 2956 Bobo Rd., Mt. Pleasant, SC 29406
Home/Cell Phone #: (843) 534-6984
Email Address: lijnrach@gmail.com

Representative Information (if not being submitted by Applicant)

First Name: N/A Last Name:
Mailing Address:
Home/Cell Phone:
Email Address:

Property Information

Address: 2956 Bobo Rd., Mt. Pleasant, SC 29406
TMS #: 583-00-00-361 Acreage: 0.32
Plat Book/Page Number: S24 / 0270
Zoning District: Special Management (S-3)

Brief description of proposed activity requiring a Certificate of Historic Appropriateness:

I would like to add a small mobile home to the back, right corner of the lot. This will be in addition to the existing home.

I (we) certify that Rachel Garrison-Green is the authorized representative for my (our) Certificate of Historic Appropriateness application.

Rachel D. Garrison-Green
Signature of Applicant

12/28/2024
Date

Signature of Representative (if other than Applicant)

Date

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a complete description of the proposed design, including but not limited to, proposed building size, number of stories, architectural style, percentage of impervious surface coverage, and material choice, as applicable. The letter of intent shall also indicate if there are any Contributing Resources on the subject property. Please attach additional paper if more room is needed.

I hope this letter finds you well. I am writing to formally notify the Historic Preservation Division of my intention to add a 1-story, 1,162 sq ft mobile home to my property at 2956 Bobo Rd., Mt. Pleasant, SC 29466, which currently has an existing 1,247 sq ft single-family residence. The proposed mobile home will be constructed with vinyl siding, including a porch on the front and a small deck on the side that will serve as a secondary exit for the home. This addition is planned to be in compliance with all local building codes and zoning requirements, and I will ensure that the design and placement of the mobile home maintain the aesthetic of the existing structure and surrounding area. The entire project, including the existing home, will consist of approx. 21.5% of impervious surface coverage. This is under the 40% threshold explained to me by mapping and zoning. The shed that currently exists on the property is 64 sq ft and will be moved to accommodate the mobile home. I've contacted the arborist, Kyle Foster, to discuss my plans to cut the tree to the right of my current home and he confirmed my ability to cut the tree. There are no grand trees located on the lot. There are no Contributing Resources on the subject property. Thank you for your consideration of approval for this proposed addition to my property.

PART II: Provide a written statement addressing how the Certificate of Appropriateness request relates to and meets each criterion below. Please attach additional paper if more room is needed to respond appropriately.

Please note the following important terms, as defined in Sec. 21-10, *Terms and Uses Defined*, of the Historic Preservation Ordinance:

1. **Historic District** A geographically definable area, urban or rural, which contains sites, buildings, structures, objects, or works of art united historically or aesthetically by plan or physical development; demonstrates cultural cohesiveness; or a combination thereof as designated pursuant to this Ordinance.
2. **Historic Property** A Historic Site, Historic Building, Historic Structure, or Historic Object that is fixed in location, which reflects historic, cultural or architectural significance.
3. **Historic Integrity** The ability of a property to convey its historical associations or attributes including location, design, Setting, materials, workmanship, feeling, and association.
4. **Contributing Resource** A building, object, site, or structure in a Historic District or on a Historic Property that contribute to the District or Property's historical significance through location, design, Setting, materials, workmanship, and association.
5. **Negative Impact** Adversely changing the quality of the historical, architectural, or cultural significance of a resource, or the characteristics that qualify the resource as historically important.

1. ***The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.***

The mobile home is compatible with the historic, cultural, and architectural character of the Phillips Community because a good portion of the surrounding homes are mobile homes. The mobile home that I would like to add is modest in design and is 1-story, similar to the ones in the area.

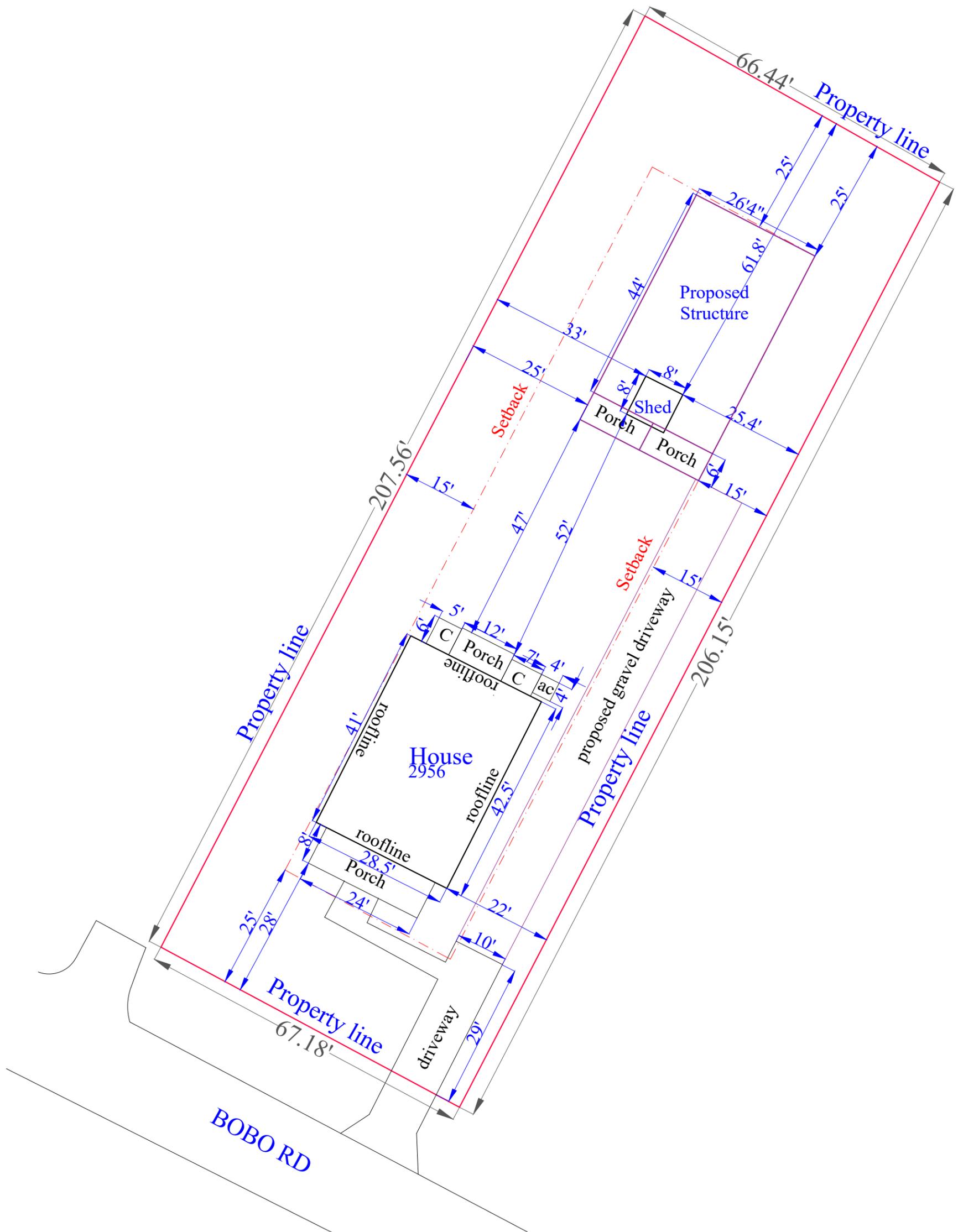
2. *The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.*

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, *Commission Consideration*.

The proposed addition of a mobile home will not decrease the historic integrity of 2973, 2929, and 2939 Bennett + Charles Rd. because the mobile home is smaller than the existing home, will follow zoning guidelines, and maintain appropriate setbacks while upholding the appearance and function of the community.

3. *Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.*

There are no negative impacts to contributing resources, therefore negative impacts are already minimized on the Historic District.

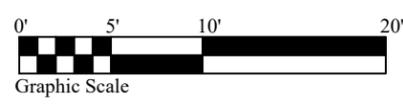


Parcel No. (APN) 583-00-00-361
Land Use RESIDENTIAL
SINGLE FAMILY RESIDENCE
Lot Area 13,822 SF (0.32 ACRES)

ADDRESS: 2956 BOBO RD
MOUNT PLEASANT, SC 29466
Scale: 1"=20'

IMPERVIOUS SURFACE CALCULATION

Total Surface - Lot area: 13,822 sq.ft. (0.320 ACRES)
Total Impervious Surface: 3,258 sq. ft. (0.074 ACRES)
Impervious Surface = 3,258 / 13,822 = 0.23571 = 23.57%



THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE
This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.



SCENIC LAKEVIEW ELITE

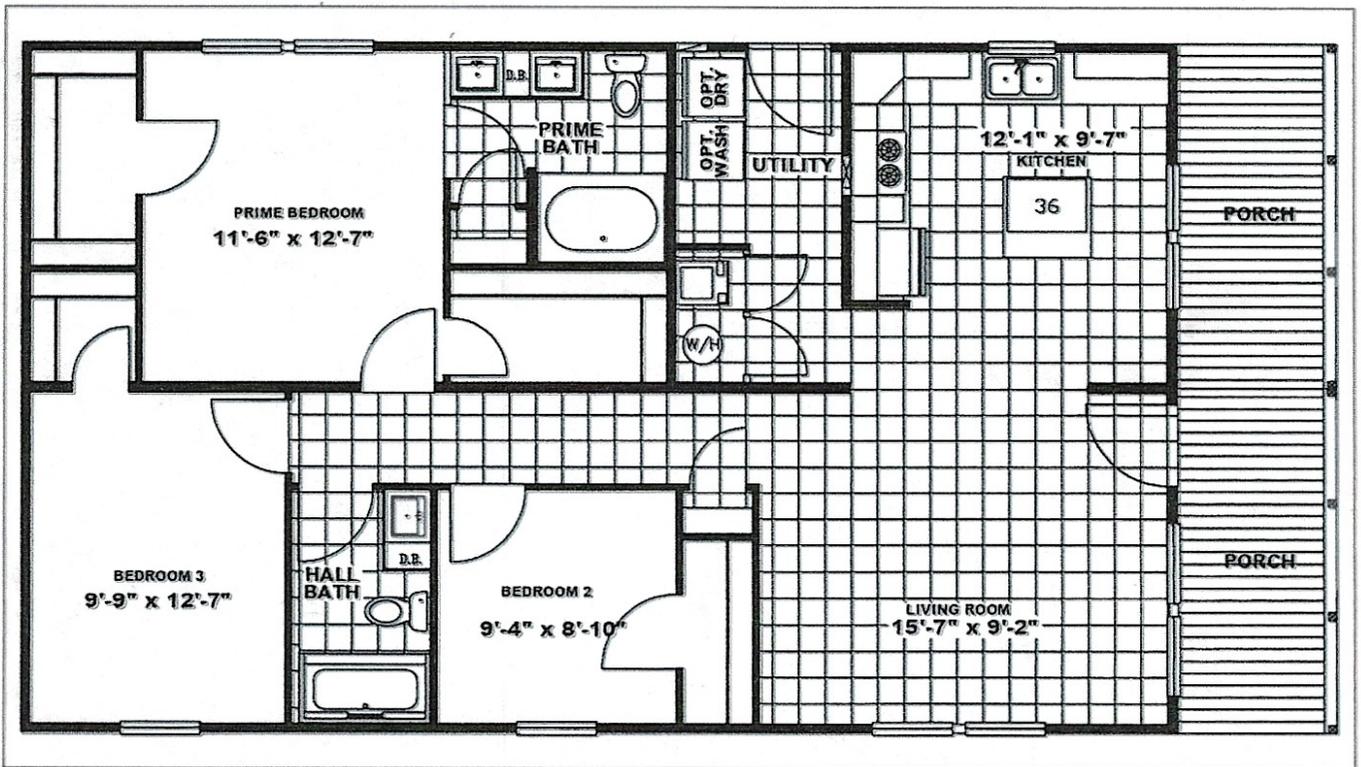
27SSE28503AH

3 beds • 2 baths

1,162 sq. ft.



*2024
NOV 13
Permit
Kabelynn*



(843) 899-6146

Monday - Friday: 9am to 5pm

Saturday: 9am to 5pm Sunday: Closed

OAKWOOD HOMES-MONCKS CORNER

1224 S LIVE OAK DRIVE

MONCKS CORNER, SC 29461

Our home building facilities invest in continuous product and process improvements. Plans, dimensions, features, materials, specifications, and availability are subject to change without notice or obligation. Renderings and floor plans are representative likenesses of our homes and many differ from actual homes. We invite you to tour a Home Center near you and inspect the highest value in quality housing available or call (843) 899-6146 to speak with a Home Consultant. ©2024, CMH. All rights reserved.

**Certificate of Historic
Appropriateness Application:
HIST-01-25-00127**

- Case History**
- Presentation**
- Application**

**CERTIFICATE OF HISTORIC APPROPRIATENESS: HIST-01-25-00127
CASE HISTORY**

Historic Preservation Commission: February 19, 2025

CASE INFORMATION

Location: 3910 Nelson View Drive

Parcel Identification: 614-00-00-189

Council District: 2 - Kobrovsky

Property Size: 0.79 acres

Application: Certificate of Historic Appropriateness request for the construction of a new single-family dwelling unit with attached garage and an inground pool at TMS 614-00-00-189, 3910 Nelson View Drive, a property within the Ten Mile Community Historic District.

Parcel Information and Area Description: The subject property is zoned Special Management (S-3) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. All surrounding properties are also zoned S-3 and contain single-family dwelling units or are undeveloped. The subject parcel is in the X flood zone.

Historic Significance:

- On June 21, 2022, Charleston County adopted the 10 Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.
- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, 10 Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Project Description:

Applicant's Project Description: *"The proposed improvements to the lot were carefully designed to respect and enhance the unique cultural and historical significance of the Ten Mile community, which has been designated as a Historic District due to its strong cultural heritage and identity as a freedman settlement. These improvements are compatible with the existing community in the following ways:*

Alignment with the Community's Historical Character:

The Ten Mile community is historically significant as a freedman settlement with deep cultural roots dating back to the 1800s. The community's story reflects resilience, independence, and self-sufficiency, which are expressed through its historic settlement patterns, family homes, and the enduring ownership of property. The proposed timeless traditional two-story, single-family home continues this legacy by supporting the community's emphasis on homeownership and family-oriented living, preserving the neighborhood's long-standing residential character.

Respect for Scale and Aesthetic Harmony:

The proposed home's scale and design are timeless and correct for any period in the last 200 years, featuring a two-story structure with a pitched roof, wood framing, and Hardie board siding, reflect the simple, functional, and cohesive architectural characteristics that have historically defined the area. The use of these materials and architectural choices ensures the home complements the existing community's aesthetic without introducing elements that are incongruous with its historic environment.

Maintaining the Cultural Landscape:

The Ten Mile community has historically maintained a sense of openness and connection with its surroundings, characterized by modest homes on larger lots that reflect rural and residential settlement patterns. By limiting impervious surface coverage to 20.3% and integrating features such as a backyard pool within the overall lot design, the proposal respects the traditional spatial organization of the community.

Preservation of Community Significance:

The Ten Mile community has been recognized for its historical significance as a settlement founded by freed slaves, many of whom became skilled tradespeople, veterans and landowners. By constructing a family home that aligns with these values, the project reinforces the cultural importance of homeownership and community ties, which are vital elements of the community's history and identity.

Consistency with the Historic Designation Goals:

The designation of the Ten Mile community as a Historic District emphasizes the preservation of its cultural heritage, including settlement patterns, family connections, and self-reliance. The proposed improvements adhere to these goals by maintaining the residential character of the area and ensuring that the new home integrates seamlessly with the existing neighborhood.

No Negative Impact on Contributing Resources:

As noted in the case history, the property does not contain any identified Contributing Resources, and the proposed improvements are designed to avoid any negative impacts on the broader historic district. Instead, the home contributes positively to the district's legacy by supporting the continuation of its residential use in a manner consistent with the community's historical and cultural values.

In conclusion, the proposed improvements honor the rich cultural and historical significance of the Ten Mile community by maintaining its residential character, aligning with its historic settlement patterns, and respecting its cultural heritage. The design strikes a balance between functionality and historical sensitivity, ensuring it complements the unique identity of this historically significant district.

Architectural style: Traditional two-story single family 4 bed, 4 bath, 3 car attached garage home on a slab foundation with a backyard pool. The proposed building size is 70'10" width and 76' 2" depth. The percentage of impervious surface coverage is: 20.3% Material choice: Wood framing, Hardie board siding, with architectural roof.

There are no contributing resources on the property. The property is located in X-Flood Zone."

Certificate of Historic Appropriateness Requirements:

The Charleston County Code of Ordinances, Chapter 21, Historic Preservation, Sec. 21-5.B, *Applicability*, states, "Review and determination of Certificates of Historic Appropriateness by the Commission pursuant to the requirements and processes of this Section and as determined by the Historic Preservation Officer is required prior to the following: a. Site Plan Review and Limited Site Plan Review approvals for Historic Properties and properties within Historic Districts, with the exception of short-term rental zoning permit applications. b. Site Plan Review approvals for properties located within 300 feet of a Historic Property or Historic District, except that Certificates of Historic Appropriateness are not required for Limited Site Plan Review applications pursuant to Article 3.7, Site Plan Review, of the Charleston County Zoning and Land Development Regulations Ordinance and short-term rental zoning permit applications for properties within 300 feet of a Historic Property or Historic District. The issuance of zoning permits on a Historic Property or a property located in a Historic District. The following specific types of zoning permit applications are exempt from the Certificate of Historic Appropriateness requirements of this Ordinance: i. The proposed work is part of a project undertaken by Charleston County Public Works and the subject property(ies) do not contain identified Contributing Resources; ii. Historic markers/signs; iii. Existing Communications Towers where no changes to the lease area or equipment area are proposed; iv. Face changes for existing, legally permitted Signs; v. Home Occupations; vi. Permits for Tree Removal that meet the requirements of the Charleston County Zoning and Land Development Regulations Ordinance; vii. Use changes that do not require Site

Plan Review approval; viii. Sweetgrass basket stands; ix. Short-term rentals; x. Power Poles where no Alteration, modification, addition to, new construction, Rehabilitation, relocation, or Restoration is proposed; xi. Temporary Special Events; xii. Temporary uses and structures; and xiii. Proposed work that does not include changes to the architecture, site layout, or building size/configuration and that is not located on a property containing a Contributing Resource as determined by the Historic Preservation Officer. d. The issuance of zoning permits for the Demolition of structures on Historic Property(ies) or on property(ies) located in a Historic District when the structure proposed for Demolition has been noted as a Contributing Resource on the National Register of Historic Places listing or by the County Council. The issuance of any zoning permit for: i. Clearing and grubbing of one acre or more on Historic Property(ies) or on property(ies) located in a Historic District; and ii. For clearing and grubbing on Historic Property(ies) or on property(ies) located in a Historic District when there is a Contributing Resource on the subject property or an adjacent property. The clearing and grubbing application must illustrate the proposed development for which the clearing and grubbing is requested. A Certificate of Historic Appropriateness is not required for clearing and grubbing applications associated with an approved development plan or violation.”

Sec. 21-5.1, *Approval Criteria*, states “In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met: a. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council; b. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources; and c. Any negative impacts to the applicable Historic Property or Historic District have been minimized and mitigated. For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, *Commission Considerations*.”

Zoning and Planning Director Review and Report regarding Approval Criteria of Sec. 21-5.1:

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

- 1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council;**

Applicant Response: “The proposed two-story single-family home in the Ten Mile Historic District has been carefully designed to align with the historic, cultural, and architectural significance of the district as defined by the Historic Preservation Ordinance.

Compatibility with Historic District Character

The home’s design incorporates traditional architectural elements and materials that are reflective of the district’s historical period and cultural significance. This includes maintaining a simple, symmetrical façade, appropriate roof pitch, and the use of historically relevant building materials, such as wood siding and brick accents, which complement the district’s architectural integrity.

Preservation of Historic Integrity

The proposed site and building improvements are consistent with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. The home will preserve the district’s historic integrity by ensuring that the location, design, setting, and materials are consistent with the historical context. The design respects the scale and massing of other structures within the district, avoiding disruption to the visual cohesiveness of the area. The proposed structure will be positioned to align with the existing street layout and lot boundaries, preserving the district’s historic spatial organization.

Contribution to the Historic District

The ranch style dwelling features an attractive façade with large porch, columns and brick accents which is in harmony with the existing wide lot, thus promoting a sense of socialization. By utilizing authentic materials and design features, the new construction enhances the district’s cultural cohesiveness and historical aesthetic without mimicking or detracting from existing historic properties.

Avoidance of Negative Impact

Every effort has been made to ensure the project does not negatively impact the historic, architectural, or cultural significance of the Ten Mile Historic District. This proposed construction will provide a single-family home which meets the criteria for the low density development and become an anchor to the community for generations. Additionally, this new construction will ultimately uplift the community in regard to increased equity valuations.

Adherence to NRHP and County Council Designation

The proposed home aligns with the National Register of Historic Places (NRHP) listing and the County Council's designation by respecting the unique historical attributes of the Ten Mile Historic District. This adherence ensures that the new construction fits seamlessly within the historic narrative of the district while meeting modern living standards.

The new home reflects a thoughtful balance between historical preservation and contemporary needs, contributing positively to the historical, cultural, and architectural significance of the Ten Mile Historic District.”

Staff Response: The proposed two-story single-family residence is reminiscent of the Craftsman style found throughout the Ten Mile Community Historic District with its covered front porch with square posts, gable roof, and board and batten siding. In this area of the Ten Mile Community Historic District, home sizes range from 1,136 to almost 5,700 square feet. At 2,823 square feet, the proposed home is consistent with existing development. Therefore, the site improvements would be compatible.

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Applicant Response: “The proposed two-story single-family home does not decrease the historic integrity of properties containing identified Contributing Resources for several reasons:

Cultural Significance Focus: The historic designation of the Ten Mile Historic District is rooted in its cultural significance, rather than its association with specific historic events, individuals, or existing historic structures. As such, the construction of the proposed home does not compromise any physical or architectural elements that contribute to the district's historic designation.

Respect for Historic Setting and Character: The home has been designed to align with the cultural and historical context of the district. It incorporates features such as appropriate materials, scale, and architectural style that complement the existing environment. This ensures that the historical feeling and association of the district remain intact.

No Impact on Identified Contributing Resources: Since there are no identified Contributing Resources on the property, the proposed improvements do not physically or visually alter or diminish any significant features or structures that contribute to the district's overall historic integrity.

Consistency with Historic Fabric: By maintaining consistency with the district's historical and cultural themes, the new home enhances the district's character rather than detracts from it. The proposed design respects the spatial organization and aesthetic qualities that define the area, preserving its cultural cohesiveness.

Adherence to Preservation Standards: The construction will adhere to the guidelines outlined in the Historic Preservation Ordinance, ensuring that no adverse effects occur on the integrity of neighboring properties or the district as a whole.

In conclusion, the proposed home is designed to harmonize with the district's historic and cultural significance, ensuring that the integrity of the area and its contributing resources are preserved and respected.”

Staff Response: There have been no identified Contributing Resources on the subject parcel or in the district, as a whole. The planned residence does not seem to affect any of the community's noteworthy characteristics included in the County Council designation, and it is in line with the design, scale, and mass of the current development in this section of the historic district. Moreover, the proposed site improvements will not adversely affect the Historic Integrity of the Ten Mile Community Historic District.

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Applicant Response: *“No Contributing Resources Impacted: The property contains no identified Contributing Resources, ensuring that no historically significant features are physically or visually altered.*

Preservation of District Character: *The proposed home’s design respects the Ten Mile Historic District’s cultural and architectural character, using appropriate materials, scale, and placement to harmonize with the district’s historic context.*

Minimized Disruption: *The construction process and final design align with preservation guidelines, ensuring no negative impact on the district’s cultural integrity, visual cohesiveness, or community experience.*

Mitigation of Visual Impact: *The home has been positioned and scaled to align with the district’s historical patterns, minimizing any potential visual impact on the surrounding area. The construction will not obstruct significant views, alter historical landscapes, or overshadow existing structures.*

In summary, the proposed home has been thoughtfully designed to harmonize with the Ten Mile Historic District’s cultural and architectural character. By respecting the district’s historic and cultural integrity, the project ensures no negative impacts occur and instead contributes positively to the district’s historical narrative.”

Staff Response: No negative impacts have been identified; therefore, this criterion has been met.

Based on the applicant’s responses, we believe the application meets the approval criteria. Therefore, Staff recommends approval.

HISTORIC PRESERVATION COMMISSION ACTION:

Pursuant to Chapter 21, *Historic Preservation*, Section §21-5.1, *Approval Criteria*, of the Charleston County Code of Ordinances, (adopted July 18, 2006), Certificates of Historic Appropriateness may be approved only if the Historic Preservation Commission finds that the proposed project meets all of the Approval Criteria of §21-5.1.

In granting a Certificate of Historic Appropriateness, the Historic Preservation Commission may attach to it conditions the Commission may consider advisable to protect the historic properties, districts, sites, buildings, structures, and objects within Charleston County in order to safeguard their integrity and foster their preservation, restoration, and rehabilitation, and other matters related thereto.

The Historic Preservation Commission may approve, approve with conditions, or deny *Case # HIST-01-25-00127: Certificate of Historic Appropriateness request for the construction of a new single-family dwelling unit with attached garage and an inground pool at TMS 614-00-00-189, 3910 Nelson View Drive, a property within the Ten Mile Community Historic District.*

HISTORIC PRESERVATION COMMISSION MEETING: February 19, 2025

Notifications: 247 notification letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, property owners within the Ten Mile Community Historic District, and individuals on the Historic Preservation Commission and East Cooper Interested Parties lists on January 31, 2025. A sign was posted on the subject parcel on January 31, 2025. Additionally, the request was noticed in the Post & Courier on January 31, 2025.

Certificate of Appropriateness Request HIST-01-25-00127

Parcel ID: 614-00-00-189

Acreage: 0.79 acres

Property Address: 3910 Nelson View Drive

Area: East Cooper

Applicant: Christopher Butcher

Representative: Michael Rooke

Request: Certificate of Historic Appropriateness request for the construction of a Single-Family dwelling unit with attached garage and inground pool at TMS 614-00-00-189, 3910 Nelson View Drive, a property within the Ten Mile Community Historic District.

Certificates of Historic Appropriateness Applications in the Ten Mile Community Historic District

HIST-11-22-00064	Denied	Request for construction of 21 Single-Family Dwelling Units	TMS 614-00-00-139
HIST-11-22-00065	Denied	Request for construction of 11 Single-Family Dwelling Units	TMS 614-00-00-069
HIST-11-22-00066	Denied	Request for construction of 10 Single-Family Dwelling Units	TMS 614-00-00-212
HIST-12-22-00068	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-611
HIST-03-23-00077	Approved	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-082
HIST-03-23-00078	Denied	Request for construction of a Single-Family Dwelling Unit	TMS 614-00-00-731
HIST-05-23-00083	Approved	Request for placement of a Mobile Home	TMS 614-00-00-733
HIST-06-23-00087	Deferred	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-189
HIST-07-23-00088	Approved	Request for construction of a Single-Family Dwelling Unit and outbuilding	TMS 615-00-00-021
HIST-08-23-00096	Approved	Request for the replacement of a legal nonconforming Mobile Home	TMS 632-00-00-011
HIST-09-23-00098	Approved	Request for the demolition of a Mobile Home	TMS 614-00-00-200
HIST-09-23-00100	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-732
HIST-12-23-00103	Denied	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-250
HIST-12-23-00104	Withdrawn by applicant	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-12-23-00105	Denied	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-768
HIST-02-24-00106	Approved	Request for the installation of roof-mounted solar panels	TMS 614-00-00-394
HIST-05-24-00110	Denied	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-767
HIST-09-24-00113	Approved	Request for retroactive rear exterior improvements to existing Single-Family Dwelling Unit	TMS 614-00-00-039
HIST-10-24-00117	Approved	Request for the construction of a Single-Family Dwelling Unit	TMS 614-00-00-138
HIST-10-24-00118	Approved	Request for the placement of a Mobile Home	TMS 614-00-00-203
HIST-10-24-00119	Denied	Request for the construction of a Single-Family Dwelling Unit & detached garage	TMS 614-00-00-107
HIST-10-24-00120	Denied	Request for the construction of a Single-Family Dwelling Unit & detached garage	TMS 614-00-00-770
HIST-10-24-00121	Denied	Request for the construction of a Single-Family Dwelling Unit & detached garage	TMS 614-00-00-771
HIST-10-24-00122	Approved	Request for the construction of an inground swimming pool	TMS 614-00-00-763
HIST-09-24-00115	Approved	Request for the for a new single-family dwelling unit with attached garage, as well as the retroactive expansion of an existing accessory structure	TMS 615-00-00-013

Project Description

Applicant's Project Description: *"The proposed improvements to the lot were carefully designed to respect and enhance the unique cultural and historical significance of the Ten Mile community, which has been designated as a Historic District due to its strong cultural heritage and identity as a freedman settlement. These improvements are compatible with the existing community in the following ways:*

Alignment with the Community's Historical Character:

The Ten Mile community is historically significant as a freedman settlement with deep cultural roots dating back to the 1800s. The community's story reflects resilience, independence, and self-sufficiency, which are expressed through its historic settlement patterns, family homes, and the enduring ownership of property. The proposed timeless traditional two-story, single-family home continues this legacy by supporting the community's emphasis on homeownership and family-oriented living, preserving the neighborhood's long-standing residential character.

Respect for Scale and Aesthetic Harmony:

The proposed home's scale and design are timeless and correct for any period in the last 200 years, featuring a two-story structure with a pitched roof, wood framing, and Hardie board siding, reflect the simple, functional, and cohesive architectural characteristics that have historically defined the area. The use of these materials and architectural choices ensures the home complements the existing community's aesthetic without introducing elements that are incongruous with its historic environment.

Maintaining the Cultural Landscape:

The Ten Mile community has historically maintained a sense of openness and connection with its surroundings, characterized by modest homes on larger lots that reflect rural and residential settlement patterns. By limiting impervious surface coverage to 20.3% and integrating features such as a backyard pool within the overall lot design, the proposal respects the traditional spatial organization of the community."

Project Description

Applicant's Project Description: ***“Preservation of Community Significance:***

The Ten Mile community has been recognized for its historical significance as a settlement founded by freed slaves, many of whom became skilled tradespeople, veterans and landowners. By constructing a family home that aligns with these values, the project reinforces the cultural importance of homeownership and community ties, which are vital elements of the community's history and identity.

Consistency with the Historic Designation Goals:

The designation of the Ten Mile community as a Historic District emphasizes the preservation of its cultural heritage, including settlement patterns, family connections, and self-reliance. The proposed improvements adhere to these goals by maintaining the residential character of the area and ensuring that the new home integrates seamlessly with the existing neighborhood.

No Negative Impact on Contributing Resources:

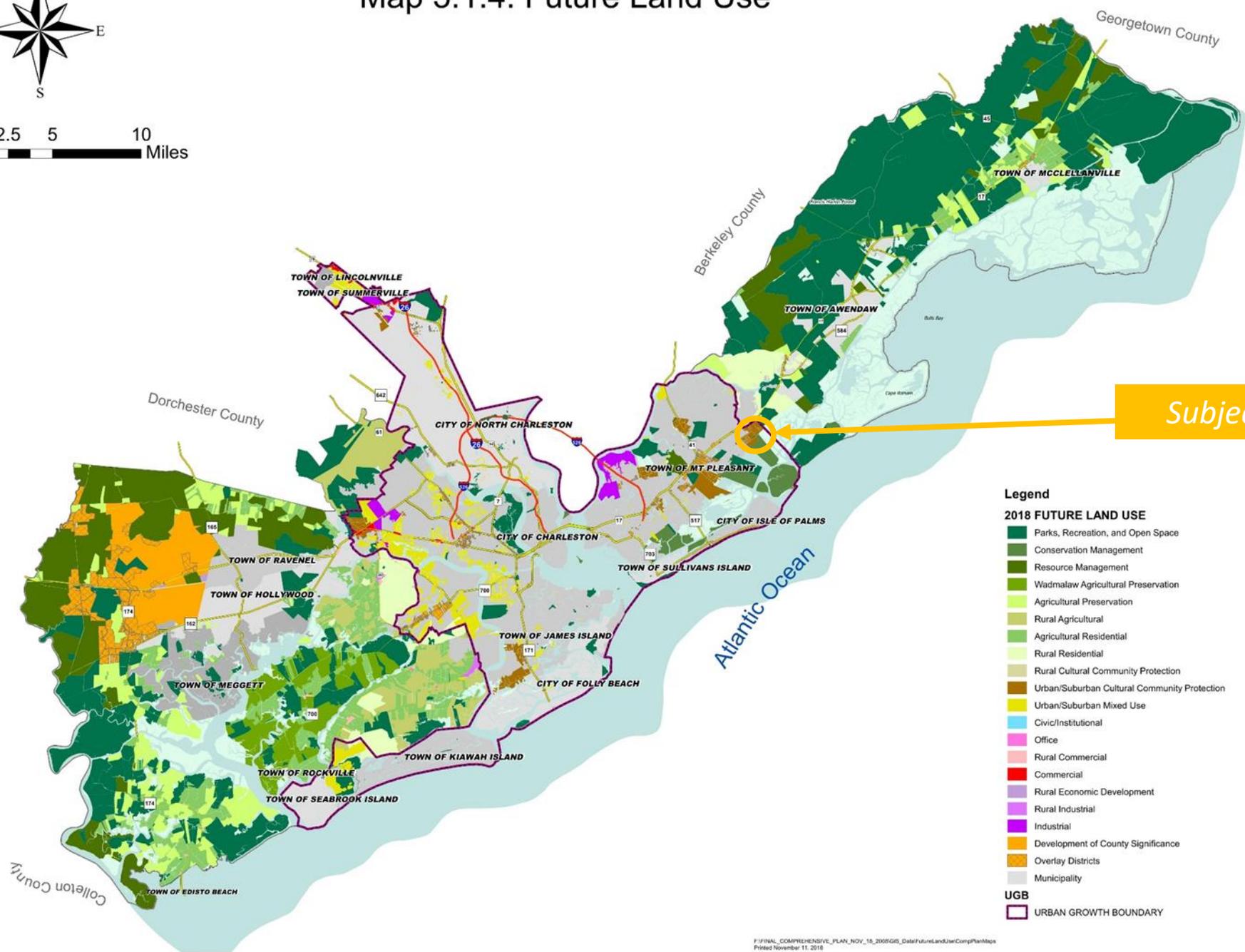
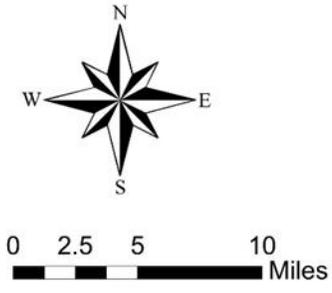
As noted in the case history, the property does not contain any identified Contributing Resources, and the proposed improvements are designed to avoid any negative impacts on the broader historic district. Instead, the home contributes positively to the district's legacy by supporting the continuation of its residential use in a manner consistent with the community's historical and cultural values.

In conclusion, the proposed improvements honor the rich cultural and historical significance of the Ten Mile community by maintaining its residential character, aligning with its historic settlement patterns, and respecting its cultural heritage. The design strikes a balance between functionality and historical sensitivity, ensuring it complements the unique identity of this historically significant district.

Architectural style: Traditional two-story single family 4 bed, 4 bath, 3 car attached garage home on a slab foundation with a backyard pool. The proposed building size is 70'10" width and 76' 2" depth. The percentage of impervious surface coverage is: 20.3% Material choice: Wood framing, Hardie board siding, with architectural roof.

There are no contributing resources on the property. The property is located in X-Flood Zone.”

Map 3.1.4: Future Land Use



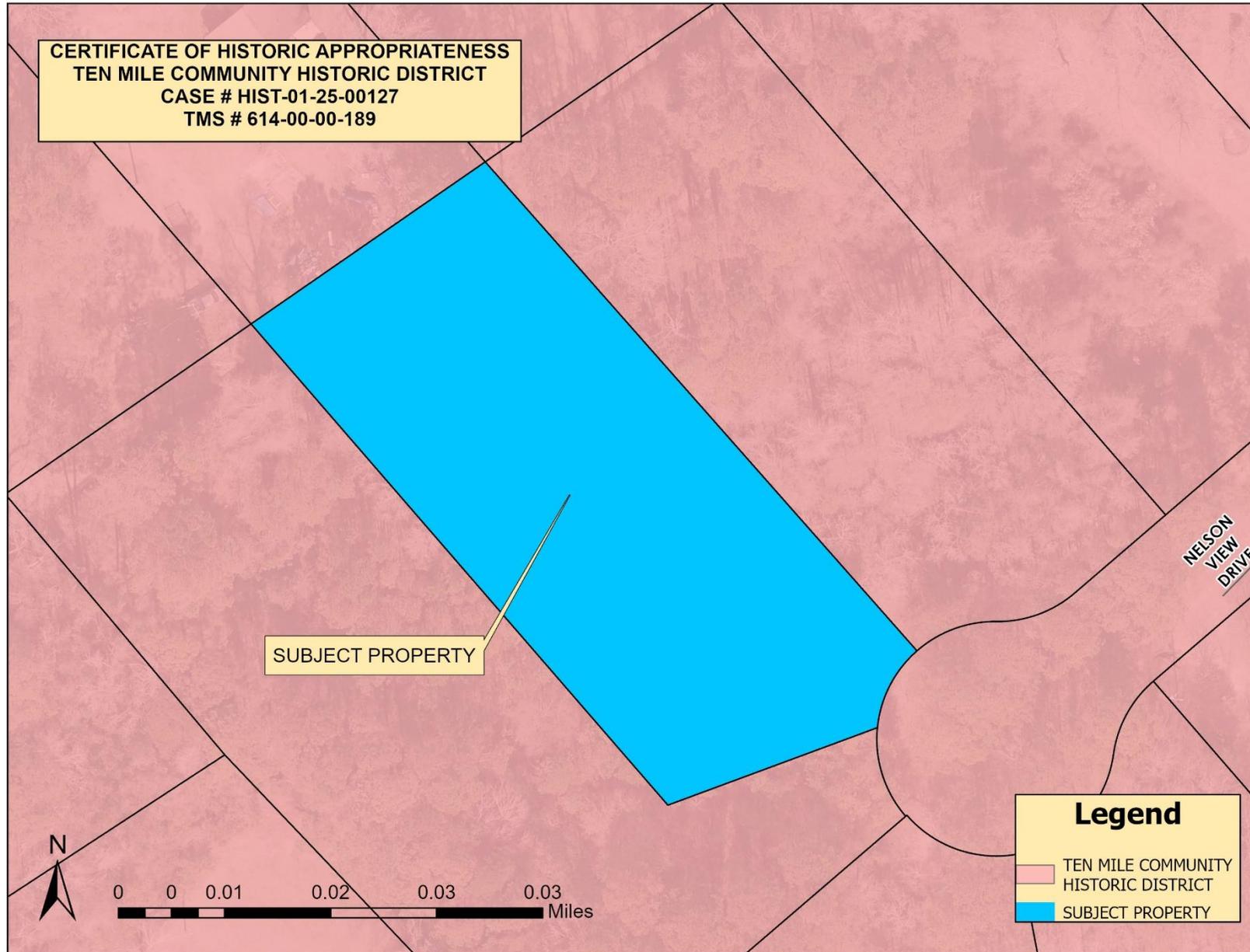
Subject Parcel

- Legend**
- 2018 FUTURE LAND USE**
- Parks, Recreation, and Open Space
 - Conservation Management
 - Resource Management
 - Wadmalaw Agricultural Preservation
 - Agricultural Preservation
 - Rural Agricultural
 - Agricultural Residential
 - Rural Residential
 - Rural Cultural Community Protection
 - Urban/Suburban Cultural Community Protection
 - Urban/Suburban Mixed Use
 - Civic/Institutional
 - Office
 - Rural Commercial
 - Commercial
 - Rural Economic Development
 - Rural Industrial
 - Industrial
 - Development of County Significance
 - Overlay Districts
 - Municipality
- UGB**
- URBAN GROWTH BOUNDARY

Ten Mile Community Historic District



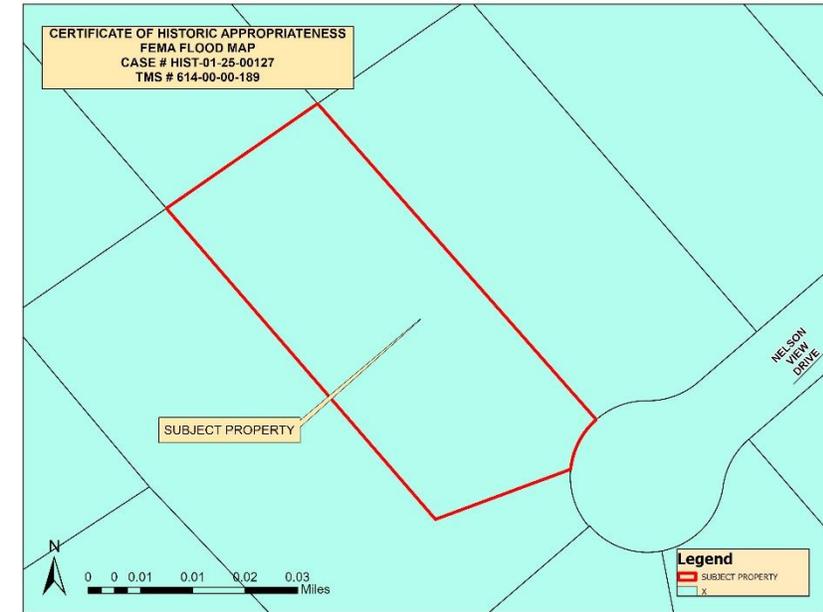
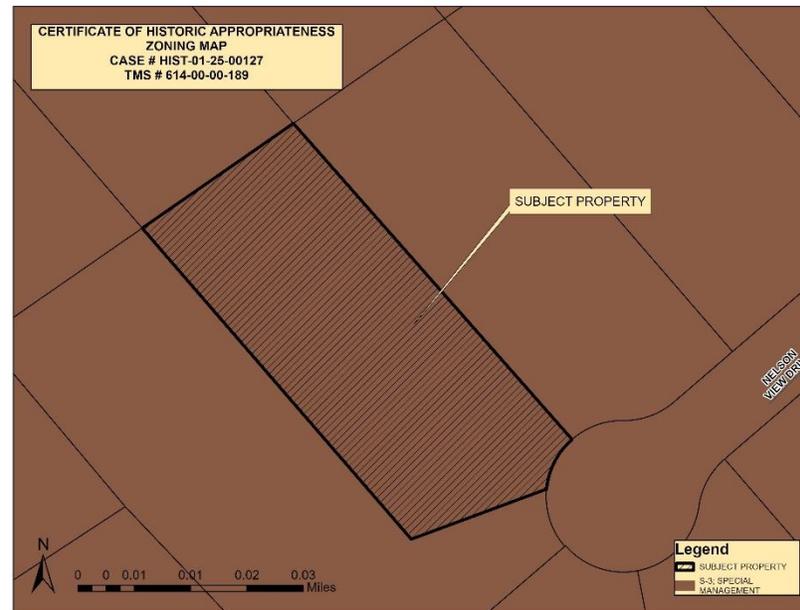
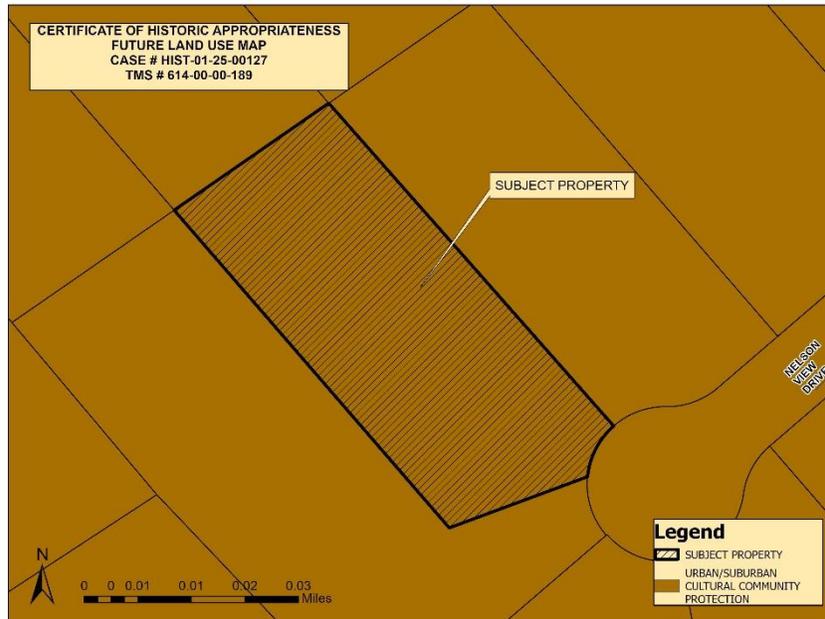
Ten Mile Community Historic District



10 Mile Community Historic Significance

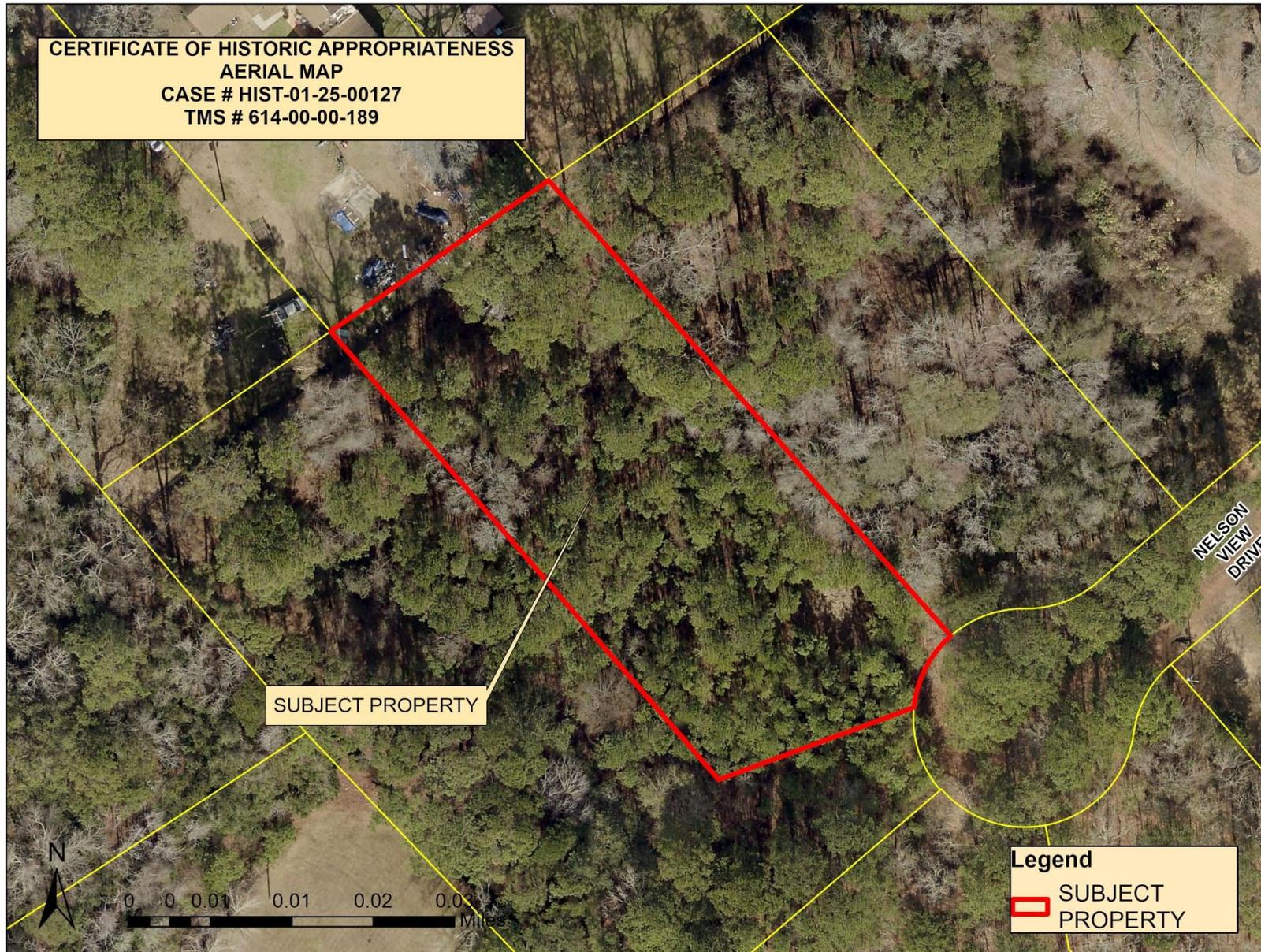
- On June 21, 2022, Charleston County adopted the 10 Mile Community as a locally designated historic district. At adoption, the district covered roughly 680 acres.
- The Ten Mile Community was recognized in the 2016 Charleston County Cultural Resources Survey Update as a remnant freedman community having significant social organization and settlement patterns. The Survey identifies the community as needing further research to determine eligibility for listing on the National Register of Historic Places.
- Community includes land originally part of the Beehive Plantation; was established by freedman after emancipation.
- As with most African American settlement communities, 10 Mile was self-sufficient and relied on using the skills of its residents. The families who established the Ten Mile Community were hunters, farmers, carpenters, plumbers, seamstresses, cooks, midwives and entrepreneurs.
- Many of the former (and current) residents of the Ten Mile Community served in the United States Military. Ten Mile residents defended the U.S. in World War I, World War II, the Vietnam War, the Gulf War, the Iraq War, and the War in Afghanistan.

Future Land Use, Zoning, and FEMA Flood Designation



The subject property is zoned Special Management (S-3) and is undeveloped. The Future Land Use designation is Urban/Suburban Cultural Community Protection. All surrounding properties are also zoned S-3 and contain single-family dwelling units or are undeveloped. The subject parcel is in the X flood zone.

Aerial View



Site Photos- Subject Property



TMS 614-00-00-189
3910 Nelson View Drive

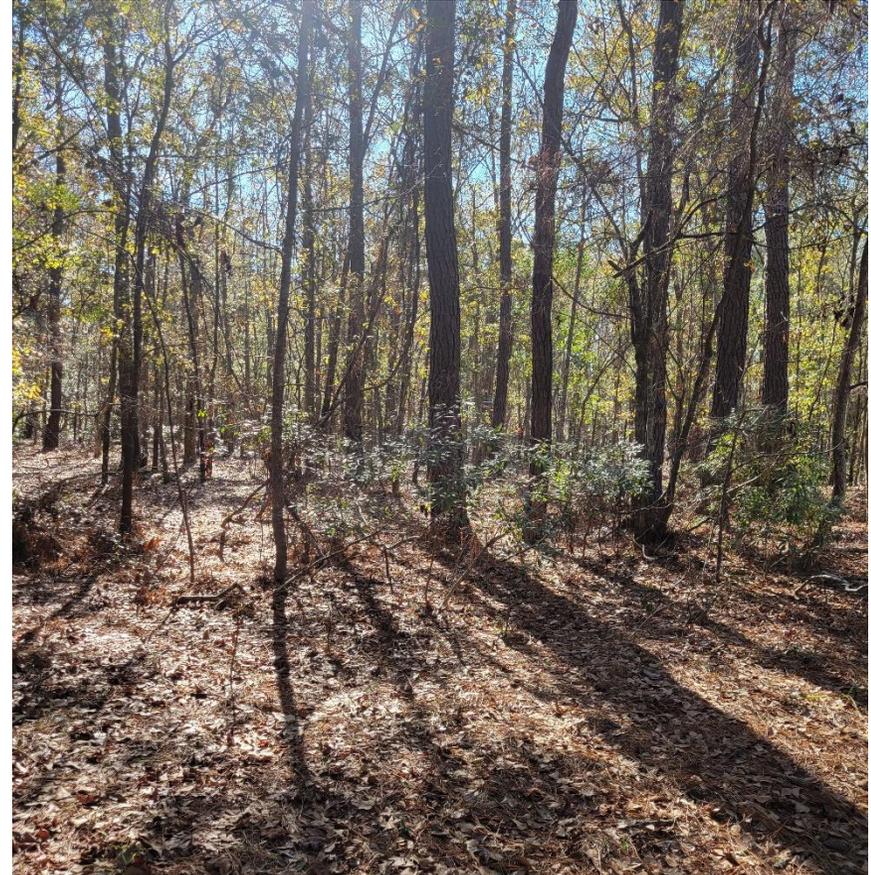


TMS 614-00-00-189
3910 Nelson View Drive

Site Photos- Neighboring Properties



TMS 614-00-00-190
3904 Nelson View Drive



TMS 614-00-00-192
3909 Nelson View Drive

Site Photos- Surrounding Properties

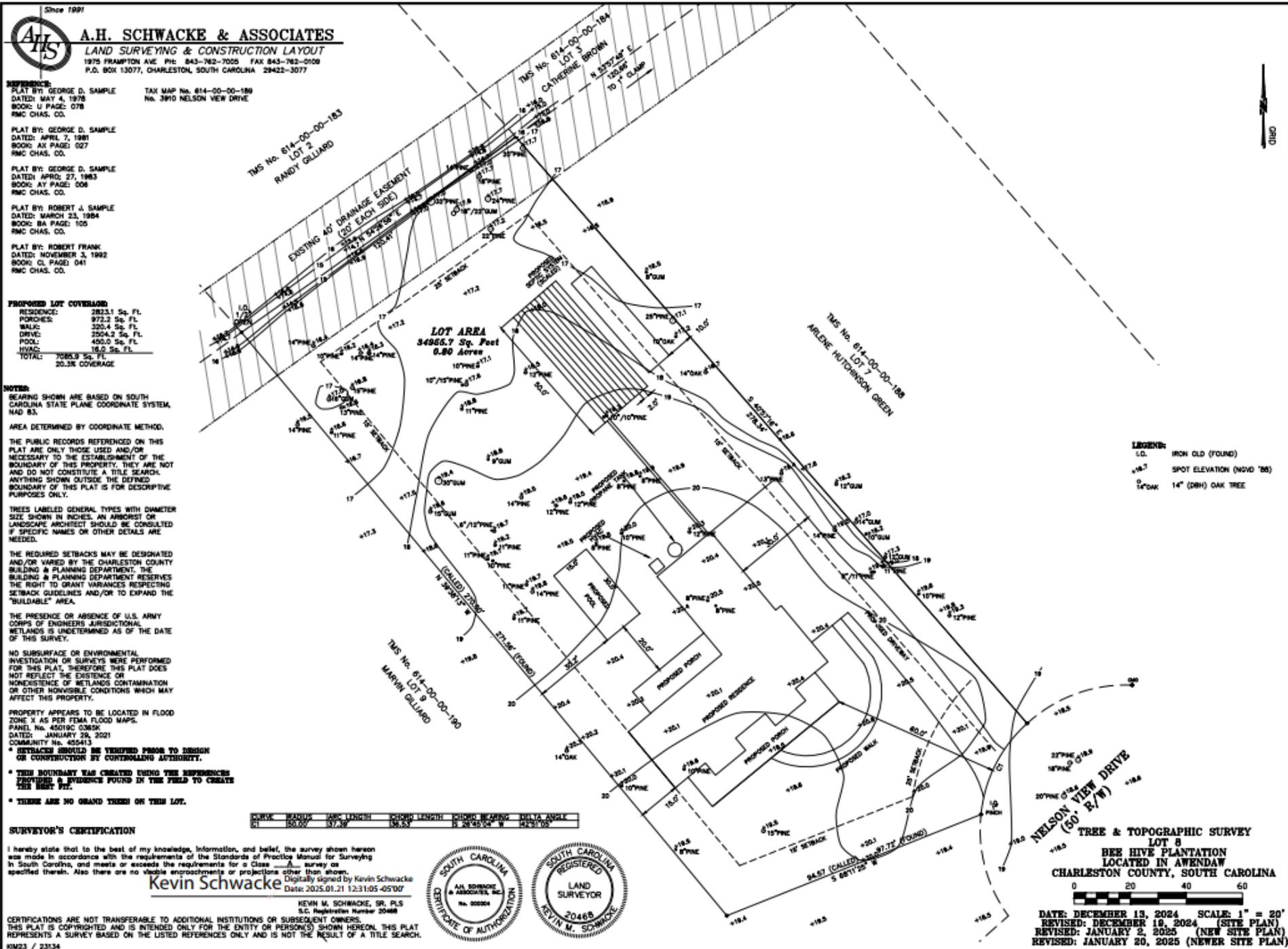


TMS 614-00-00-193
3915 Nelson View Drive

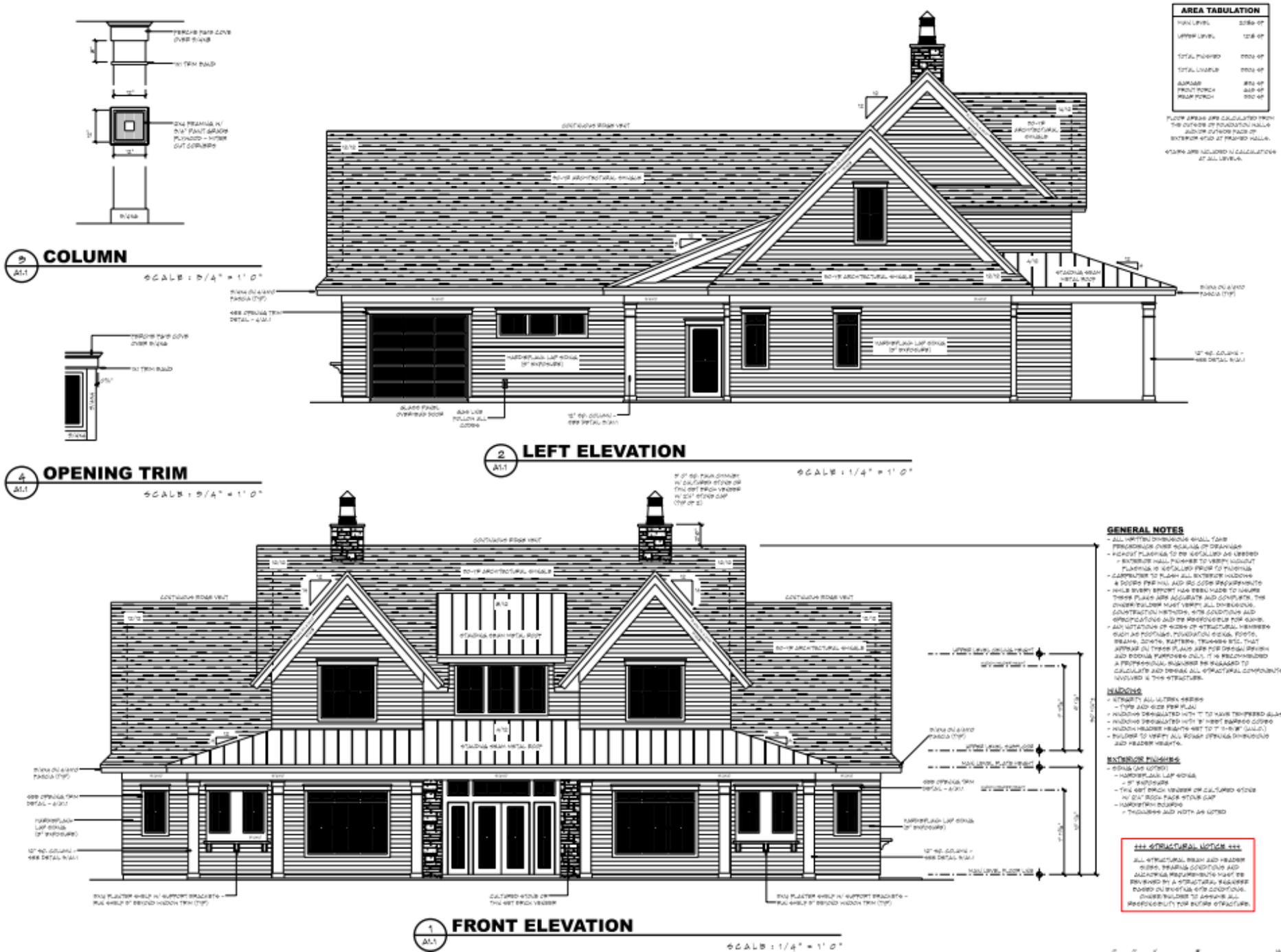


TMS 614-00-00-194
3921 Nelson View Drive

Site Plan



Left and Front Elevations



Right and Rear Elevations



AREA TABULATION	
FLOOR LEVEL	5086 SF
UPPER LEVEL	1258 SF
TOTAL FLOORED	6344 SF
TOTAL LINENR	6344 SF
APRONS	880 SF
FRONT PORCH	880 SF
REAR PORCH	880 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR WID AT FINISH FLOOR. STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

2 RIGHT ELEVATION

SCALE: 1/4" = 1' 0"



1 REAR ELEVATION

SCALE: 1/4" = 1' 0"

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PERPENDICULAR OVER MEASUREMENTS
- HEAD OF FLASHING TO BE INSTALLED AS SHOWN
- EXTERIOR WALL FINISH TO VERIFY SLOOT FLASHING IS INSTALLED FROM EXTERIOR
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER IBC AND IRC CODE REQUIREMENTS
- WHILE EVERY EFFORT HAS BEEN MADE TO MAKE THESE PLANS ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, ETC. CONFORMANCE AND APPROPRIATE AND REFERABLE FOR SAME.
- ALL NOTATIONS OF KINDS OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS, BATTENS, TRUSSES ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE RETAINED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THE STRUCTURE.

WINDOWS

- VERIFY ALL WINDOW SIZES
- TYPE AND SIZE PER PLAN
- WINDOWS DESIGNATED WITH "T" TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH "B" MUST BE BURGLAR COVER
- WINDOW HEADER HEIGHTS SET TO 7'-0" (MIN.)
- BUILDER TO VERIFY ALL WINDOW OPENINGS DIMENSIONS AND HEADER HEIGHTS.

EXTERIOR FINISHES

- SIDING PER NOTES
- HORIZONTAL LAP SIDING
- 8" SPACERS
- THE 48" DEEP VENDOR OF CULTURED STONE ON 24" SOUL FACE STONE CAP
- HARDENED CONCRETE
- THICKNESS AND WIDTH AS NOTED

***** STRUCTURAL NOTICE *****
 ALL STRUCTURAL BEAM AND HEADER SIZES, SPACING CONDITIONS AND CALCULUS REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR EXISTING STRUCTURE.

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.

Applicant Response: *“The proposed two-story single-family home in the Ten Mile Historic District has been carefully designed to align with the historic, cultural, and architectural significance of the district as defined by the Historic Preservation Ordinance.*

Compatibility with Historic District Character

The home’s design incorporates traditional architectural elements and materials that are reflective of the district’s historical period and cultural significance. This includes maintaining a simple, symmetrical façade, appropriate roof pitch, and the use of historically relevant building materials, such as wood siding and brick accents, which complement the district’s architectural integrity.

Preservation of Historic Integrity

The proposed site and building improvements are consistent with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. The home will preserve the district’s historic integrity by ensuring that the location, design, setting, and materials are consistent with the historical context. The design respects the scale and massing of other structures within the district, avoiding disruption to the visual cohesiveness of the area. The proposed structure will be positioned to align with the existing street layout and lot boundaries, preserving the district’s historic spatial organization.”

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.

Applicant Response: ***“Contribution to the Historic District***

The ranch style dwelling features an attractive façade with large porch, columns and brick accents which is in harmony with the existing wide lot, thus promoting a sense of socialization. By utilizing authentic materials and design features, the new construction enhances the district’s cultural cohesiveness and historical aesthetic without mimicking or detracting from existing historic properties.

Avoidance of Negative Impact

Every effort has been made to ensure the project does not negatively impact the historic, architectural, or cultural significance of the Ten Mile Historic District. This proposed construction will provide a single-family home which meets the criteria for the low density development and become an anchor to the community for generations. Additionally, this new construction will ultimately uplift the community in regard to increased equity valuations.

Adherence to NRHP and County Council Designation

The proposed home aligns with the National Register of Historic Places (NRHP) listing and the County Council’s designation by respecting the unique historical attributes of the Ten Mile Historic District. This adherence ensures that the new construction fits seamlessly within the historic narrative of the district while meeting modern living standards.

The new home reflects a thoughtful balance between historical preservation and contemporary needs, contributing positively to the historical, cultural, and architectural significance of the Ten Mile Historic District.”

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.

Staff Response: The proposed two-story single-family residence is reminiscent of the Craftsman style found throughout the Ten Mile Community Historic District with its covered front porch with square posts, gable roof, and board and batten siding. In this area of the Ten Mile Community Historic District, home sizes range from 1,136 to almost 5,700 square feet. At 2,823 square feet, the proposed home is consistent with existing development. Therefore, the site improvements would be compatible.

Approval Criteria

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

Applicant Response: “The proposed two-story single-family home does not decrease the historic integrity of properties containing identified Contributing Resources for several reasons:

Cultural Significance Focus: *The historic designation of the Ten Mile Historic District is rooted in its cultural significance, rather than its association with specific historic events, individuals, or existing historic structures. As such, the construction of the proposed home does not compromise any physical or architectural elements that contribute to the district’s historic designation.*

Respect for Historic Setting and Character: *The home has been designed to align with the cultural and historical context of the district. It incorporates features such as appropriate materials, scale, and architectural style that complement the existing environment. This ensures that the historical feeling and association of the district remain intact.*

No Impact on Identified Contributing Resources: *Since there are no identified Contributing Resources on the property, the proposed improvements do not physically or visually alter or diminish any significant features or structures that contribute to the district’s overall historic integrity.”*

Approval Criteria

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

*Applicant Response: “**Consistency with Historic Fabric:** By maintaining consistency with the district’s historical and cultural themes, the new home enhances the district’s character rather than detracts from it. The proposed design respects the spatial organization and aesthetic qualities that define the area, preserving its cultural cohesiveness.*

***Adherence to Preservation Standards:** The construction will adhere to the guidelines outlined in the Historic Preservation Ordinance, ensuring that no adverse effects occur on the integrity of neighboring properties or the district as a whole.*

In conclusion, the proposed home is designed to harmonize with the district’s historic and cultural significance, ensuring that the integrity of the area and its contributing resources are preserved and respected.”

Approval Criteria

2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

Staff Response: There have been no identified Contributing Resources on the subject parcel or in the district, as a whole. The planned residence does not seem to affect any of the community's noteworthy characteristics included in the County Council designation, and it is in line with the design, scale, and mass of the current development in this section of the historic district. Moreover, the proposed site improvements will not adversely affect the Historic Integrity of the Ten Mile Community Historic District.

Approval Criteria

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Applicant Response: *“No Contributing Resources Impacted: The property contains no identified Contributing Resources, ensuring that no historically significant features are physically or visually altered.*

Preservation of District Character: The proposed home’s design respects the Ten Mile Historic District’s cultural and architectural character, using appropriate materials, scale, and placement to harmonize with the district’s historic context.

Minimized Disruption: The construction process and final design align with preservation guidelines, ensuring no negative impact on the district’s cultural integrity, visual cohesiveness, or community experience.

Mitigation of Visual Impact: The home has been positioned and scaled to align with the district’s historical patterns, minimizing any potential visual impact on the surrounding area. The construction will not obstruct significant views, alter historical landscapes, or overshadow existing structures.

In summary, the proposed home has been thoughtfully designed to harmonize with the Ten Mile Historic District’s cultural and architectural character. By respecting the district’s historic and cultural integrity, the project ensures no negative impacts occur and instead contributes positively to the district’s historical narrative.”

Staff Response: No negative impacts have been identified; therefore, this criterion has been met.

Staff Recommendation: Based on the applicant's responses, we believe the application meets the approval criteria. Therefore, Staff recommends approval.

Notifications

January 31, 2025:

- A sign was posted on the subject parcel.

January 31, 2025:

- 247 letters were sent to owners of property located within 300 feet of the boundaries of the subject parcel, individuals on the Historic Preservation and the East Cooper Interested Parties Lists.
- This meeting was advertised in the Post and Courier.

Approval Criteria

In order for a Certificate of Historic Appropriateness to be approved, all of the following approval criteria must be met:

1. The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.
2. The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, Commission Consideration.

3. Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.

Commission Consideration

In granting a Certificate of Historic Appropriateness, the Commission shall seek to avoid Negative Impacts to the Historic Property or Historic District in the context of the designation ordinance for the applicable Historic Property or Historic District or as included in the NRHP listing.

- a. The Commission shall consider, among other things, the general design, the character and appropriateness of design, the height, scale and mass of the structure, the arrangement, texture, materials, and color of the structure in question, and the relation of such aspects, features and elements to similar aspects, features, and elements of structures in its historic Setting. The Commission may require the use of architectural techniques such as building façade and mass modulations or adjustments to the footprint of a structure on a site to achieve appropriate form and proportion of a structure in relation to its Setting, so long as such techniques do not unreasonably restrict the use of a site in light of its current zoning.
- b. For Properties and Districts listed on the NRHP, the Commission shall consider the areas of significance and Contributing Resources outlined in the NRHP nomination listing;
- c. For Properties and Districts on the Charleston County list of Historic Properties and Historic Districts, the Commission shall consider the criteria under which the County Council approved the designation application and identified Contributing Resources;

Commission Consideration

- d. When considering applications for Preservation, Rehabilitation, Restoration, or Reconstruction, the Commission shall consider the Secretary of the Interior's Standards for the Treatment of Historic Properties as contained in Section 21-9 of this Ordinance; and
- e. If the application involves a request for Demolition, the Commission shall consider the following:
- i. Whether the historic structure is of such architectural or historic significance that demolition would be contrary to the purpose of this Ordinance;
 - ii. Whether a structure within a Historic District contributes to the distinctive historic character of the district and the probable visual impact of its removal;
 - iii. The extent to which the structure is of such unusual or uncommon design, texture, or materials that it could not be reproduced or be reproduced only with great difficulty and/or expense;
 - iv. Consideration shall be given to economic hardship or to deprivation of reasonable use of the property;
 - v. Whether the demolition is necessary to facilitate a defined public purpose;
 - vi. Whether the request is a result of Demolition by Neglect; and
 - vii. The structural soundness and integrity of the structure and the feasibility for its restoration or rehabilitation so as to allow for its reasonable use.

Certificate of Historic Appropriateness – Application Form

Applicant Information

<i>First Name:</i> Christopher	<i>Last Name:</i> Butcher
<i>Mailing Address:</i>	726 Mayfield Ave. Norfolk, Virginia 23518
<i>Home/Cell Phone #:</i>	443-452-7990
<i>Email Address:</i>	Cbutcher410@gmail.com

Representative Information (if not being submitted by Applicant)

<i>First Name:</i> Michael	<i>Last Name:</i> Rooke
<i>Mailing Address:</i>	1012 Harbor View Rd, Unit D Charleston, SC 29412
<i>Home/Cell Phone:</i>	843-532-1328
<i>Email Address:</i>	michael@rookehomes.com

Property Information

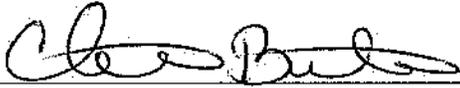
<i>Address:</i> (Lot 8) 3910 Nelson View Drive Awendaw, SC. 29429	
<i>TMS #:</i> 6140000189	<i>Acreage:</i> .80
<i>Plat Book/Page Number:</i> CL 041	
<i>Zoning District:</i> R3	

Brief description of proposed activity requiring a Certificate of Historic Appropriateness:

New Single Family Residence.

I am an Active-Duty service member that will be retiring from the Armed Forces after 26 years. My wife and I committed our life's savings to purchase the land located at 3910 Nelson View Drive. We have relocated over 11 times throughout my military career and would like to build our forever home, that is a traditional single-family home in the Ten Mile Historic District.

I (we) certify that Michael Rooke is the authorized representative for my (our) Certificate of Historic Appropriateness application.



Signature of Applicant

DEC 23, 2024

Date

Michael Rooke

Signature of Representative (if other than Applicant)

01/03/2025

Date

CHARLESTON

COUNTY
SOUTH CAROLINA

Zoning and Planning Department
Joel H. Evans, AICP, PLA, Director
Lonnie Hamilton III Public Services Building
4045 Bridge View Drive
North Charleston, SC 29405
843.202.7200

Certificate of Historic Appropriateness – Letter of Intent

PART I: Provide a complete description of the proposed design, including but not limited to, proposed building size, number of stories, architectural style, percentage of impervious surface coverage, and material choice, as applicable. The letter of intent shall also indicate if there are any Contributing Resources on the subject property. Please attach additional paper if more room is needed.

The proposed improvements to the lot were carefully designed to respect and enhance the unique cultural and historical significance of the Ten Mile community, which has been designated as a Historic District due to its strong cultural heritage and identity as a freedman settlement. These improvements are compatible with the existing community in the following ways:

Alignment with the Community’s Historical Character:

The Ten Mile community is historically significant as a freedman settlement with deep cultural roots dating back to the 1800s. The community's story reflects resilience, independence, and self-sufficiency, which are expressed through its historic settlement patterns, family homes, and the enduring ownership of property. The proposed timeless traditional two-story, single-family home continues this legacy by supporting the community's emphasis on homeownership and family-oriented living, preserving the neighborhood's long-standing residential character.

Respect for Scale and Aesthetic Harmony:

The proposed home’s scale and design are timeless and correct for any period in the last 200 years, **featuring a two-story structure with a pitched roof, wood framing, and Hardie board siding**, reflect the simple, functional, and cohesive architectural characteristics that have historically defined the area. The use of these materials and architectural choices ensures the home complements the existing community’s aesthetic without introducing elements that are incongruous with its historic environment.

Maintaining the Cultural Landscape:

The Ten Mile community has historically maintained a sense of openness and connection with its surroundings, characterized by modest homes on larger lots that reflect rural and residential settlement patterns. By limiting **impervious surface coverage to 20.3%** and integrating features such as a backyard pool within the overall lot design, the proposal respects the traditional spatial organization of the community.

Preservation of Community Significance:

The Ten Mile community has been recognized for its historical significance as a settlement founded by freed slaves, many of whom became skilled tradespeople, veterans and landowners. By constructing a family home that aligns with these values, the project reinforces the cultural importance of homeownership and community ties, which are vital elements of the community’s history and identity.

Consistency with the Historic Designation Goals:

The designation of the Ten Mile community as a Historic District emphasizes the preservation of its cultural heritage, including settlement patterns, family connections, and self-reliance. The proposed improvements adhere to these goals by maintaining the residential character of the area and ensuring that the new home integrates seamlessly with the existing neighborhood.

No Negative Impact on Contributing Resources:

As noted in the case history, the property does not contain any identified Contributing Resources, and the proposed improvements are designed to avoid any negative impacts on the broader historic district. Instead, the home contributes positively to the district’s legacy by supporting the continuation of its residential use in a manner consistent with the community’s historical and cultural values.

In conclusion, the proposed improvements honor the rich cultural and historical significance of the Ten Mile community by maintaining its residential character, aligning with its historic settlement patterns, and respecting its cultural heritage. The design strikes a balance between functionality and historical sensitivity, ensuring it complements the unique identity of this historically significant district.

Architectural style: Traditional two-story single family 4 bed, 4 bath, 3 car attached garage home on a slab foundation with a backyard pool. The proposed building size is 70’10” width and 76’ 2” depth. The percentage of impervious surface coverage is: 20.3% Material choice: Wood framing, Hardie board siding, with architectural roof.

There are no contributing resources on the property. The property is located in X-Flood Zone.

1. *The proposed site improvements are compatible with the historic, cultural, and/or architectural character of the applicable Historic Property or Historic District based on the NRHP listing or designation by the County Council.*

The proposed two-story single-family home in the Ten Mile Historic District has been carefully designed to align with the historic, cultural, and architectural significance of the district as defined by the Historic Preservation Ordinance.

Compatibility with Historic District Character

The home's design incorporates traditional architectural elements and materials that are reflective of the district's historical period and cultural significance. This includes maintaining a simple, symmetrical façade, appropriate roof pitch, and the use of historically relevant building materials, such as wood siding and brick accents, which complement the district's architectural integrity.

Preservation of Historic Integrity

The proposed site and building improvements are consistent with the prevailing patterns of existing lots, densities, spacing of homes, lot sizes and shapes, and other characteristics of the Historic District. The home will preserve the district's historic integrity by ensuring that the location, design, setting, and materials are consistent with the historical context. The design respects the scale and massing of other structures within the district, avoiding disruption to the visual cohesiveness of the area. The proposed structure will be positioned to align with the existing street layout and lot boundaries, preserving the district's historic spatial organization.

Contribution to the Historic District

The ranch style dwelling features an attractive facade with large porch, columns and brick accents which is in harmony with the existing wide lot, thus promoting a sense of socialization. By utilizing authentic materials and design features, the new construction enhances the district's cultural cohesiveness and historical aesthetic without mimicking or detracting from existing historic properties.

Avoidance of Negative Impact

Every effort has been made to ensure the project does not negatively impact the historical, architectural, or cultural significance of the Ten Mile Historic District. This proposed construction will provide a single-family home which meets the criteria for low density development and become an anchor to the community for generations. Additionally, this new construction will ultimately uplift the community in regard to increased equity valuations.

Adherence to NRHP and County Council Designation

The proposed home aligns with the National Register of Historic Places (NRHP) listing and the County Council's designation by respecting the unique historical attributes of the Ten Mile Historic District. This adherence ensures that the new construction fits seamlessly within the historic narrative of the district while meeting modern living standards.

The new home reflects a thoughtful balance between historical preservation and contemporary needs, contributing positively to the historical, cultural, and architectural significance of the Ten Mile Historic District.

PART II continued.

2. *The proposed site improvements do not decrease the Historic Integrity of properties containing identified Contributing Resources.*

Note: For Historic Districts designated without Contributing Resources, Area Character Appraisals, or other similar documentation, the Commission shall evaluate Certificates of Historic Appropriateness based on Sec. 21-5.H.3, *Commission Consideration*.

The proposed two-story single-family home does not decrease the historic integrity of properties containing identified Contributing Resources for several reasons:

Cultural Significance Focus: The historic designation of the Ten Mile Historic District is rooted in its cultural significance, rather than its association with specific historic events, individuals, or existing historic structures. As such, the construction of the proposed home does not compromise any physical or architectural elements that contribute to the district's historic designation.

Respect for Historic Setting and Character: The home has been designed to align with the cultural and historical context of the district. It incorporates features such as appropriate materials, scale, and architectural style that complement the existing environment. This ensures that the historical feeling and association of the district remain intact.

No Impact on Identified Contributing Resources: Since there are no identified Contributing Resources on the property, the proposed improvements do not physically or visually alter or diminish any significant features or structures that contribute to the district's overall historic integrity.

Consistency with Historic Fabric: By maintaining consistency with the district's historical and cultural themes, the new home enhances the district's character rather than detracts from it. The proposed design respects the spatial organization and aesthetic qualities that define the area, preserving its cultural cohesiveness.

Adherence to Preservation Standards: The construction will adhere to the guidelines outlined in the Historic Preservation Ordinance, ensuring that no adverse effects occur on the integrity of neighboring properties or the district as a whole.

In conclusion, the proposed home is designed to harmonize with the district's historic and cultural significance, ensuring that the integrity of the area and its contributing resources are preserved and respected.

3. *Any Negative Impacts to the applicable Historic Property or Historic District have been minimized and mitigated.*

No Contributing Resources Impacted: The property contains no identified Contributing Resources, ensuring that no historically significant features are physically or visually altered.

Preservation of District Character: The proposed home's design respects the Ten Mile Historic District's cultural and architectural character, using appropriate materials, scale, and placement to harmonize with the district's historic context.

Minimized Disruption: The construction process and final design align with preservation guidelines, ensuring no negative impact on the district's cultural integrity, visual cohesiveness, or community experience.

Mitigation of Visual Impact: The home has been positioned and scaled to align with the district's historical patterns, minimizing any potential visual impact on the surrounding area. The construction will not obstruct significant views, alter historical landscapes, or overshadow existing structures.

In summary, the proposed home has been thoughtfully designed to harmonize with the Ten Mile Historic District's cultural and architectural character. By respecting the district's historic and cultural integrity, the project ensures no negative impacts occur and instead contributes positively to the district's historical narrative.

REFERENCE:
 PLAT BY: GEORGE D. SAMPLE TAX MAP No. 614-00-00-189
 DATED: MAY 4, 1978 No. 3910 NELSON VIEW DRIVE
 BOOK: U PAGE: 078
 RMC CHAS. CO.

PLAT BY: GEORGE D. SAMPLE
 DATED: APRIL 7, 1981
 BOOK: AX PAGE: 027
 RMC CHAS. CO.

PLAT BY: GEORGE D. SAMPLE
 DATED: APRIL 27, 1983
 BOOK: AY PAGE: 006
 RMC CHAS. CO.

PLAT BY: ROBERT J. SAMPLE
 DATED: MARCH 23, 1984
 BOOK: BA PAGE: 105
 RMC CHAS. CO.

PLAT BY: ROBERT FRANK
 DATED: NOVEMBER 3, 1992
 BOOK: CL PAGE: 041
 RMC CHAS. CO.

PROPOSED LOT COVERAGE:
 RESIDENCE: 2823.1 Sq. Ft.
 PORCHES: 972.2 Sq. Ft.
 WALK: 320.4 Sq. Ft.
 DRIVE: 2504.2 Sq. Ft.
 POOL: 450.0 Sq. Ft.
 HVAC: 16.0 Sq. Ft.
 TOTAL: 7085.9 Sq. Ft.
 20.3% COVERAGE

NOTES:
 BEARING SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM, NAD 83.
 AREA DETERMINED BY COORDINATE METHOD.
 THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.

TREES LABELED GENERAL TYPES WITH DIAMETER SIZE SHOWN IN INCHES. AN ARBORIST OR LANDSCAPE ARCHITECT SHOULD BE CONSULTED IF SPECIFIC NAMES OR OTHER DETAILS ARE NEEDED.

THE REQUIRED SETBACKS MAY BE DESIGNATED AND/OR VARIED BY THE CHARLESTON COUNTY BUILDING & PLANNING DEPARTMENT. THE BUILDING & PLANNING DEPARTMENT RESERVES THE RIGHT TO GRANT VARIANCES RESPECTING SETBACK GUIDELINES AND/OR TO EXPAND THE "BUILDABLE" AREA.

THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS IS UNDETERMINED AS OF THE DATE OF THIS SURVEY.

NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT, THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS CONTAMINATION OR OTHER NONVISIBLE CONDITIONS WHICH MAY AFFECT THIS PROPERTY.

PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X AS PER FEMA FLOOD MAPS. PANEL No. 45019C 0365K
 DATED: JANUARY 29, 2021
 COMMUNITY No. 455413

* SETBACKS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION BY CONTROLLING AUTHORITY.

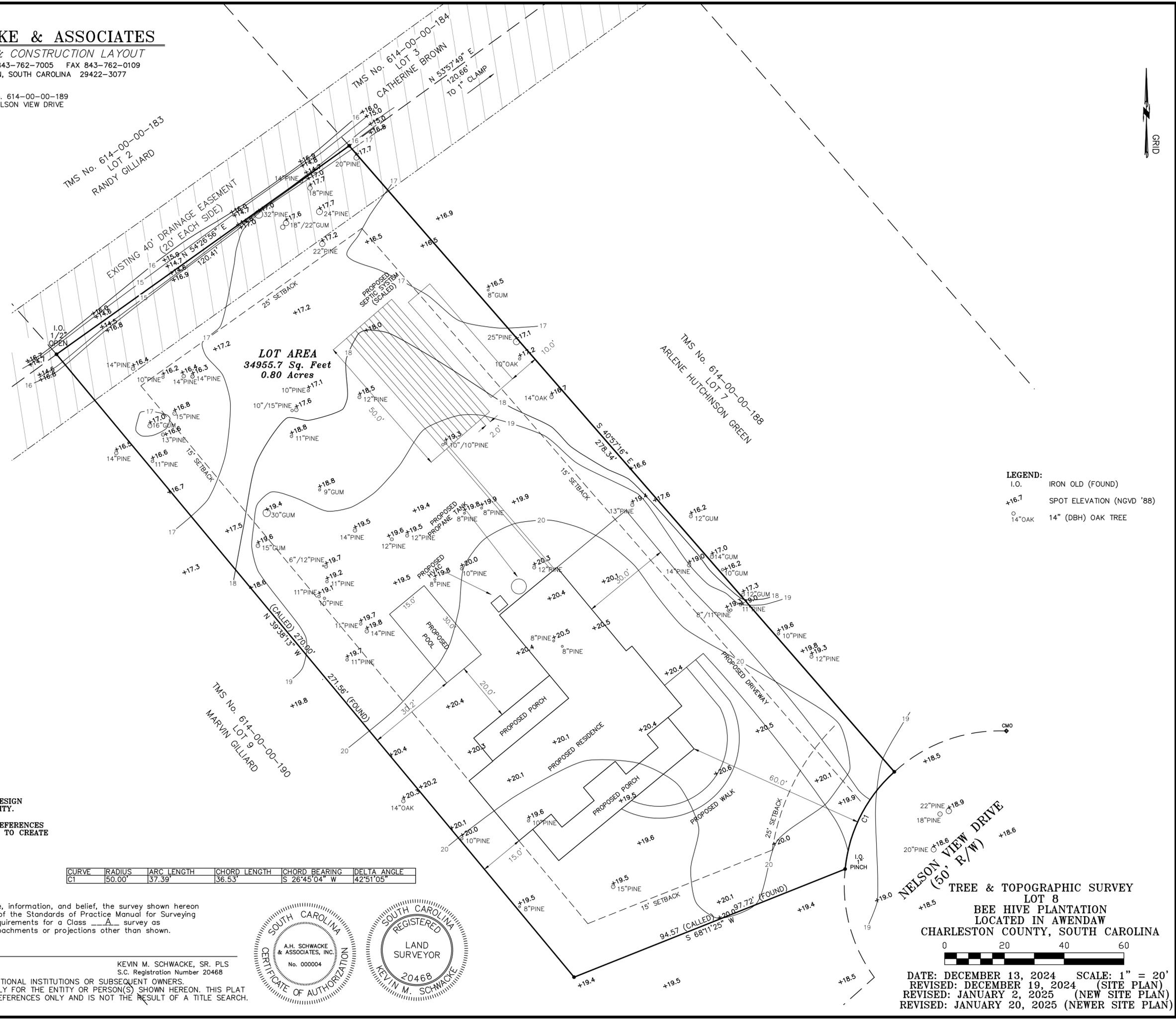
* THIS BOUNDARY WAS CREATED USING THE REFERENCES PROVIDED & EVIDENCE FOUND IN THE FIELD TO CREATE THE BEST FIT.

* THERE ARE NO GRAND TREES ON THIS LOT.

SURVEYOR'S CERTIFICATION

I hereby state that to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein. Also there are no visible encroachments or projections other than shown.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HEREON. THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	37.39'	36.53'	S 26°45'04\" W	42°51'05\"



LEGEND:
 I.O. IRON OLD (FOUND)
 +16.7 SPOT ELEVATION (NGVD '88)
 14\" OAK 14\" (DBH) OAK TREE

TREE & TOPOGRAPHIC SURVEY
 LOT 8
 BEE HIVE PLANTATION
 LOCATED IN AWENDAW
 CHARLESTON COUNTY, SOUTH CAROLINA



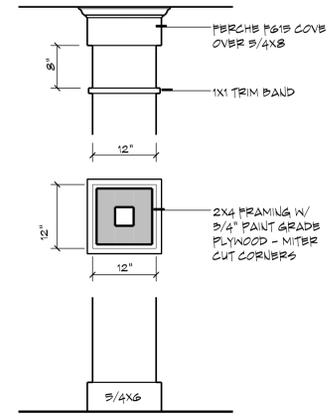
DATE: DECEMBER 13, 2024 SCALE: 1\" = 20'
 REVISED: DECEMBER 19, 2024 (SITE PLAN)
 REVISED: JANUARY 2, 2025 (NEW SITE PLAN)
 REVISED: JANUARY 20, 2025 (NEWER SITE PLAN)

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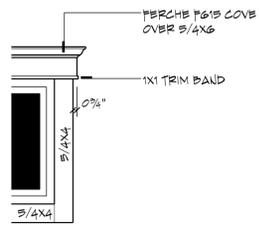
BUTCHER THE SILVER BELL M-24-135
SLAB 3 CAR SIDE - REVERSE

AREA TABULATION	
MAIN LEVEL	2086 SF
UPPER LEVEL	1218 SF
TOTAL FINISHED	3304 SF
TOTAL LIVABLE	3304 SF
GARAGE	804 SF
FRONT PORCH	645 SF
REAR PORCH	855 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS. STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.



3 COLUMN
A1.1 SCALE: 3/4" = 1' 0"



4 OPENING TRIM
A1.1 SCALE: 3/4" = 1' 0"



2 LEFT ELEVATION
A1.1 SCALE: 1/4" = 1' 0"



1 FRONT ELEVATION
A1.1 SCALE: 1/4" = 1' 0"

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- EXTERIOR WALL FINISHES TO VERIFY KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MIN. AND IRC CODE REQUIREMENTS
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
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WINDOWS

- INTEGRITY ALL ULTREX SERIES
- TYPE AND SIZE PER PLAN
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'B' MEET EGRESS CODES
- WINDOW HEADER HEIGHTS SET TO 7'-11 3/8" (U.N.O.)
- BUILDER TO VERIFY ALL ROUGH OPENING DIMENSIONS AND HEADER HEIGHTS.

EXTERIOR FINISHES

- SIDING (AS NOTED)
- HARDIBLANK LAP SIDING
- 5" EXPOSURE
- THIN SET BRICK VENEER OR CULTURED STONE W/ 2 1/4" ROCK FACE STONE CAP
- HARDIBLANK TRIM BOARDS
- THICKNESS AND WIDTH AS NOTED

+++ STRUCTURAL NOTICE +++

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EXTERIOR ELEVATIONS
COLUMN DETAIL
OPENING TRIM DETAIL



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2 RIGHT ELEVATION
A1.2

SCALE: 1/4" = 1' 0"



1 REAR ELEVATION
A1.2

SCALE: 1/4" = 1' 0"

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WINDOWS

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EXTERIOR FINISHES

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- HARDIBLANK TRIM BOARDS
- THICKNESS AND WIDTH AS NOTED

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BUTCHER
THE SILVER BELL
M-24-135
SLAB 3 CAR SIDE - REVERSE



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EXTERIOR ELEVATIONS

A1.2



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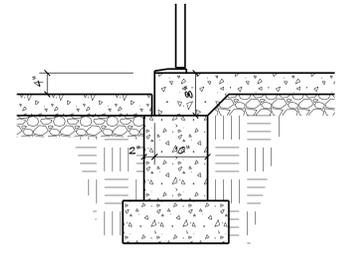
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FOUNDATION PLAN



TYPICAL AT DOOR OPENINGS

2 DEPRESSED STEM
SCALE: 3/4" = 1' 0"

FOUNDATION LEGEND

- (A) 6" N X 4" H POURED ON 10" N X 1" 8" H POURED ON 20" X 8" CONC FOOTING - 4" N X 4" INT. LEDGE
- (B) 6" N X 4" H POURED ON 10" N X 1" 8" H POURED ON 20" X 8" CONC FOOTING - 2" N X 8" EXT. LEDGE 4" N X 4" INT. LEDGE
- (C) 6" N X 8" H POURED ON 8" N X 4" H POURED ON 20" X 8" CONC FOOTING - 2" N X 8" INT. LEDGE
- (D) 8" N X 1" 4" H POURED ON 20" X 8" CONC FOOTING
- (E) 16" N X 8" H THICKENED SLAB FOOTING
- (F) 20" N X 8" H THICKENED SLAB FOOTING
- (G) BEARING POINT LOAD ON SPREAD FOOTING; SIZE AND REINFORCING BY OTHERS

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- DIMENSIONS ARE FROM EXTERIOR FACE OF CONCRETE FOUNDATION WALLS AND CENTERLINE OF INTERIOR BEARING WALLS, POSTS AND BEAMS.
- FOUNDATION CONTRACTOR TO VERIFY ALL ROUGH-IN PLUMBING LOCATIONS AND ANY OTHER PENETRATIONS THRU CONCRETE FLOOR PRIOR TO CONSTRUCTION.
- BUILDER/FOUNDATION CONTRACTOR TO VERIFY FOOTING SIZE AND REINFORCEMENT REQUIREMENTS BASED ON EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
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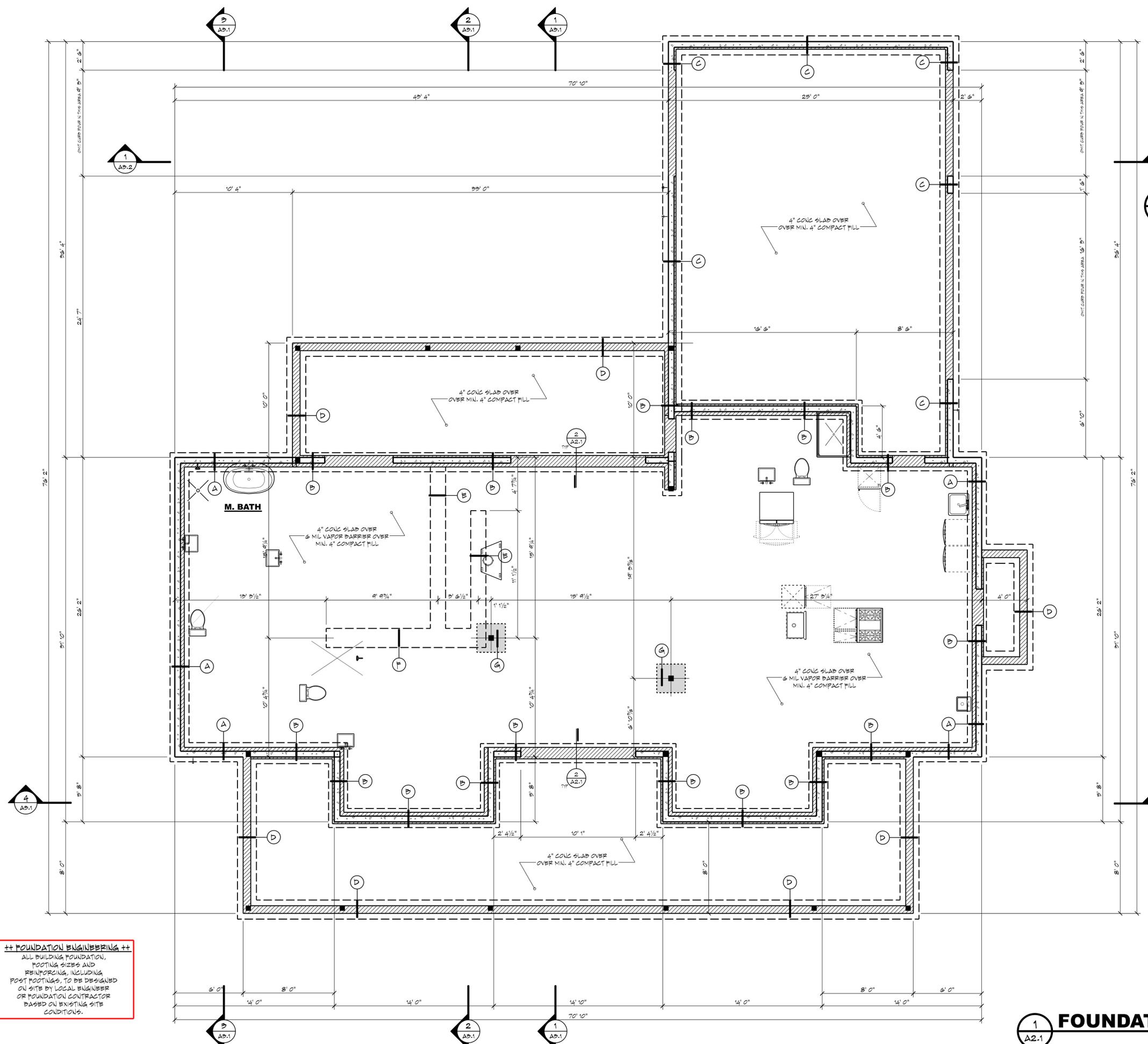
FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- DESIGNED TO MINIMIZE DEFLECTION OF LESS
- TRUSS MANUFACTURER TO PROVIDE CHASSES FOR ALL SUPPLY AND RETURN DUCTWORK
- TRUSS MANUFACTURER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
- TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

- - INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

+++ STRUCTURAL NOTICE +++
ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.

++ FOOTING FROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



1 FOUNDATION PLAN - STEM
SCALE: 1/4" = 1' 0"

++ FOUNDATION ENGINEERING ++
ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON-SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.



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BUTCHER THE SILVER BELL M-24-135 SLAB 3 CAR SIDE - REVERSE



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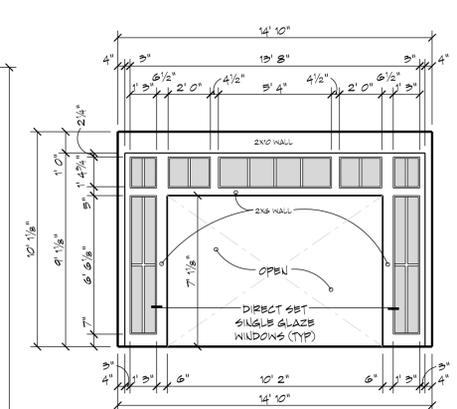
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MAIN LEVEL FLOOR PLAN

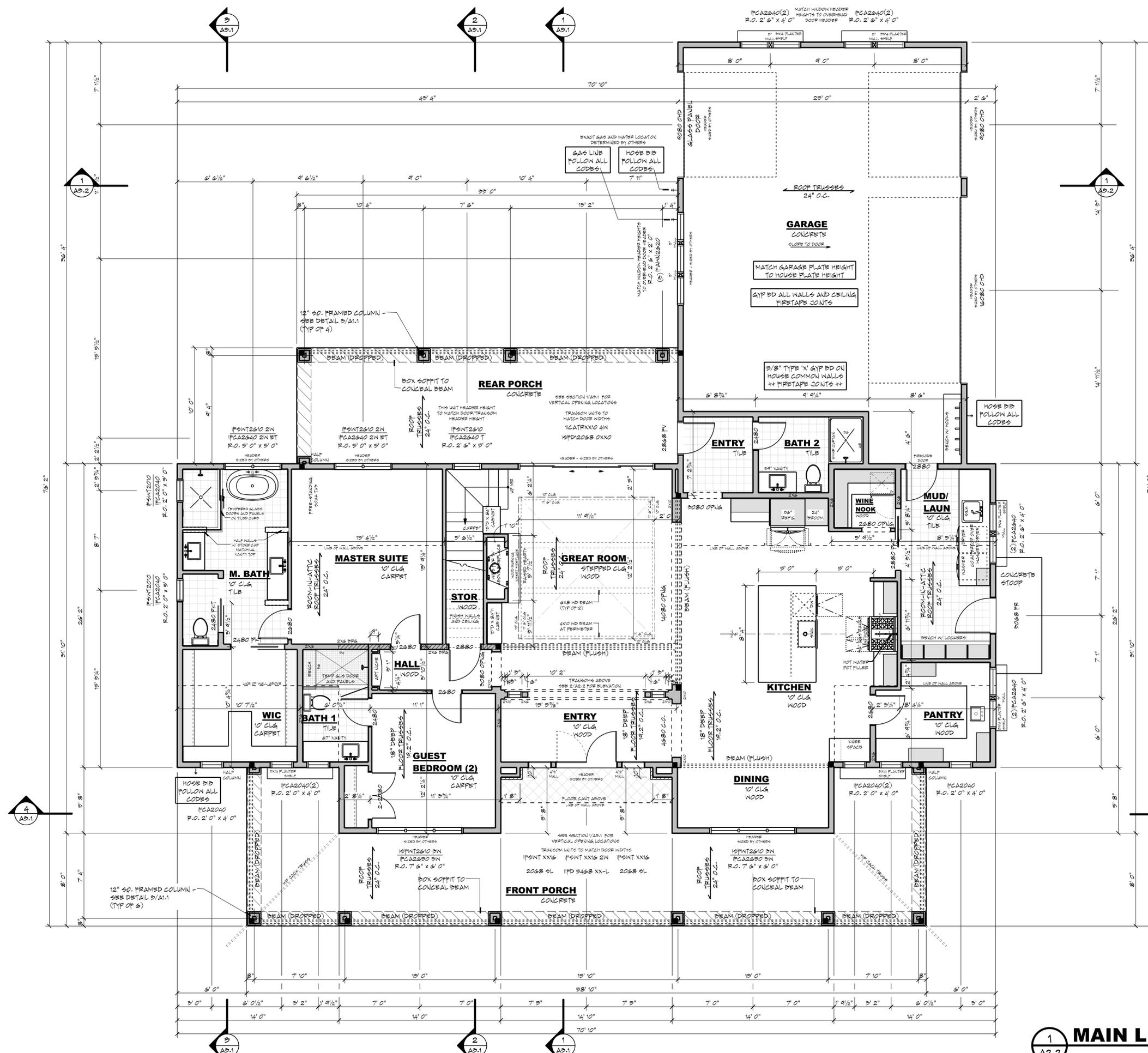


2 ENTRY ELEVATION
 A2.2

- GENERAL NOTES**
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- WINDOWS**
- MARVIN INTEGRITY ALL ULTRIX SERIES
 - STYLE AND SIZE AS NOTED
 - WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
 - WINDOW HEADER HEIGHTS SET TO 8' 11-3/8" ENTRY / GAR.
 - WINDOW HEADER HEIGHTS SET TO 7' 11-3/8" (U.L.O.)
 - BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS
- FLOOR SYSTEM**
- ENGINEERED WOOD FLOOR TRUSSES
 - DESIGNED TO MIN. L/480 DEFLECTION OR LESS
 - TRUSS MANUFACTURER TO PROVIDE CHAIRS FOR ALL SUPPLY AND RETURN DUCTWORK
 - TRUSS MANUFACTURER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
 - TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED
- FRAMING**
- 10' 1-1/8" PLATE HEIGHT (U.L.O.)
 - 2X6 WALLS AT ALL POCKET DOORS
 - DOUBLE STUDS AT WINDOWS AND DOOR HEADERS
 - PROVIDE SOLID BLOCKING AT ALL POINT LOADS
 - INDICATES BEARING POINT LOAD
 - PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

- DOOR SCHEDULE SYMBOL**
- 2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

- +++ STRUCTURAL NOTICE +++**
- ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.



1 MAIN LEVEL FLOOR PLAN
 A2.2

100% SCALE @ 36"x24" SCALE: 1/4" = 1' 0"

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BUTCHER THE SILVER BELL M-24-135 SLAB 3 CAR SIDE - REVERSE

GENERAL NOTES

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS
- DIMENSIONS ARE FROM EXTERIOR FACE OF EXTERIOR STUD WALLS AND CENTERLINE OF INTERIOR PARTITIONS
- WHILE EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE, THE OWNER/BUILDER MUST VERIFY ALL DIMENSIONS, CONSTRUCTION METHODS, SITE CONDITIONS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME.
- ANY NOTATIONS OF SIZES OF STRUCTURAL MEMBERS SUCH AS FOOTINGS, FOUNDATION SISING, POSTS, BEAMS, JOISTS, RAFTERS, TRUSSES ETC. THAT APPEAR ON THESE PLANS ARE FOR DESIGN REVIEW AND BIDDING PURPOSES ONLY. IT IS RECOMMENDED A PROFESSIONAL ENGINEER BE ENGAGED TO CALCULATE AND DESIGN ALL STRUCTURAL COMPONENTS INVOLVED IN THIS STRUCTURE.

WINDOWS

- MAINTAIN INTEGRITY ALL ULTREX SERIES
- STYLE AND SIZE AS NOTED
- WINDOWS DESIGNATED WITH 'T' TO HAVE TEMPERED GLASS
- WINDOWS DESIGNATED WITH 'B' MEET EGRESS CODES
- WINDOW HEADER HEIGHTS SET TO 7' 11-5/8" (U.L.O.)
- BUILDER TO VERIFY WINDOW AND DOOR ROUGH OPENINGS AND HEADER HEIGHTS

FLOOR SYSTEM

- ENGINEERED WOOD FLOOR TRUSSES
- DESIGNED TO MIN. L/480 DEFLECTION OR LESS
- TRUSS MANUFACTURER TO PROVIDE CHASES FOR ALL SUPPLY AND RETURN DUCTWORK
- TRUSS MANUFACTURER TO VERIFY FRAMING AT CANTILEVERS FOR POINT LOADS FROM ABOVE
- TRUSS MANUFACTURER TO VERIFY LOCATIONS OF ANY CONCENTRATED LOADS, SUCH AS GRANITE COUNTERTOPS, AND PROVIDE PROPER FRAMING AS NEEDED

FRAMING

- 2" x 4" PLATE HEIGHT (U.L.O.)
- 2X6 WALLS AT ALL POCKET DOORS
- DOUBLE STUDS AT WINDOWS AND DOOR HEADERS
- PROVIDE SOLID BLOCKING AT ALL POINT LOADS

- INDICATES BEARING POINT LOAD
- PROVIDE CONTINUOUS SOLID BLOCKING TO FOUNDATION BELOW - VERIFY LOADS W/ LOCAL STRUCTURAL ENGINEER

DOOR SCHEDULE SYMBOL
2468 REPRESENTS A 2'-4" WIDE X 6'-8" HIGH DOOR

TRUSS SUPPLIER TO VERIFY ALL SPANS, PITCHES, HEEL HEIGHTS AND OTHER CONDITIONS CRITICAL TO PROPER TRUSS FABRICATION.
ANY STRUCTURAL COMPONENTS THAT MAY NOTED ON THESE PLANS ARE INTENDED FOR DESIGN/BID PURPOSES ONLY. IT IS RECOMMENDED THAT ALL STRUCTURAL DESIGN ELEMENTS BE REVIEWED BY A LOCAL LICENSED PROFESSIONAL STRUCTURAL ENGINEER. FINAL ROOF AND FLOOR TRUSS DESIGN AND LAYOUT TO BE PROVIDED BY YOUR LOCAL TRUSS SUPPLIER.

+++ STRUCTURAL NOTICE +++
ALL STRUCTURAL BEAM AND HEADER SIZES, BEARING CONDITIONS AND ANCHORING REQUIREMENTS MUST BE REVIEWED BY A STRUCTURAL ENGINEER BASED ON EXISTING SITE CONDITIONS. OWNER/BUILDER TO ASSUME ALL RESPONSIBILITY FOR ENTIRE STRUCTURE.



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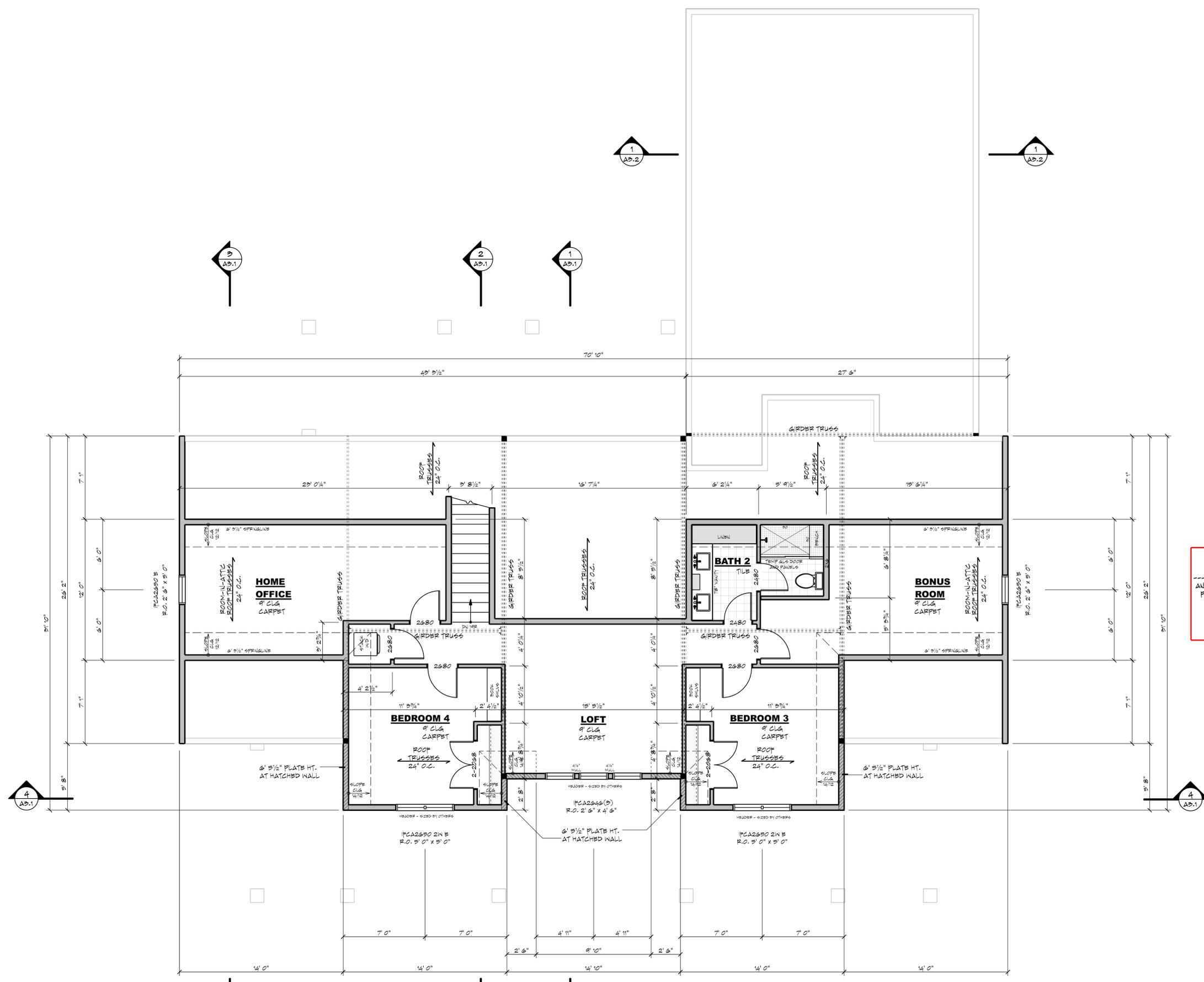
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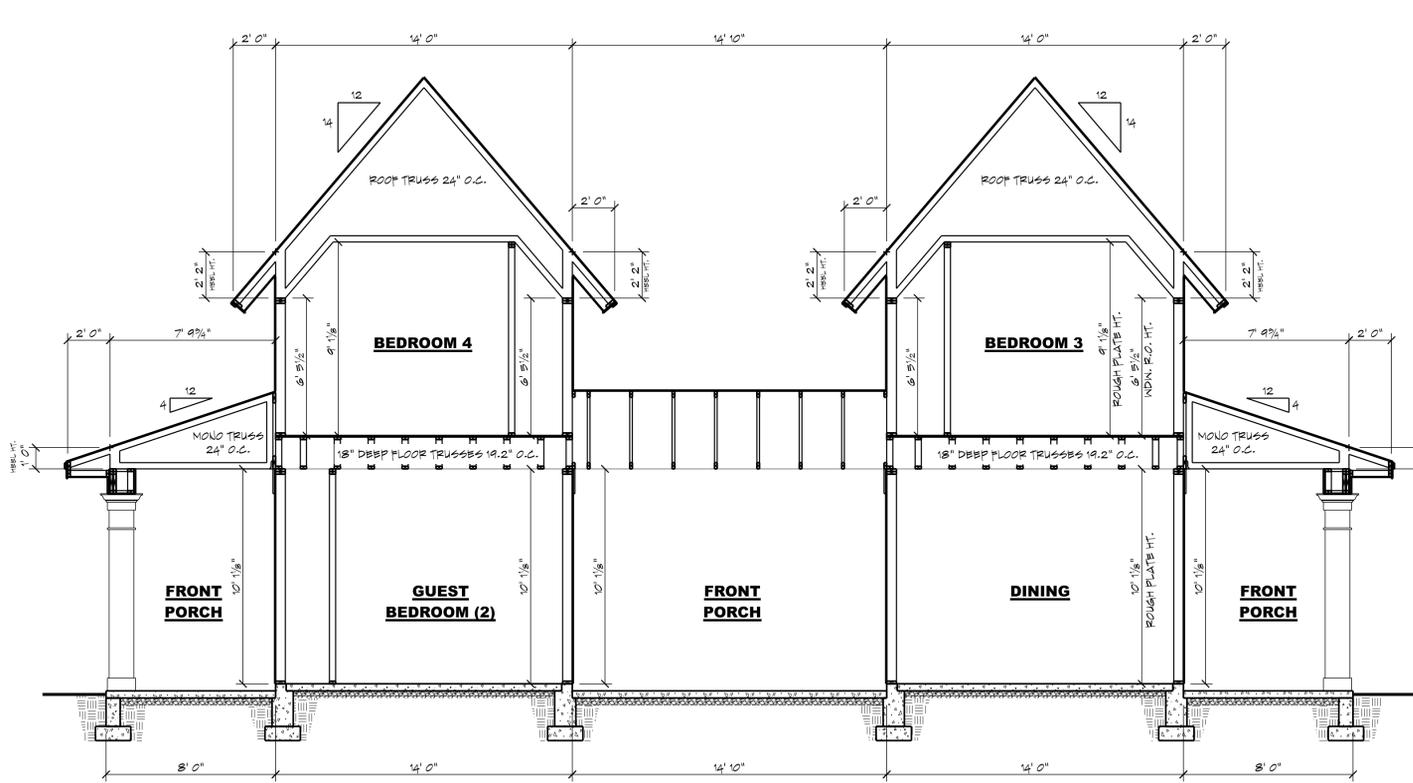
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UPPER LEVEL FLOOR PLAN



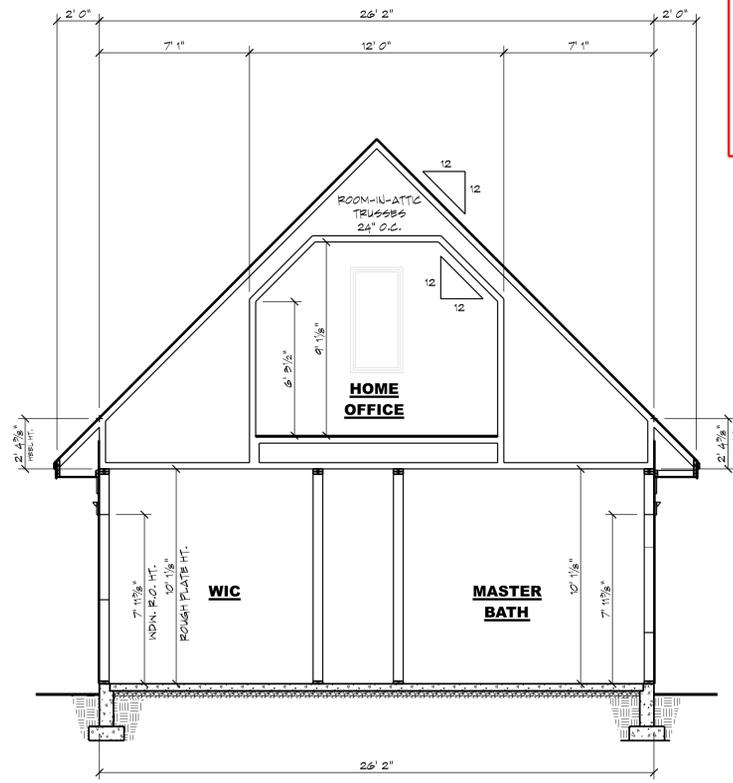
1 UPPER LEVEL FLOOR PLAN

100% SCALE @ 36"x24" SCALE: 1/4" = 1'-0"



4 BUILDING SECTION - STEM
A3.1

SCALE: 1/4" = 1' 0"



3 BUILDING SECTION - STEM
A3.1

SCALE: 1/4" = 1' 0"

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+++ STRUCTURAL NOTICE +++

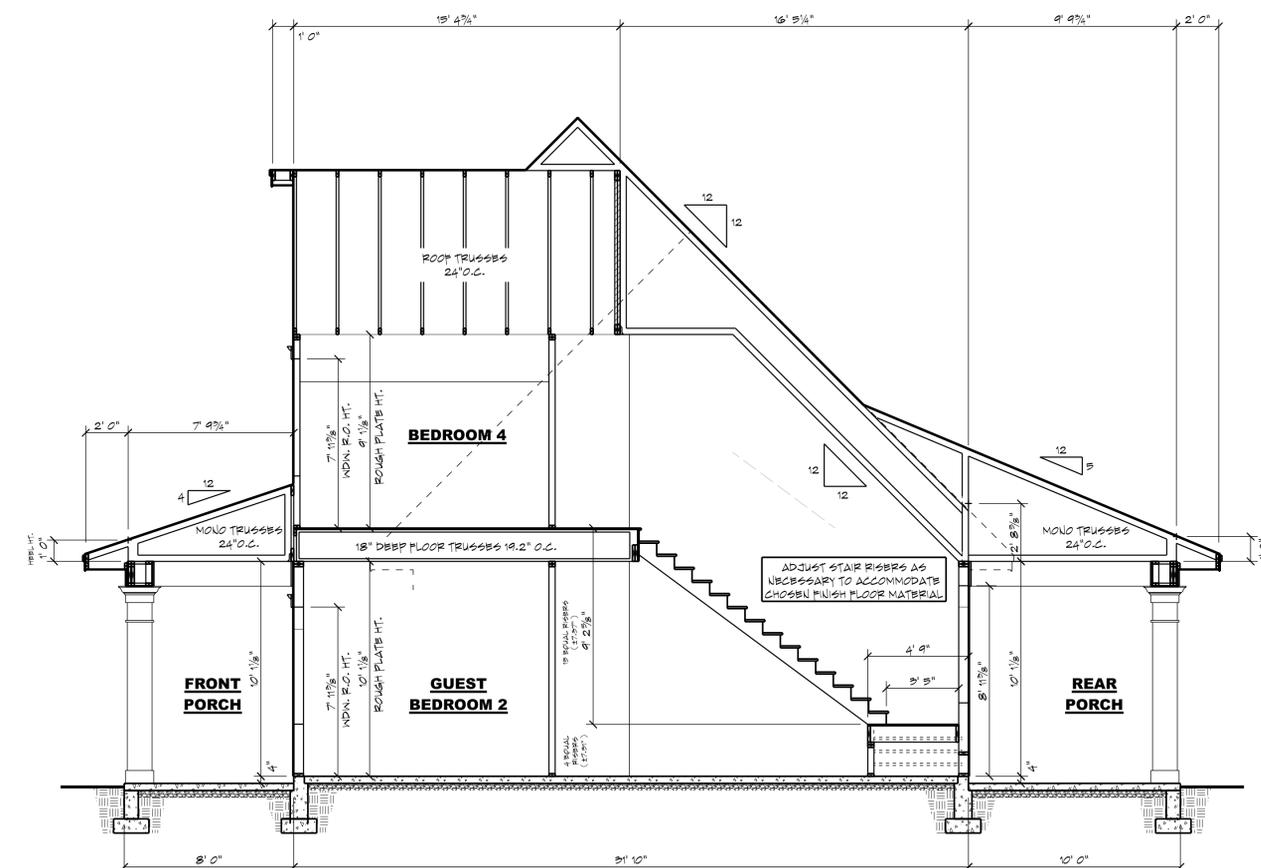
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++ FOUNDATION ENGINEERING ++

ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

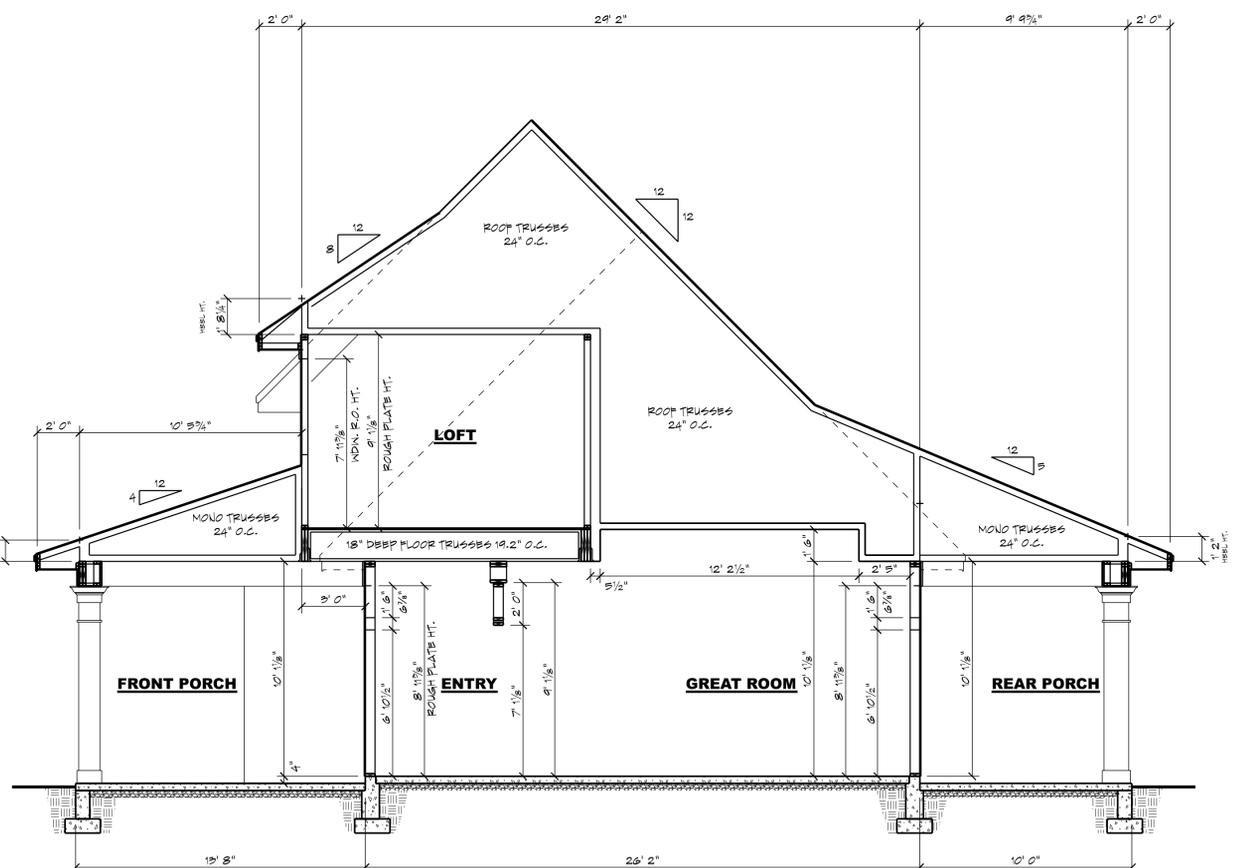
++ FOOTING FROST DEPTH: ++

OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.



2 BUILDING SECTION - STEM
A3.1

SCALE: 1/4" = 1' 0"



1 BUILDING SECTION - STEM
A3.1

SCALE: 1/4" = 1' 0"

ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

BUTCHER THE SILVER BELL M-24-135 SLAB 3 CAR SIDE - REVERSE



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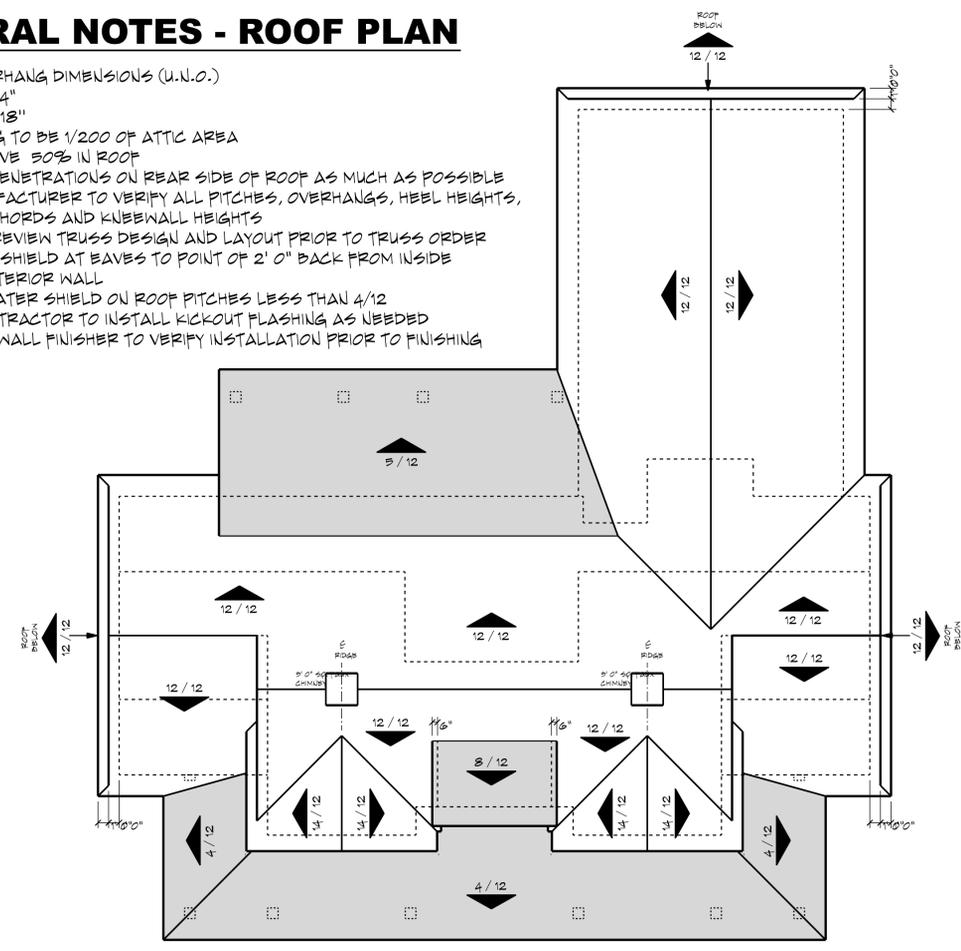
BUILDING SECTIONS

ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR ANY STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION AND CHECKING OF ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY ROYAL OAKS DESIGN, INC. OF ANY ERRORS PRIOR TO START OF CONSTRUCTION. ROYAL OAKS DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR THE WORKMANSHIP OF THE SUB-CONTRACTORS.

BUTCHER THE SILVER BELL M-24-135 SLAB 3 CAR SIDE - REVERSE

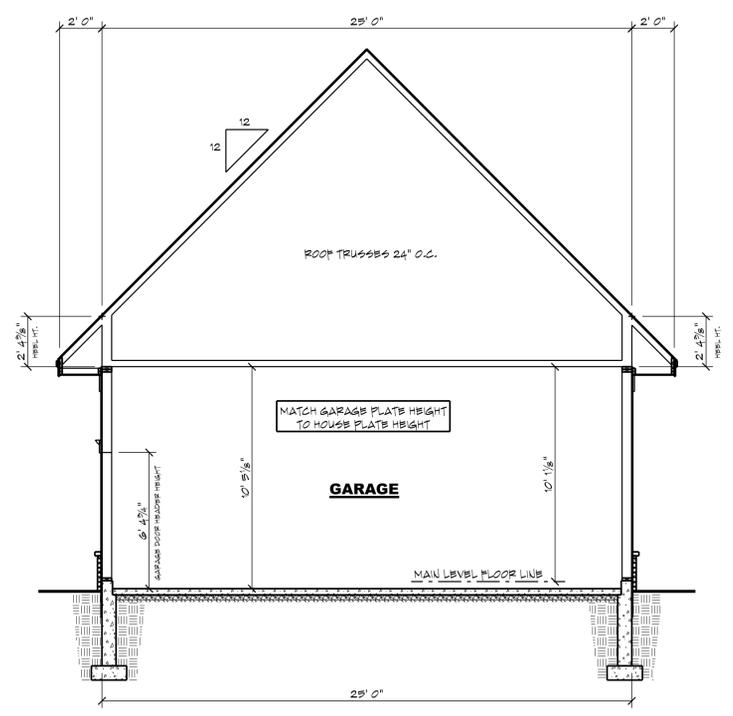
GENERAL NOTES - ROOF PLAN

- TYPICAL OVERHANG DIMENSIONS (U.N.O.)
- EAVES = 24"
- GABLES = 18"
- ROOF VENTING TO BE 1/200 OF ATTIC AREA
- 50% IN EAVE 50% IN ROOF
- KEEP ROOF PENETRATIONS ON REAR SIDE OF ROOF AS MUCH AS POSSIBLE
- TRUSS MANUFACTURER TO VERIFY ALL PITCHES, OVERHANGS, HEEL HEIGHTS, EXTENDED CHORDS AND KNEEWALL HEIGHTS
- BUILDER TO REVIEW TRUSS DESIGN AND LAYOUT PRIOR TO TRUSS ORDER
- ICE & WATER SHIELD AT EAVES TO POINT OF 2' 0" BACK FROM INSIDE EDGE OF EXTERIOR WALL
- FULL ICE & WATER SHIELD ON ROOF PITCHES LESS THAN 4/12
- ROOFING CONTRACTOR TO INSTALL KICKOUT FLASHING AS NEEDED
- EXTERIOR WALL FINISHER TO VERIFY INSTALLATION PRIOR TO FINISHING



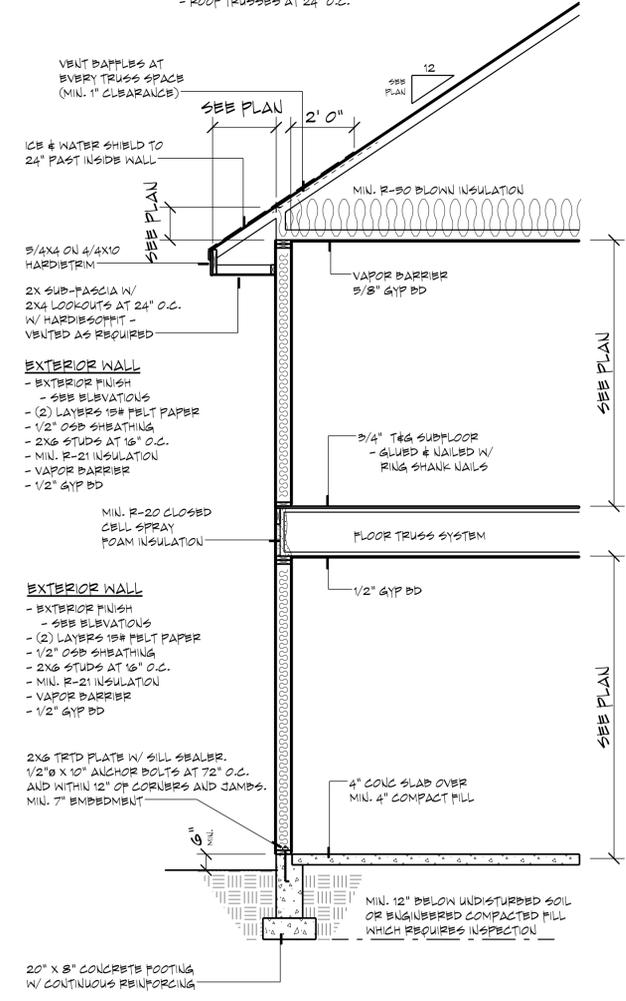
2 ROOF PLAN

SCALE: 1/8" = 1' 0"



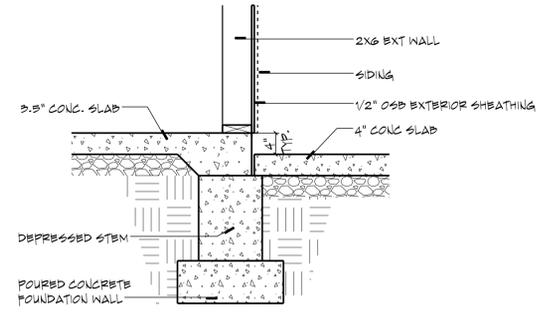
ROOF

- SEE PLAN FOR MATERIAL
- (1) LAYER 15# FELT UNDERLAYMENT
- 1/2" OSB SHEATHING W/ CLIPS
- ROOF TRUSSES AT 24" O.C.

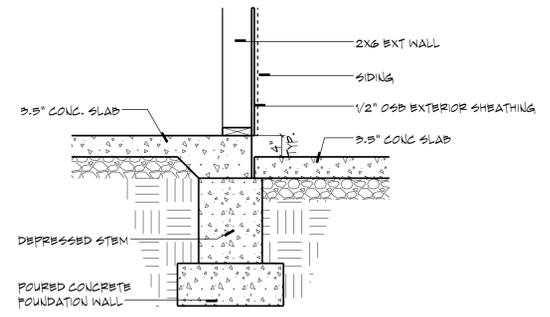


3 TYPICAL WALL SECTION - STEM

SCALE: 3/8" = 1' 0"



FLOOR TRUSSES - PERPENDICULAR HOUSE / GARAGE



FLOOR TRUSSES - PERPENDICULAR AT STOOP

2 FLOOR FRAMING DETAILS

SCALE: 3/4" = 1' 0"

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+++ STRUCTURAL NOTICE +++
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++ FOUNDATION ENGINEERING ++
ALL BUILDING FOUNDATION, FOOTING SIZES AND REINFORCING, INCLUDING POST FOOTINGS, TO BE DESIGNED ON SITE BY LOCAL ENGINEER OR FOUNDATION CONTRACTOR BASED ON EXISTING SITE CONDITIONS.

++ FOOTING FROST DEPTH: ++
OWNER/CONTRACTOR TO ADJUST DEPTH OF ALL HOUSE, GARAGE, SLAB AND DECK POST FOOTINGS TO MEET LOCAL CODES.

1 BUILDING SECTION - STEM

SCALE: 1/4" = 1' 0"
100% SCALE @ 36"x24"



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BUILDING SECTION
ROOF PLAN
TYPICAL WALL SECTION

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BUTCHER THE SILVER BELL M-24-135 SLAB 3 CAR SIDE - REVERSE



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ELECTRICAL PLANS

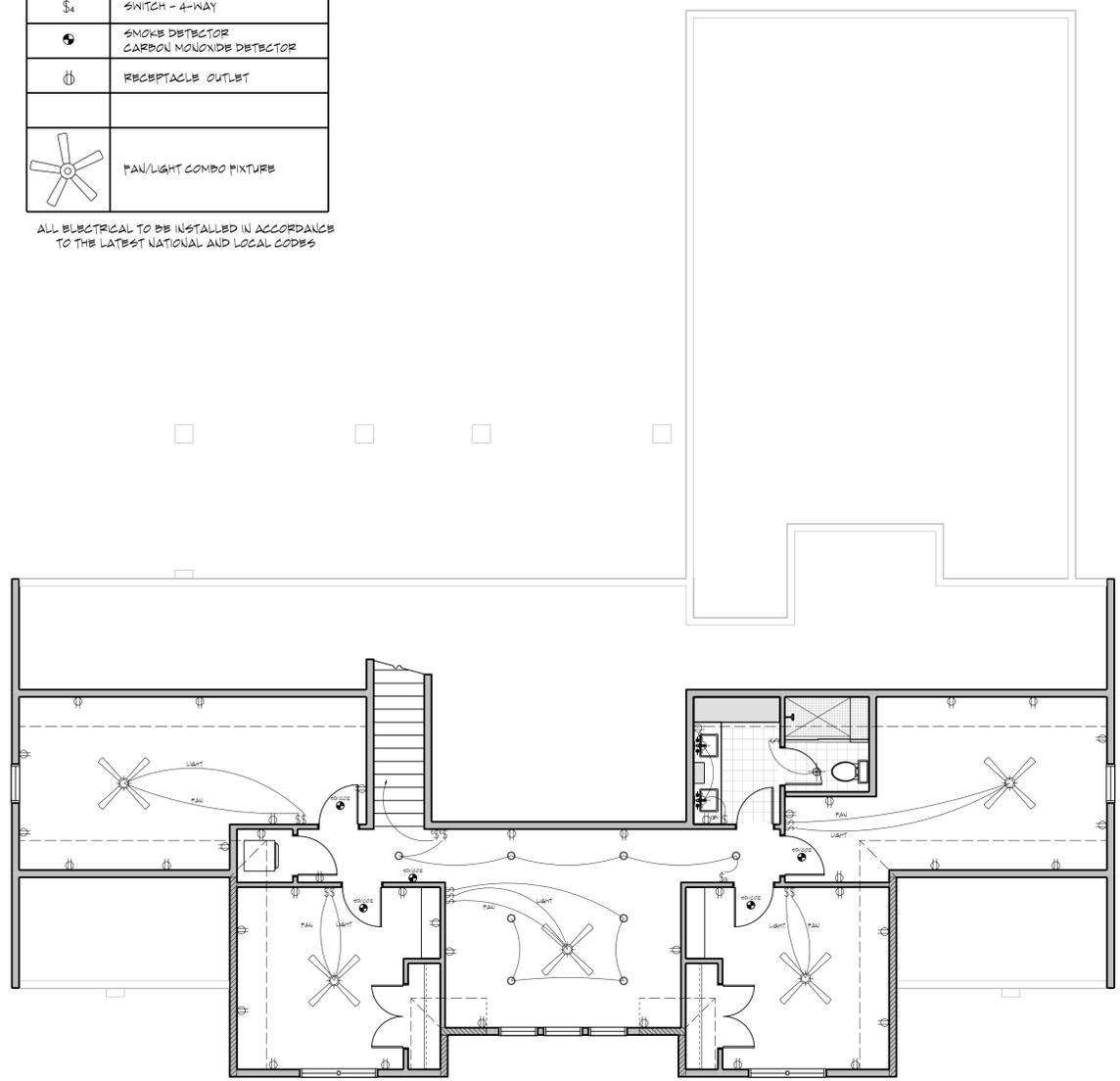
AREA TABULATION	
MAIN LEVEL	2086 SF
UPPER LEVEL	1218 SF
TOTAL FINISHED	3304 SF
TOTAL LIVABLE	3304 SF
GARAGE	804 SF
FRONT PORCH	645 SF
REAR PORCH	300 SF

FLOOR AREAS ARE CALCULATED FROM THE OUTSIDE OF FOUNDATION WALLS AND/OR OUTSIDE FACE OF EXTERIOR STUD AT FRAMED WALLS. STAIRS ARE INCLUDED IN CALCULATIONS AT ALL LEVELS.

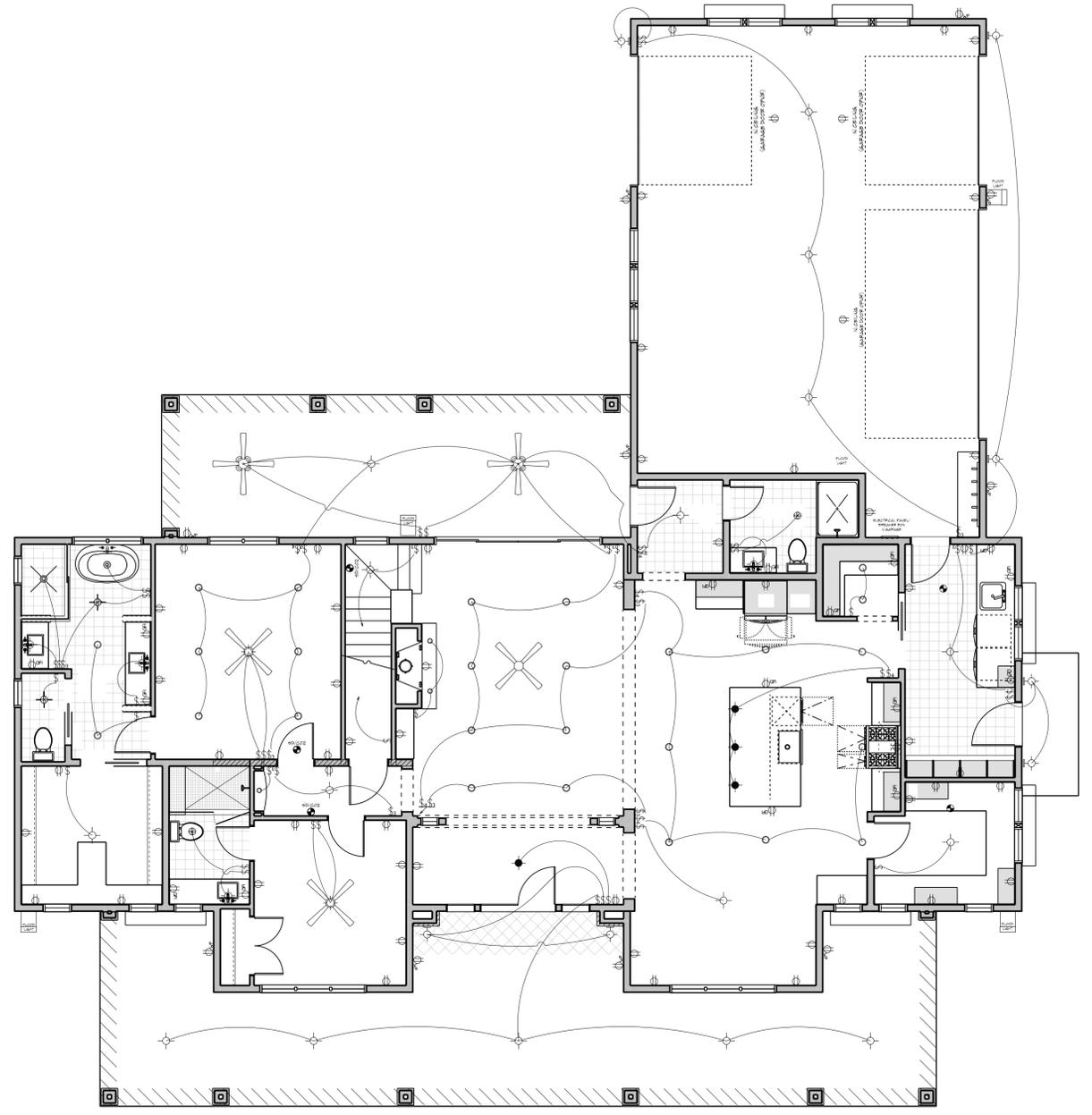
Always contact your local building authority for complete and up to date code information.

ELECTRICAL LEGEND	
	CEILING MOUNT LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNT LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	BATH EXHAUST FAN
	COMBO LIGHT / BATH EXHAUST FAN
	SWITCH
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	RECEPTACLE OUTLET
	FAN/LIGHT COMBO FIXTURE

ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE TO THE LATEST NATIONAL AND LOCAL CODES



2 UPPER LEVEL LIGHTING LAYOUT
SCALE: 3/16" = 1' 0"



1 MAIN LEVEL LIGHTING LAYOUT
SCALE: 3/16" = 1' 0"